

hotham hall estate

design + access statement

P01

december 2023

brown
+ company

0.0 **summary**

Revision: P01

This application seeks planning and listed building consent for alterations and change of use of the existing stable block at Hotham Hall into a new events space, members club, retail units and accommodation. The application also includes introduction of a new build spa located to the south of the stable block.

This application is part of an on going masterplan and restoration of the hotham hall estate.

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0.1 brown + company practice experience

A creative, collaborative, design-led studio, brown + company are a highly experienced team. We prioritise the context of each site to create sustainable, beautiful, long-lasting architecture. The work we do at brown + company is designed to outlast us, contributing to the places we live for generations to come. We believe that we have a responsibility to create buildings which have longevity, beauty, value and purpose.

brown + company is part owned by Leach Rhodes Walker, which enables our practice to provide a personal and bespoke service with the full support and resources of this multi award-winning practice. This includes interior design services by Konzept Interiors, with a strong design flair in hotel, commercial and residential sectors.

The partnership stems from a long-standing relationship between all directors - Neil Brown studied architecture at Manchester University and began his career in 1997 at LRW, working for several years alongside Justin Marks, John Bradley, Martin Burrows and Christian Gilham.

Working in close collaboration with both the LRW Manchester and London offices, our York based practice is able to deliver all stages of any project with a value of between £50,000 and £500m



0.2 applicant + design team

This application is being submitted on behalf of Linda and David Kilburn, who purchased the hall in 2020 and since then have started a comprehensive restoration and development of the estate.

A design team has been assembled for the application who have extensive local and national experience.

architect: **brown + company**

heritage consultant: **purcell**

planning consultant: **gallagher planning**

structural engineer: **alan wood and partners**

landscape designer: **sba design**

arboriculturalist: **tree law expert**

acoustician: **infinity acoustics**

highways: **local transport projects**

1.0 introduction

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1.1 executive summary

This application for a new member's club, event space and spa with accommodation and retail units is part of a comprehensive vision for the Hotham Hall Estate. Split into a number of phases, which includes the redevelopment of the hall itself and associated infrastructure. Linda and David Kilburn seek to restore the Hotham Hall Estate to its former glory, securing the estates future, and enabling members of the public to experience its historic importance.

The proposals at Hotham Hall are grounded in the need to create a family home which is suitable for 21st century living and new commercial ventures to enable a sustainable and viable future for the estate.

Hotham Hall Estate's vision is to create a sophisticated destination for events and country pursuits, which makes creative use of the wonderful historic buildings and grounds and allows it to be enjoyed by local communities as well as by a wider audience of customers and patrons. This heritage led regeneration project will create jobs and develop visitor assets. The overall objective is to create an economically resilient estate which will ensure a sustainable future for generations to come.

The heritage led proposals for the stable block and new spa building have been carefully developed to maintain and restore the historic importance of the existing buildings and their settings and welcome appropriate new uses onto the site. The proposals will enable members of the public to appreciate the heritage of the buildings and the site and introduce high quality, sensitively designed new architecture on the site.

The proposed restoration and redevelopment of the Hotham Hall Estate is the next chapter in a unique and varied history for the estate, and proposals are reflective of this.



1.2 site information

1.2.1 site location and access

Hotham is a small village in the East Riding of Yorkshire, situated about 26 miles south-east of York and 10 miles south-west of Beverley. Hotham Hall Estate is located at the southern end of the village accessed via a private drive which links Hotham's Park Street and North Cave's Church Lane at the southern end of the estate.

A temporary car park is currently located on the private drive, with vehicular access to the hall via the two courtyards formed by the stable block. Private parking is located in front of the main house and in the newly constructed garages.

Construction of a new parkland drive accessed from Dean Lane which will form a new principal arrival route to the hall was consented in September 2023 (Planning ref:2300821/PLF). This will significantly improve the arrival for both visitors and the resident of Hotham Hall. This consent also included new guest and staff parking located outside of the stable block courtyards. These proposals significantly reduce the vehicular pressures on the inner and outer courtyards of the stable block.



1.2 site information

1.2.2 history of hotham hall

The development of Hotham Hall over a prolonged period is legible in the architectural styles of each area of the estate. A comprehensive history of Hotham Hall and the stable blocks completed by heritage consultants, Purcell, has been submitted as part of this application. A brief history is as follows:

main house:

Hotham Hall was first constructed for William Burton in circa 1720, possibly designed by gentleman architect James Moyser. The original house consisted of five bays, two storeys, with attics and cellars. In 1772 the house was extended with the addition of east and west pavilions, forming new entertaining spaces.

Following the inheritance of the hall by Lieut. Col. Edward John Stracey-Clitherow in 1869, the west pavilion was demolished to allow for the construction of a new wing built in 1872, probably to the design of William Moseley.

During the 20th century the hall was modernised which a number internal alterations, including installation of heating and transformation of the service quarters.

The Hall was purchased by the present owners in 2020, who have undertaken significant restoration of the main house.

stable blocks:

The stable block is believed to be constructed in 1770, around the same time as the house was extended. It is assumed that some materials of the stable block were relocated, presumably from demolished building in North Cave.

Similarly to the house, the stable block has been extended and adapted over a period of time. Originally the building formed a U shaped plan around the 'inner courtyard' however this was then extended to the west over to form the 'outer courtyard'.

As part of the heritage report, significance plans have been produced by Purcell which clearly identify the areas of importance within the existing buildings. These have been used as the proposals have developed to ensure the heritage significance of the buildings remain intact.

A detailed photographic report of the existing buildings has been provided in the heritage statement.

3.3 SIGNIFICANCE PLANS



existing ground floor - significance plan



existing first floor - significance plan

1.3 existing stable block

The existing stable block is currently in private ownership with no public access to either courtyard. Much of the building is being used for storage or workshop space.

Many areas of the stable block are in poor repair, a condition survey has been conducted and submitted as part of this application.

Whilst historic fabric remains throughout the stable block, evidence of alterations are apparent including removal of former lath and plaster ceilings and walls. To the upper floors there is evidence of significant movement to the timber floor joists.

The ground floor slabs are assumed to be of significant age, however damaged caused by damp is present. To the first floor existing lime ash floors are present within the south wing, however these have been previously removed throughout the north wing and replaced by a modern chipboard. There is no modern day heating or services within the stable block.

Stable furniture, such as partitions, saddle racks and hay feeders remain present in areas, the quality and condition of these vary.

The two courtyards formed by the stable block are currently used as overflow car parking and external site storage, whilst construction of garage is on going.



1.3 existing stable block



1.4 spa site

1.4.1 the park and gardens

Hotham Hall sits within gardens and a modest sized park, the built form is located to the northern end of the grounds, with much of the southern land identified as meadows and arable fields. The grounds have been divided into 9 character areas, with associated character descriptions included within Purcell's Heritage Report.

This application focuses on proposals located within Character Area 2 (the gardens) identified in the plan. The character area is located immediately south of the hall and stable block.

Character Area 2 has been assigned a medium level of significance within the estate with greater significance given to the land to the north of the main house (character area 1). The area identified for the spa is of low significance.

The heritage report provides a detailed description of the area and its historic importance.



1.4 spa site

1.4.2 character area 2

Character area 2 can be subdivided into 4 keys areas.

stable block and courtyards:

The stable block has two courtyards, the original U shaped footprint formed the inner courtyard on the eastern side. Later additions to stable block former the outer courtyard.

main house

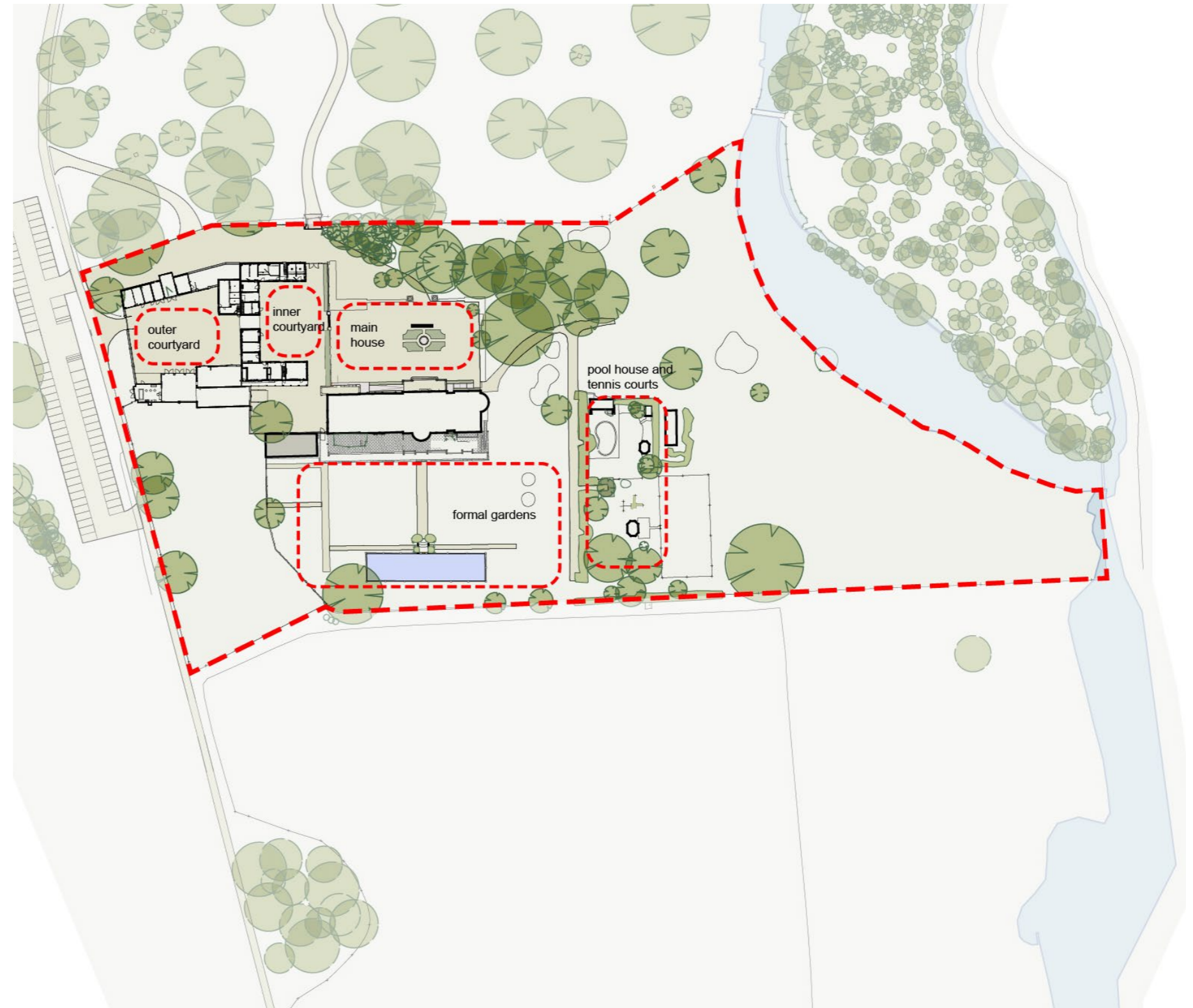
The area in front of the main house, used for private parking. This area has received new landscaping as part of the restoration of the house.

pool house + tennis courts

Located to the east of area 2, this area is encompassed by a mature yew hedge and contains a modern pool house, pool and tennis courts.

formal gardens

Located to the rear of main house, this represents the main garden for the house. A brick wall separates the formal garden with the area south of the stable block, which has little character and is dominated by a number of large trees.



1.4 spa site

1.4.3 current use

Within Character Area 2 there is an area located south of the stable block, separated from the gardens by a historic red brick wall and bounded by mature trees to the western and southern boundary. This land has been identified for the introduction of a new spa building.

The proposed area is currently a grassed field which is being used for construction site storage and toilets.

The mature trees surrounding this area heavily obscure the site from key views of the rear of the main house from the south.



view of the rear of the main house from the south, spa site to the left, behind the trees.



spa site



view from temporary car park

1.5 consultation

As part of the on going design development brown + company and Linda Kilburn met with East Riding County Council on the 3rd August 2023 to discuss the proposals included within this application.

A number of subjects were discussed as part of the application, as follows:

- the vision for the proposals
- proposals for restoration of stable block and introduction of new uses within the existing fabric including events, accommodation, retail and a members space.
- movement around the site and introduction of the different characteristics between the inner courtyard and the outer courtyard (public).
- introduction of a new toilet extension to the south range
- removal of existing fabric within the south range to enable a flexible multifunctional events space.
- introduction of a connecting colonnade between the main house and events space
- vision for the spa and indicative layout designs

Key discussion points of the meeting were as follows

general points

Design team to show benefits of any intervention and why the proposal is the most sensitive option.

All contemporary interventions to clearly show the evolution of the building.

access

General principles of access and characteristics of the courtyards were agreed. Activation of the outer courtyard as a public space was viewed positively.

events space

Removal of separation wall understood to be essential for the use. Introduction of the toilet block within the outer courtyard was preferred as it has separation from the original building.

members club

Principle of a new entrance from the outer courtyard was understood, the connection to the outer courtyard will be key for the entrance experience.

accommodation and retail

General arrangement with the proposed function of these spaces was agreed.

spa

As part of the application evidence of viability and need should be submitted.

Design concept of the arrangement of smaller, lightweight buildings with general garden space was positively received. Location of spa (separated from the events space) was considered acceptable. Development should clearly show the evolution of the estate over time with the proposals showing an understanding of the hierarchy of the estate and its landscape.

colonnade

Acceptability of the proposals will depend on the architectural design which will need to maintain the hierarchy of the buildings and should be similarly simple as the existing structure.

2.0 **stable block proposals**

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2.1 stable block vision

The proposals seek to restore the existing stable block and introduce new 21st century uses to the building. The proposed uses are as follows:



multifunction events space

south range

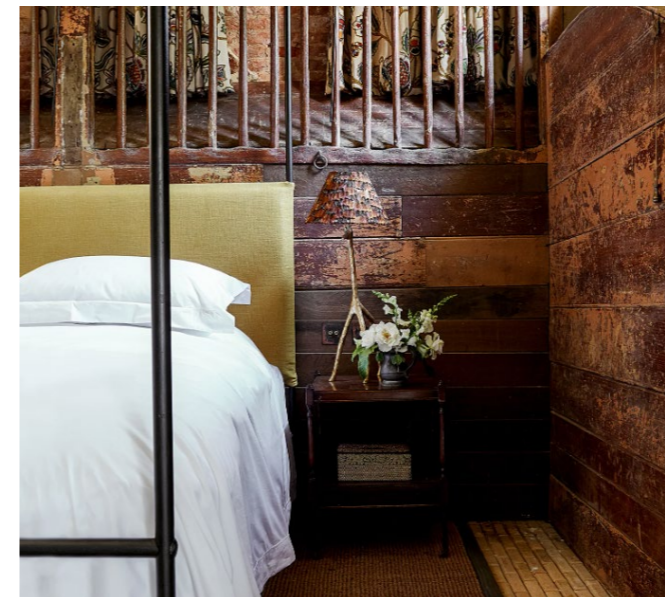
Creation of a flexible, multifunctional events space which can be used as a public use cafe, for intimate dinner clubs or wedding venue for up to 120 guests. This new events provision will complement the smaller events space located within the main house enabling hotham hall to cater for a wide range of events. Wedding parties would also have full use of the member's club spa



members club and spa

south wing

The members only club will provide social spaces including a bar, lounge and library as well as a private dining facilities and the spa. The spa is an essential offering for the member's club and will be open for use by those using the event space and staying in accommodation.



accommodation

north wing

Introduction of 9 rooms will provide uniquely designed accommodation to supplement the events offering, allowing guests to stay on site and utilise hotham hall's facilities.



retail

north range + north wing extension

Creation of two retail areas will provide a public facing space within the stable block. A local bakery with a small cafe open to the public is proposed to the north range. To the north wing extension an antiques showroom is also proposed which will supplement an online antiques business.

2.2 events space

The proposals seek to convert the existing workshops located in the south range into a rustic events space for up to 120 guests.

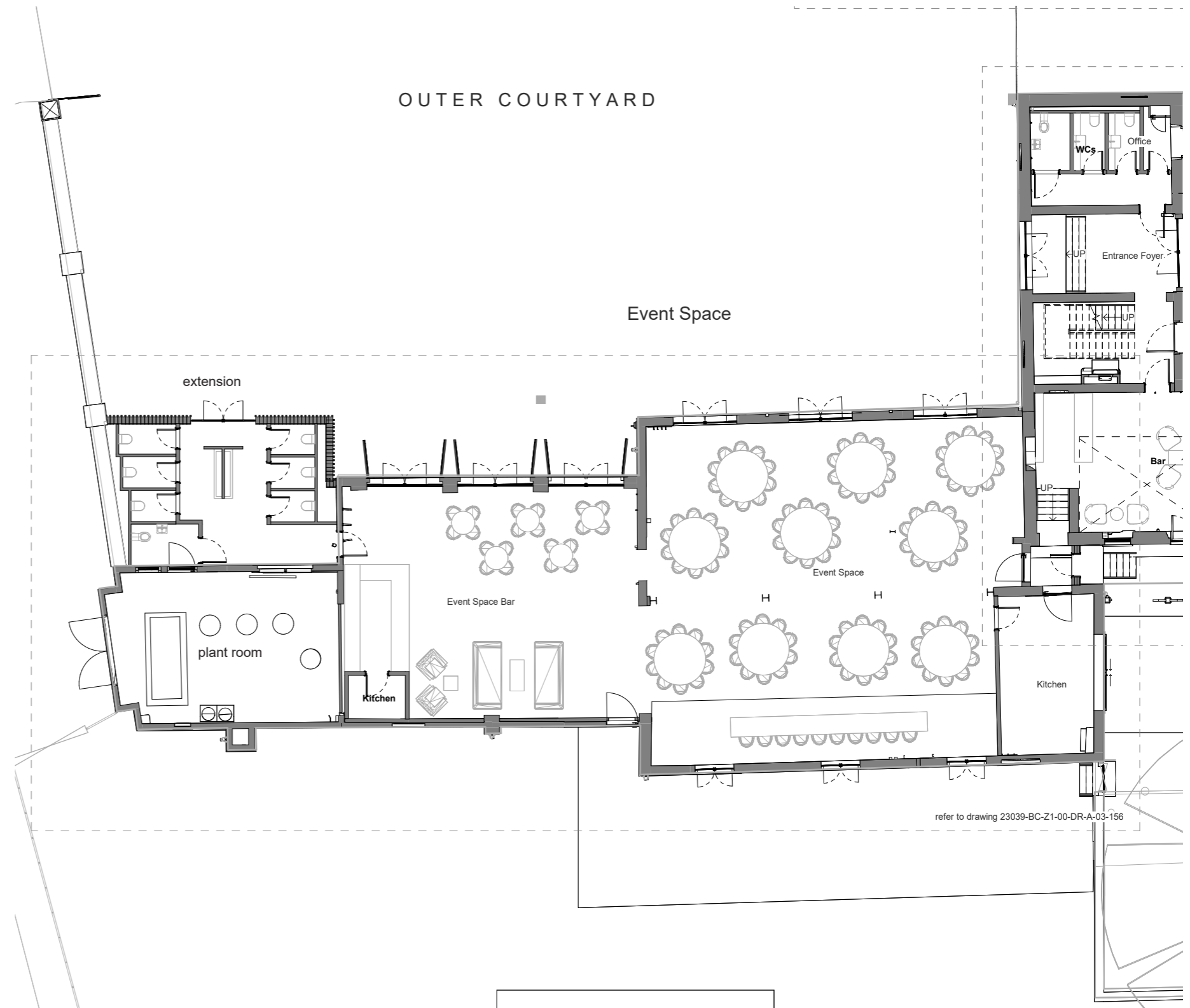
The south range has been identified as low to medium significance by Purcell.

The proposals internally will be light touch, keeping much of the existing structure and original fabric exposed to maintain the character of space. Partial removal of a single internal wall will enable the creation of a flexible open plan space that can be easily sub-divided for smaller events. A bar is proposed to the central portion of the south range, which could be open to the public when events are not arranged. Re-instatement of the large workshop door openings, will allow the events space to spill out into the outer courtyard, creating increased activity within this space.

A new extension is proposed to the northern elevation to allow for toilets to serve the events space and the other courtyard uses. The extension has been sensitively designed, clad in painted timber to match the retained and refurbished workshop doors.

A plant room has been located within the least sensitive area of the south range which will provide heating and hot water for the whole stable block.

New openings are proposed under the existing windows of the south facade, providing access to a south terrace from the event space.



2.2 events space



events space elevation from inner courtyard



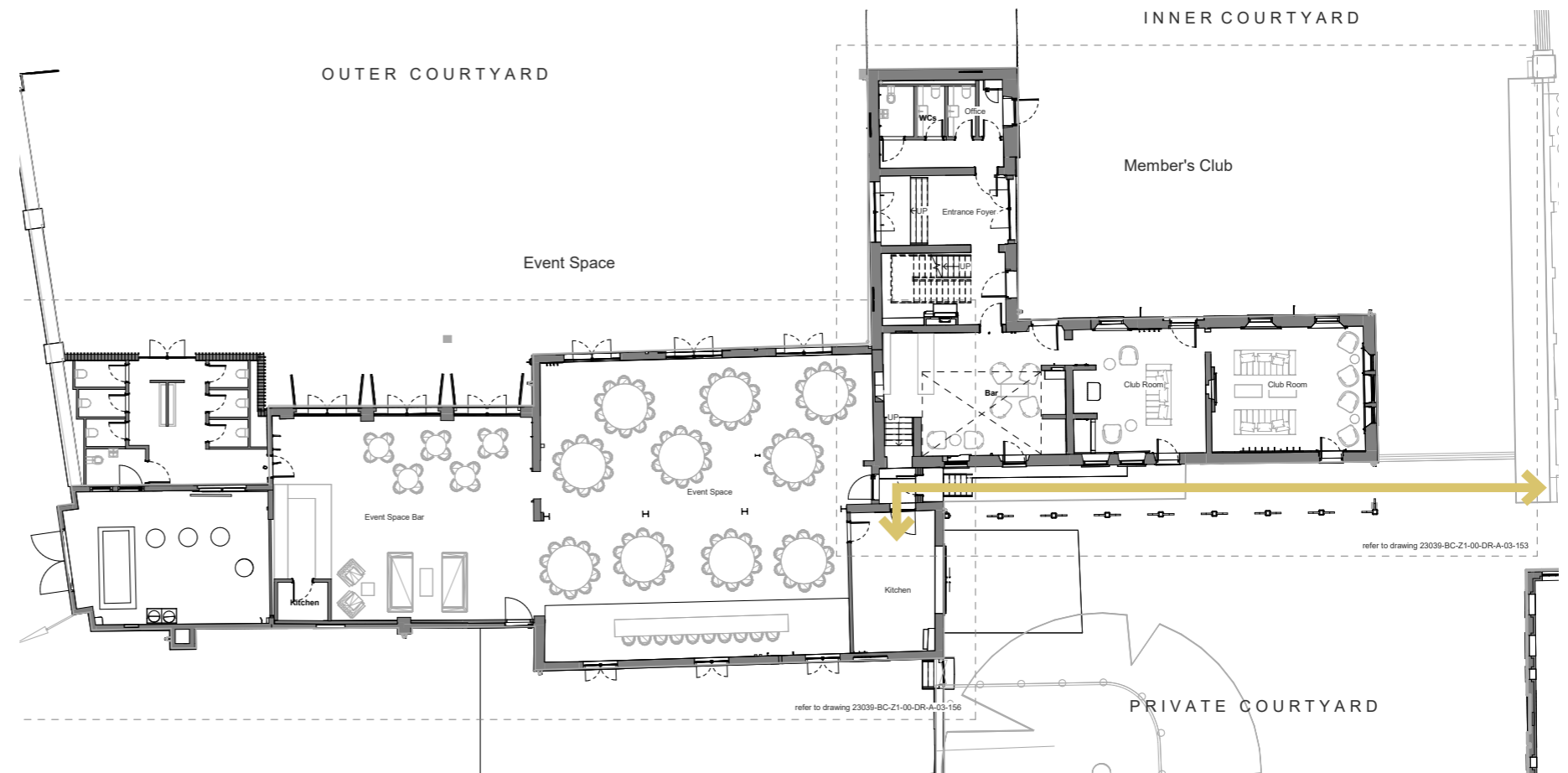
events space elevation from south

2.2 events space

A new service kitchen is proposed to the eastern end of the stable block. This will service both the events space and members area. When large events are on going the events kitchen will be supported by the commercial kitchen in the main house. It is proposed that a new colonnade structure is formed to the rear of the south wing to create covered link between the commercial kitchen in the main house and events space kitchen.

This new colonnade will replace the existing 20th century timber porch structure, which is in a poor state of repair. As detailed within the heritage report, cartographic evidence suggests a covered walkway has been in this position from at least the mid-19th century, however possibly as early as the 1770s.

The proposed colonnade has been designed sensitively to reflect the rustic nature of the stable block. Square timber columns on a small stone base create a lightweight, contemporary, structure which aesthetically improves the rear elevation.



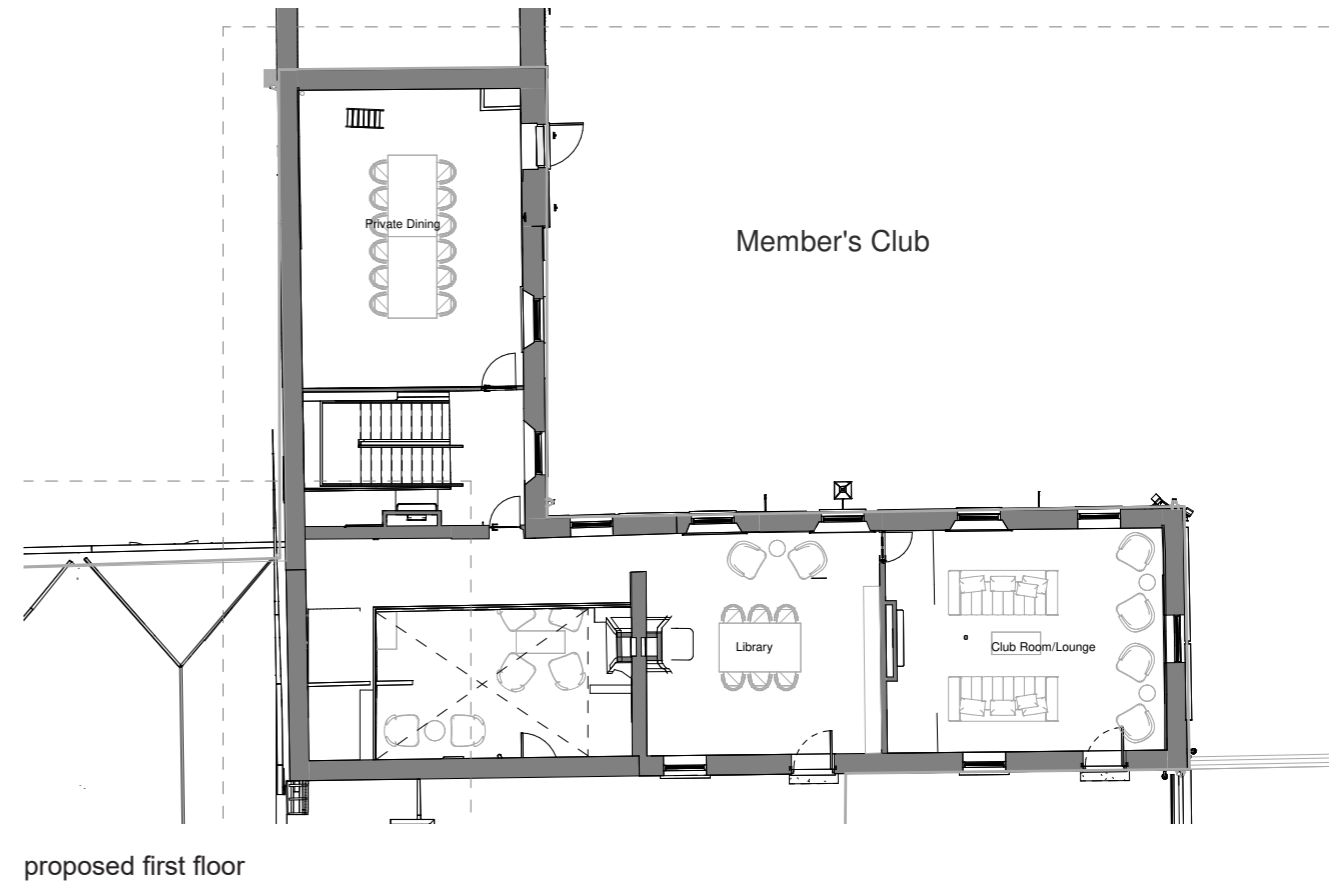
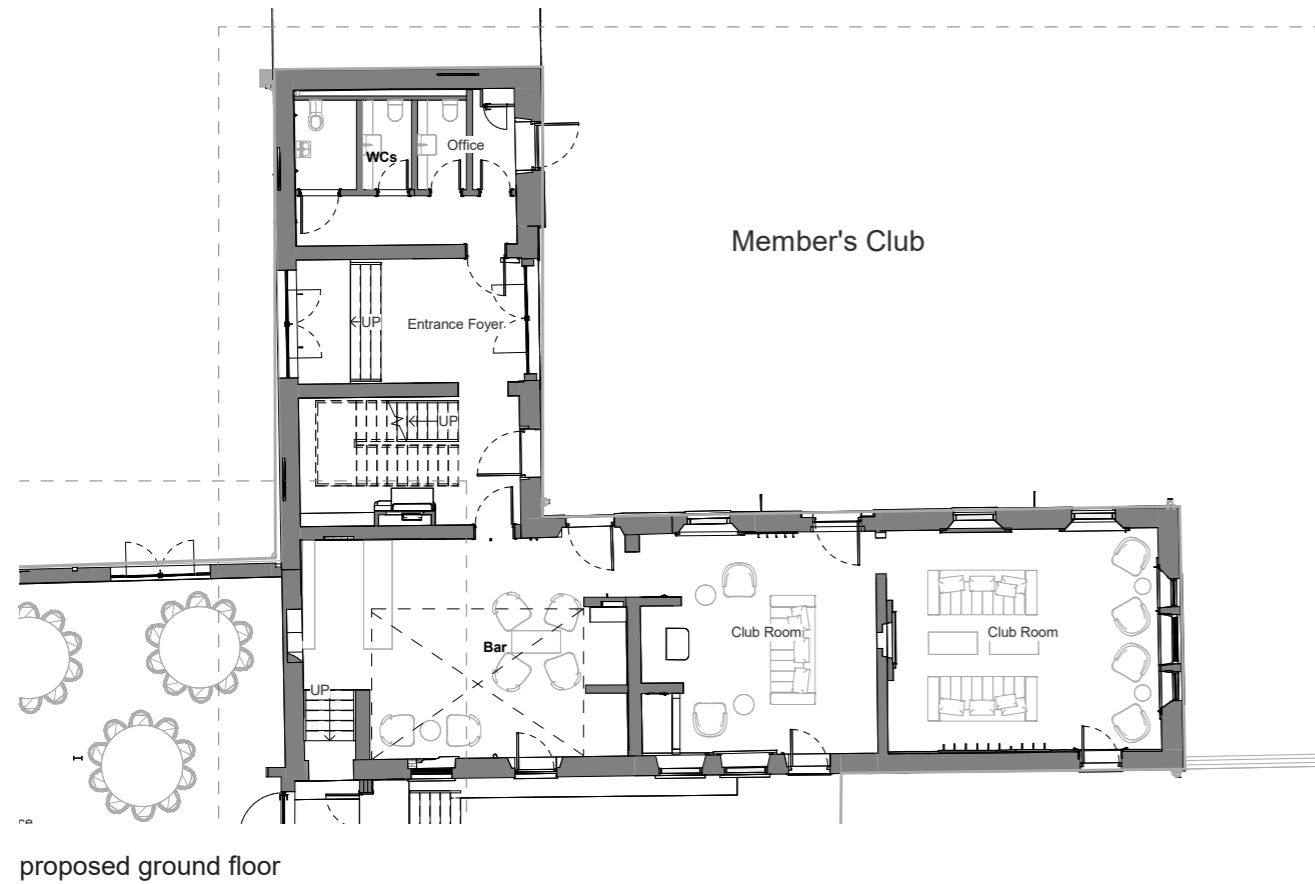
2.3 members club

The members club is to be located within the south wing and will provide a series of rooms including bar, library and private dining spaces. The proposals maintain the legibility of the historic rooms. New openings within the existing fabric have been kept to a minimum, however, where proposed they aim to improve internal circulation, and allow the members club to function as a space.

A new members access is proposed to the outer courtyard to create a legible and impressive new entrance to the member's club and introduce further activity to the outer courtyard.

There are a number of significant heritage benefits proposed in the members area such as reinstatement and repair of fire places and chimneys to the roof, and removal of modern unsympathetic fabric.

Existing blind windows are to be removed and reinstated as windows to allow further natural light into the upper floor club rooms.



2.3 members club

New openings are proposed to the southern elevation of the south wing. To the ground floor the modern windows are to be replaced with a more sensitively designed window to match the rest of the building. Introduction of new doors in existing window openings allow access out to the courtyard. The existing staircase and access up to first floor is to be removed, allowing the original window rhythm to be read more clearly.

Two new windows and two new door openings to the first floor will improve the daylight internally within the members rooms, and will provide access onto a new terrace to the top of the colonnade structure. New openings have been sensitively designed and match historic fabric elsewhere in the stable block.



Existing elevation



Proposed elevation



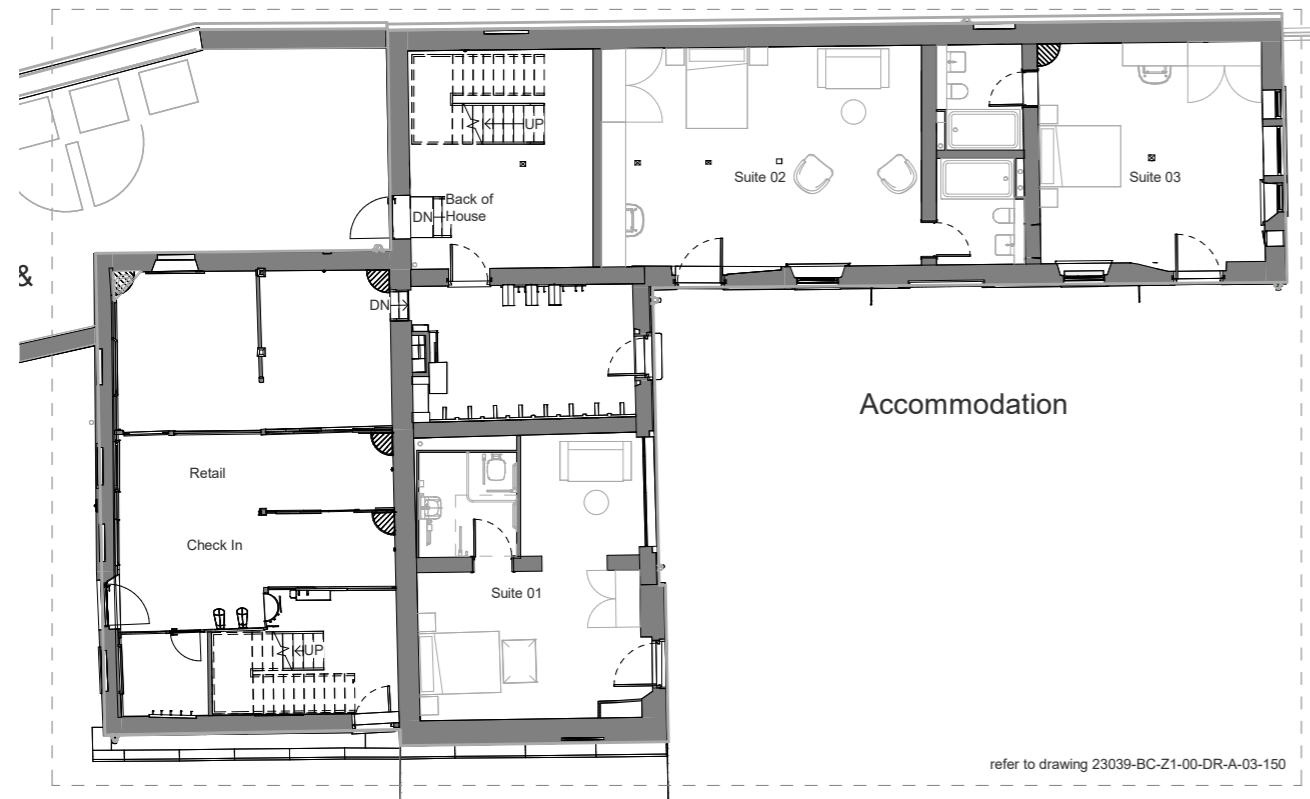
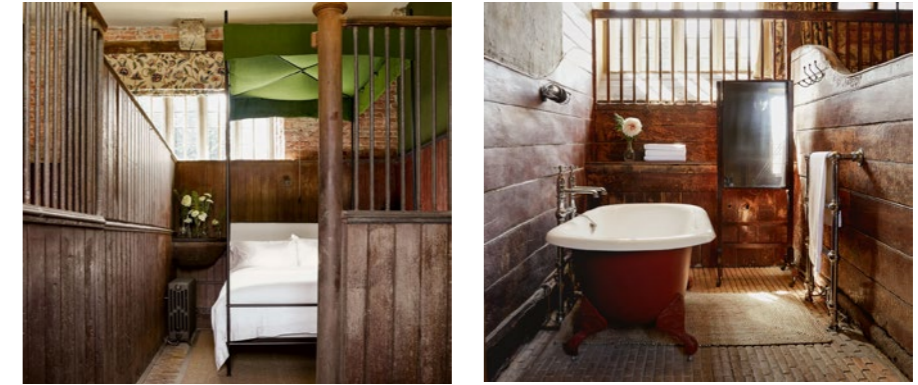
2.4 accommodation

The proposed accommodation will be located within the north wing. Much of north wing has been identified as high significance therefore each layout has been sensitively designed to maintain legibility of key rooms (such as suite 03), and work with the existing fabric of the building. Each room is generously sized with sufficient daylight.

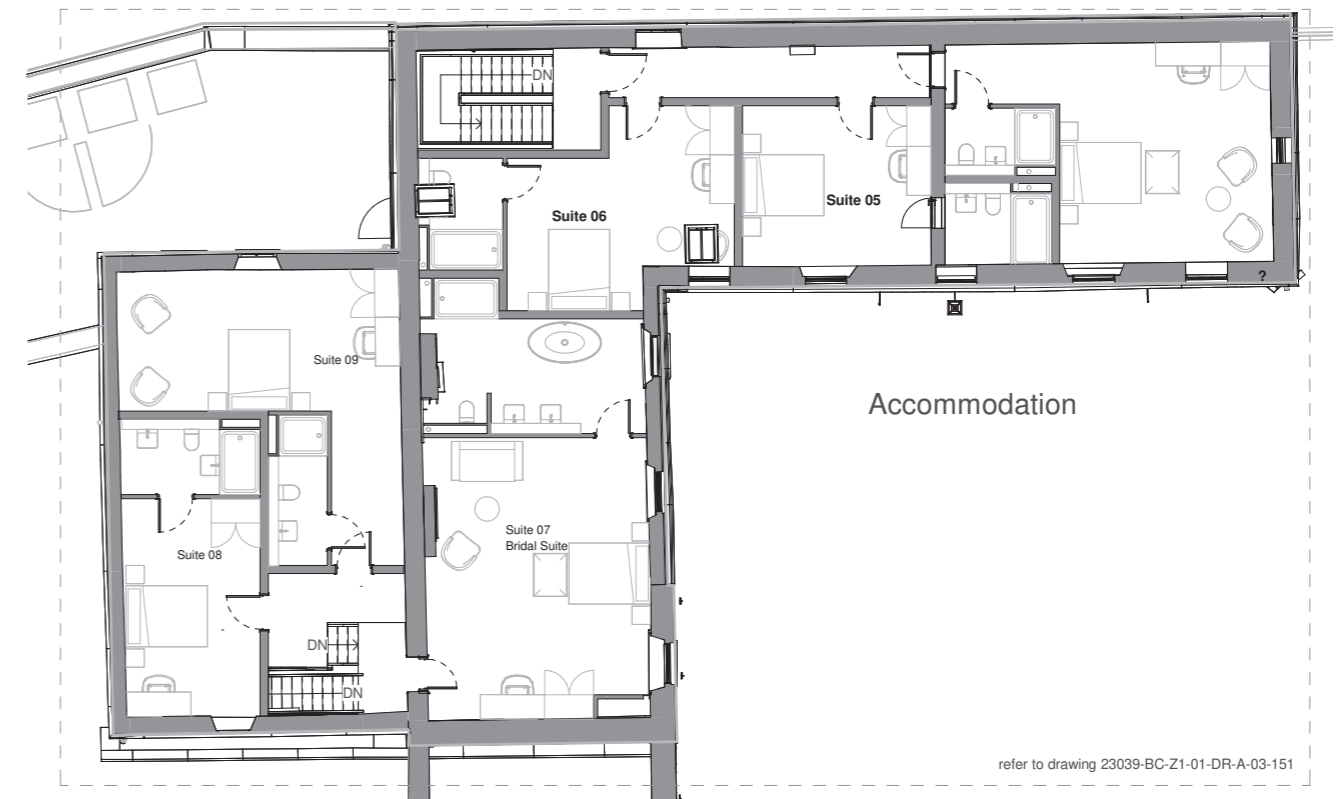
Replacement of existing doors or blind windows and introduction of roof lights has been proposed in areas to improve the internal conditions of the spaces.

Two new staircases have been proposed to improve internal circulation within the building. To the north wing a staircase is proposed to the back of the stable block, replacing a stair between suite 01 & 02, this enables ensembles to be located in the original circulation space, rather than subdividing historic rooms. Within the tack room, north wing extension, a new staircase replaces a smaller staircase which was in poor repair, and unsuitable for public use.

Where ever possible the existing stable block features, such as hay feeders and horse enclosures will be maintained and restored. A similar example of these can be seen at the restoration of the stables at St Giles house, (pictured)



proposed ground floor



proposed first floor

2.5 retail

2.5.1 northern range:

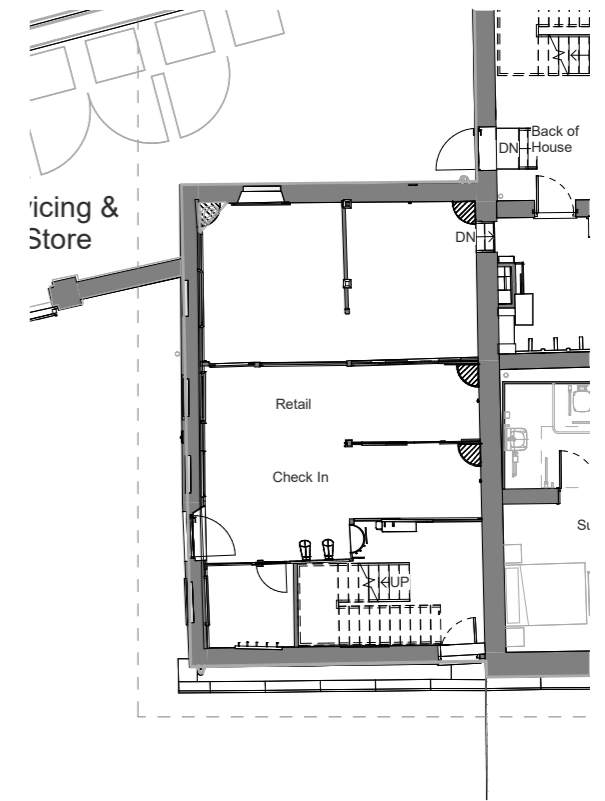
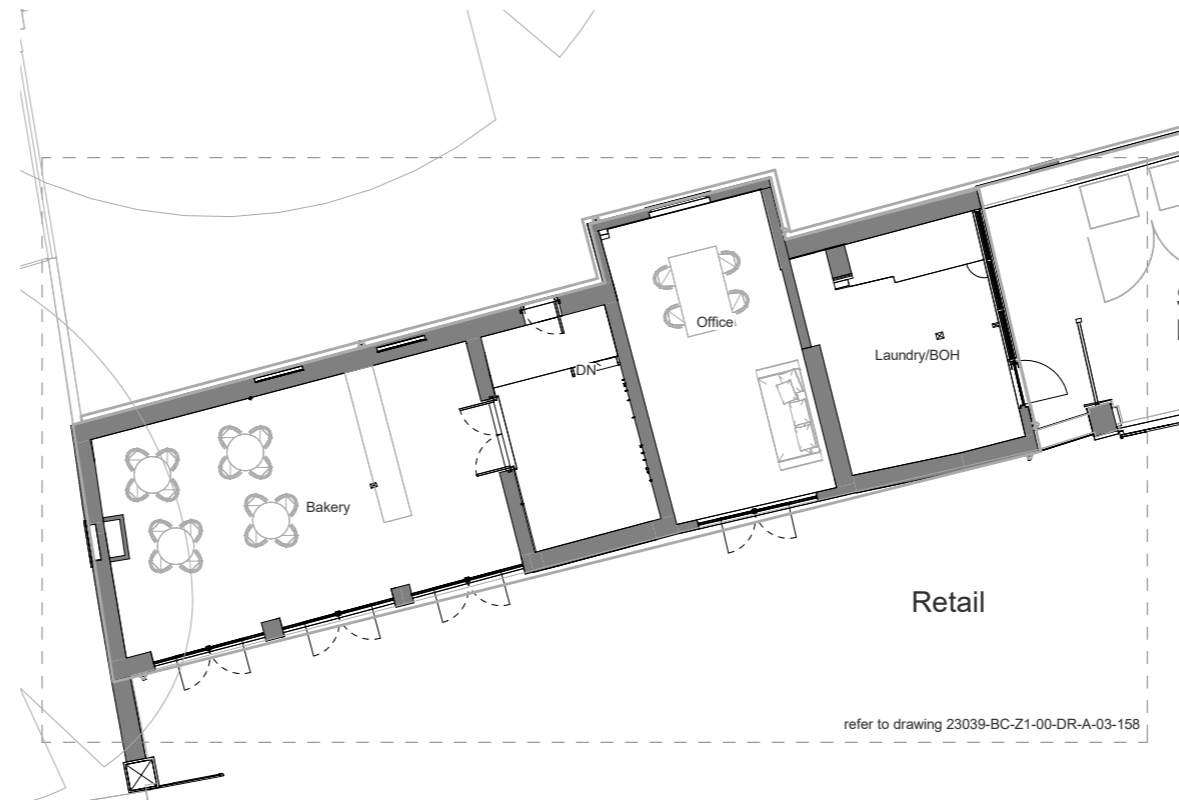
As identified by Purcell, much of northern range is given a low significance. The existing building is in poor repair and has a cluttered elevation of large timber workshop doors, two smaller pedestrian doors and two small windows.

The refurbishment of the northern range consists of the introduction of a small bakery and cafe, site management office and a laundry room accessed via the service yard.

The existing openings have been rationalised and combined to create 4 larger openings which improves the aesthetic of the building and creates an inviting public space. The proposed crittall style glazing creates a consistency of style within the outer courtyard (also being proposed within the events space), and legibility of modern interventions.

2.5.2 north wing extension:

The north wing has been identified as the most significant space within the stable block. The exquisite stable block furniture will be retained and refurbished. A new retail space is proposed within the space which will house an antiques business. The proposals will be as light touch as possible to ensure the character of the existing space remains intact. Introduction of retail within this space will allow members of the public to appreciate the quality within this area of the block.



2.6 principle of new interventions

2.6.1 principles

Careful consideration has been taken to the design of each new space proposed within the historic stable block. All new interventions have been designed sensitively to maintain and enhance the character of the existing property.

Where new fabric has been inevitably proposed it has been done so to ensure the buildings are usable and to sustain their future. New fabric has been designed to be lightweight, subservient and easily reversible.

Restoration and new introductions to the building fabric will help to thermally improve the existing building, this includes restoration of leaky windows and introducing new insulation within the floors and ceilings without harming the historic building.

As part of the submission, typical details have been submitted of any new fabric.

All new proposals have been discussed and agreed with building control.

2.6.2 new walls

All new internal partitions and infills within existing walls are to be of timber construction. Modern gypsum plasterboards will be used to ensure the required fire and acoustic ratings are achieved, however lime based plaster will be applied to maintain a breathability to the building fabric and to retain a consistent plaster finish throughout.

All existing mortar on the external walls will be removed and replaced with lime based mortar. Internally the existing lime plaster will be retained where possible and repaired if necessary. We would expect to work closely with the conservation officers to determine the extent of the repairs.

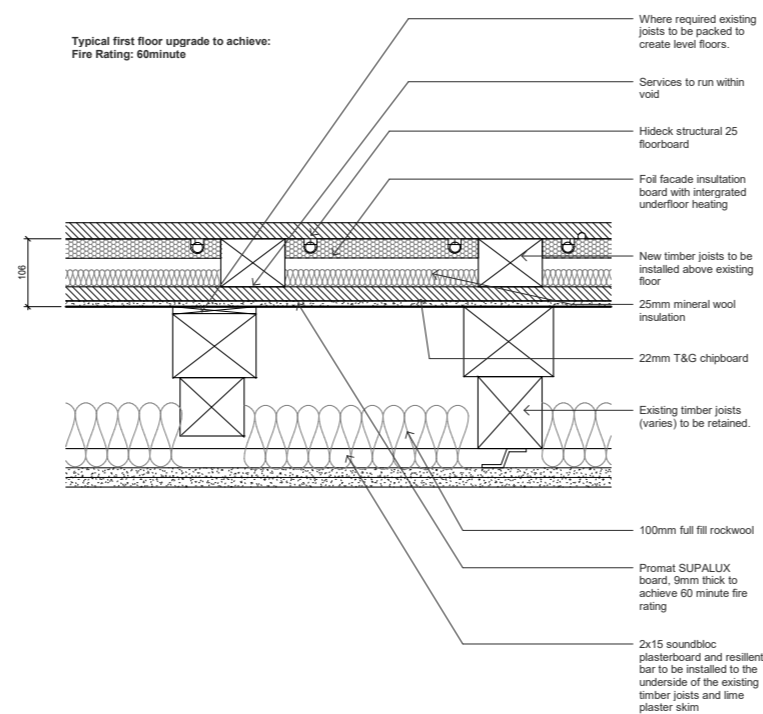
2.6.3 new floors

The existing ground floors throughout the stable block are damp, which is causing significant damage to the existing floor coverings, existing stable floor shown below. Therefore it has been proposed to remove all the ground floor slabs within the stable block and replace them with a new lime slab which will stop water ingress however allow the existing building to breathe.

Introduction of a new ground floor slab also provides the opportunity to install underfloor heating throughout the stable block. This will allow for heating, (there currently is none present) however without the need to install radiators, which would not be suitable in this historic setting. Where possible the existing floor tiles will be reused to finish the new floors.

The existing timber structure to the first floors will be retained where possible. Where present, lime ash floor coverings are to be retained.

The proposed first floor upgrades will ensure the scheme meets the appropriate fire rating required to meet modern day building regulations. A new structural floating floor is proposed above the existing structure, which will reduce the structural load on the existing floor, improve the acoustic performance and provide a void for new services.



Typical floor upgrade detail - refer to submitted drawings



2.7 landscape proposals

New landscaping to each courtyard is proposed as part of the application, please refer to SBA drawings for further details of the proposals.

The new landscaping to each courtyard will improve the visual setting of the stable block, encourage customers of Hotham Hall to use the external space and allow further appreciation of the historic setting.

2.7.1 inner courtyard

The proposed landscaping of the inner courtyard seeks to mirror the symmetrical nature of the architecture. Vehicular access through the courtyard has been retained, but the parking has been omitted. The simple arrangement of planting complements the existing building and enables use by the users of the members and accommodation space.

2.7.2 outer courtyard

The outer courtyard requires flexibility due to the demand of its multiple uses (retail, members entrance and events space), therefore the landscape design has been kept simple, with movable planters and seating which can be rearranged depending on the event. The events space and bakery will spill out onto the courtyard providing activity throughout the year.



2.8 stable block visuals

2.8.1 inner courtyard



2.8 stable block visuals

2.8.2 outer courtyard



2.8 stable block visuals

2.8.3 outer courtyard

