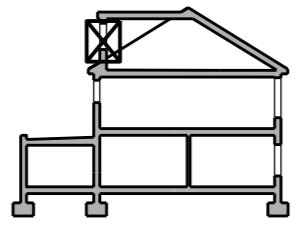


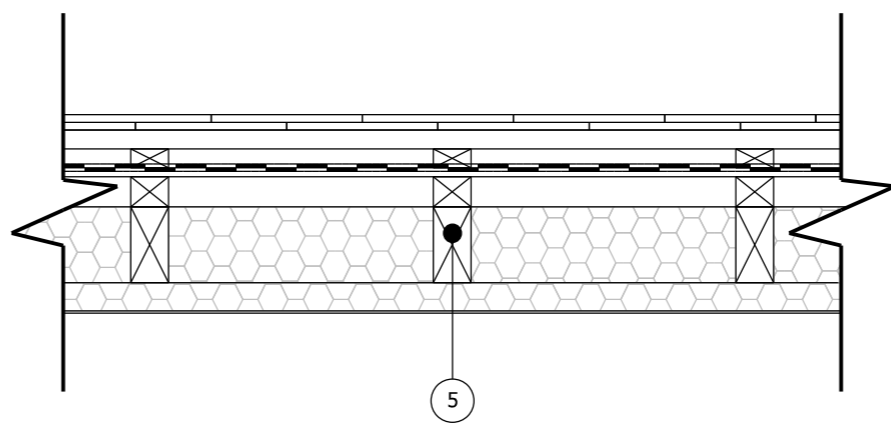
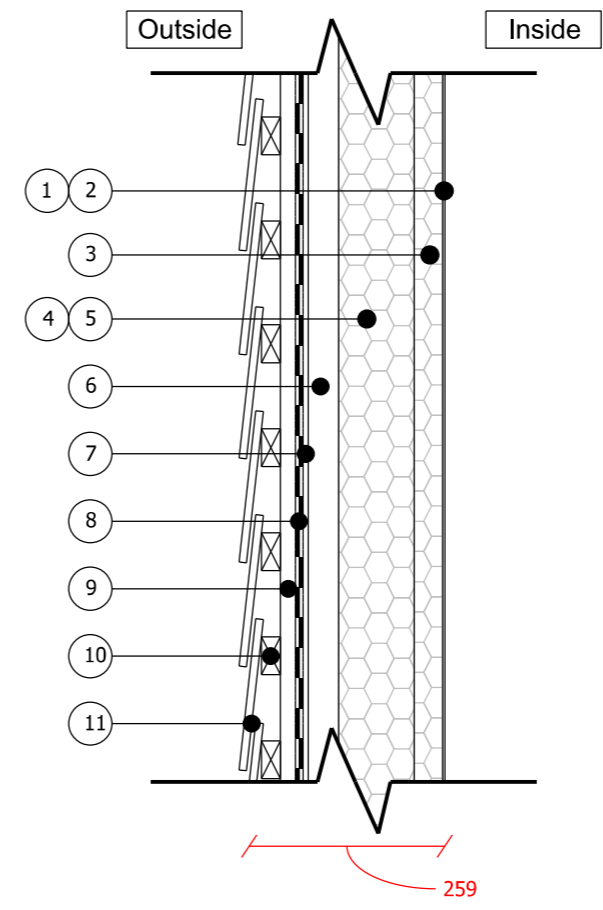
W03		Dormer wall		
Detail performance	Units	Minimum requirement		Modelled
Airborne Sound Insulation	dB Rw+Ctr	Change of use	n/a	n/a
		New Build	n/a	
Impact Sound Insulation	dB LnTw	Change of use	n/a	n/a
		New Build	n/a	
Thermal Performance	U-value (W/m2K)	<0.18		0.17
Fire Resistance		n/a		n/a



	Materials Description	Size	Manufacturer	Product Reference
1	Matt paint finish	n/a	Dulux or acceptable equivalent	Dulux Trade Vinyl Matt
2	Skim coat plaster	2 mm	British Gypsum or acceptable equivalent	Thistle BoardFinish
3	Insulation board with air leakage barrier	37.5 mm	Kingspan or acceptable equivalent	Kooltherm K118 37.5mm
4	Insulation board	100 mm	Kingspan or acceptable equivalent	Kooltherm K112
5	Timber studs at 600 mm centres with associated base plate	50 x 100 mm	The Timber Group or acceptable equivalent	CLS Studwork C16
6	Clear cavity void	40 mm	n/a	n/a
7	OSB sheathing	9 mm	The Timber Group or acceptable equivalent	9mm 2440x1220 OSB Type 3
8	Breathable membrane	0.4mm	Kingspan or acceptable equivalent	Nilvent breathable membrane
9-10	Tiles battens	25 x 50 mm	The Timber Group or acceptable equivalent	Sawn treated blue graded batten BS5534
11	Vertical tiles	267x168mm	Marley or acceptable equivalent	Concrete plain tiles

Additional Notes & Specifications

1	<p>Description : Water based emulsion paint to plastered surfaces. Preparation : Thoroughly clean down the surfaces to remove all dirt, grease and surface contaminants and allow to dry. Composition : Acrylic copolymer. Sheen : Matt. Colour : Refer to the Design Drawings.</p>	
2	<p>Description : Skim coat plaster. Preparation : Complete 1st and 2nd coat, total thickness for both coats should be a minimum of 2mm. Final trowel to a matt finish (lubricated with minimal water). Composition : Retarded hemihydrate, pre-mixed gypsum plaster. Sheen : n/a Colour : n/a</p>	
3	<p>Description : Insulated plasterboard layer inclusive of vapour control layer and 12.5mm gypsum based plasterboard. Preparation : To be installed as per manufacturer's specifications. Suitable for both direct adhesive bonding (dot and dab) and mechanically fixed installation. Composition : PIR. Sheen : n/a Colour : n/a</p>	
5	<p>Description : Untreated planed and regularised timber. Preparation : Thoroughly clean down the surfaces to remove all dirt, grease and surface contaminants and allow to dry. Composition : Wood. Sheen : n/a Colour : n/a</p>	
6	<p>Description : PIR insulation slabs. Preparation : Metal steel frame or wooden stud wall to be built and filled with insulation slabs. Composition : PIR Sheen : n/a Colour : n/a</p>	
7	<p>Description : OSB sheathing. Preparation : To be installed as per manufacturer's specifications. Composition : PIR Sheen : n/a Colour : n/a</p>	
8	<p>Description : Breathable membrane Preparation : To be installed as per manufacturer's specifications Composition : 3-layer polyolefin construction Sheen : n/a Colour : n/a</p>	
9-10	<p>Description : Planed and regularised timber, kiln dried, treated and BS5534 graded Preparation : To be installed as per manufacturer's instructions Composition : Wood. Sheen : n/a Colour : n/a</p>	
11	<p>Description : Vertical cladding tiles as agreed with client Preparation : To be installed in accordance with manufacturer's details. Composition : Concrete (to be confirmed) Sheen : n/a Colour : to be confirmed</p>	



1. This drawing remains copyright of Windsor & Patania Architects and may not be reproduced or copied without consent in writing.
2. Print out to actual scale. Do not scale drawing use figured dimensions only. All dimensions to be cross-checked on-site by the appointed contractor prior to manufacture and construction
3. Any discrepancies between site and drawings to be reported to the Windsor & Patania Architects immediately.
4. Read in conjunction with all relevant drawings and documentation produced by other consultants
5. All structural elements to be agreed with local authority Building Control prior to commencement of works.
6. Attention is drawn to the provisions of the party wall act 1996. Legal boundaries should be determined by others.
7. All suggested demolition works to be reviewed by a Structural Engineer and to be assessed on site prior to demolition.
8. All areas are approximate and are to be used for indicative purposes only. Areas don't take into account possible variations related to the impact of Site Conditions, Structure, Drainage and M&E.
9. Windsor & Patania Architects accepts no liability for any expense, loss or damage of whatsoever nature and however arising from any variation made to this drawing or in the execution of the work to which relates which has not been referred to them and their approval obtained.
10. Contractors to be responsible for the design and supply of all temporary works (i.e. bracing, propping, showing, tying, etc) and the security, stability, and safety of the building works.

DRAFT-03

Architect contact details: London: 020 3011 2997, Cambridge: 01223 776 997, Liverpool: 0151 665 0997
info@windsorpatania.com

Client: MAHMOOD JESSA
39Stratford Rd, Watford WD17 4YN, UK

Project Address: HMO Conversion
82Fearnley St, Watford WD18 0RD, UK

Drawing title: CONSTRUCTION DETAIL

date: SEPTEMBER 2023 scale:

drawing number: W03 sheet no.:

W03 Dormer wall
1:10@A3