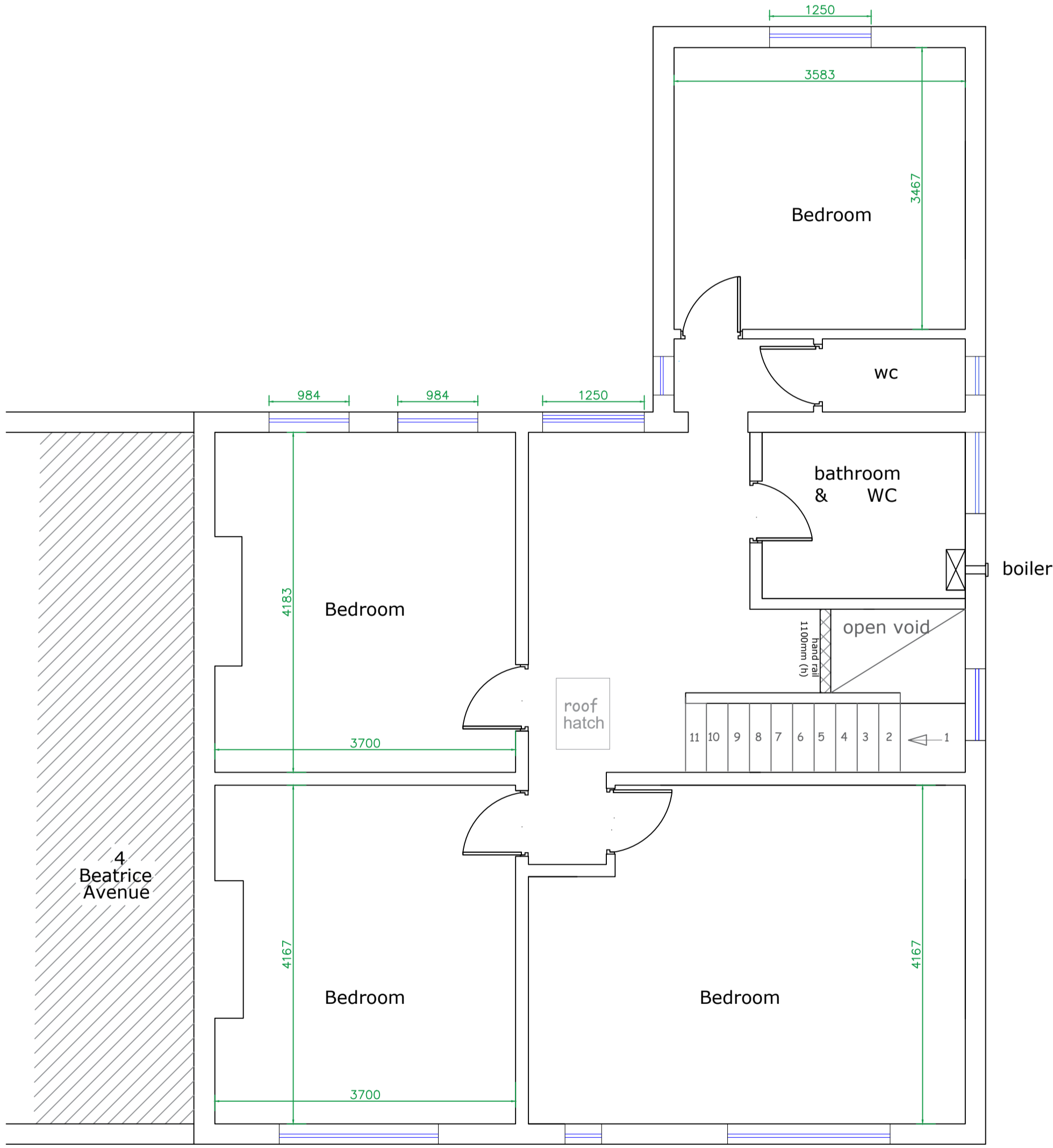
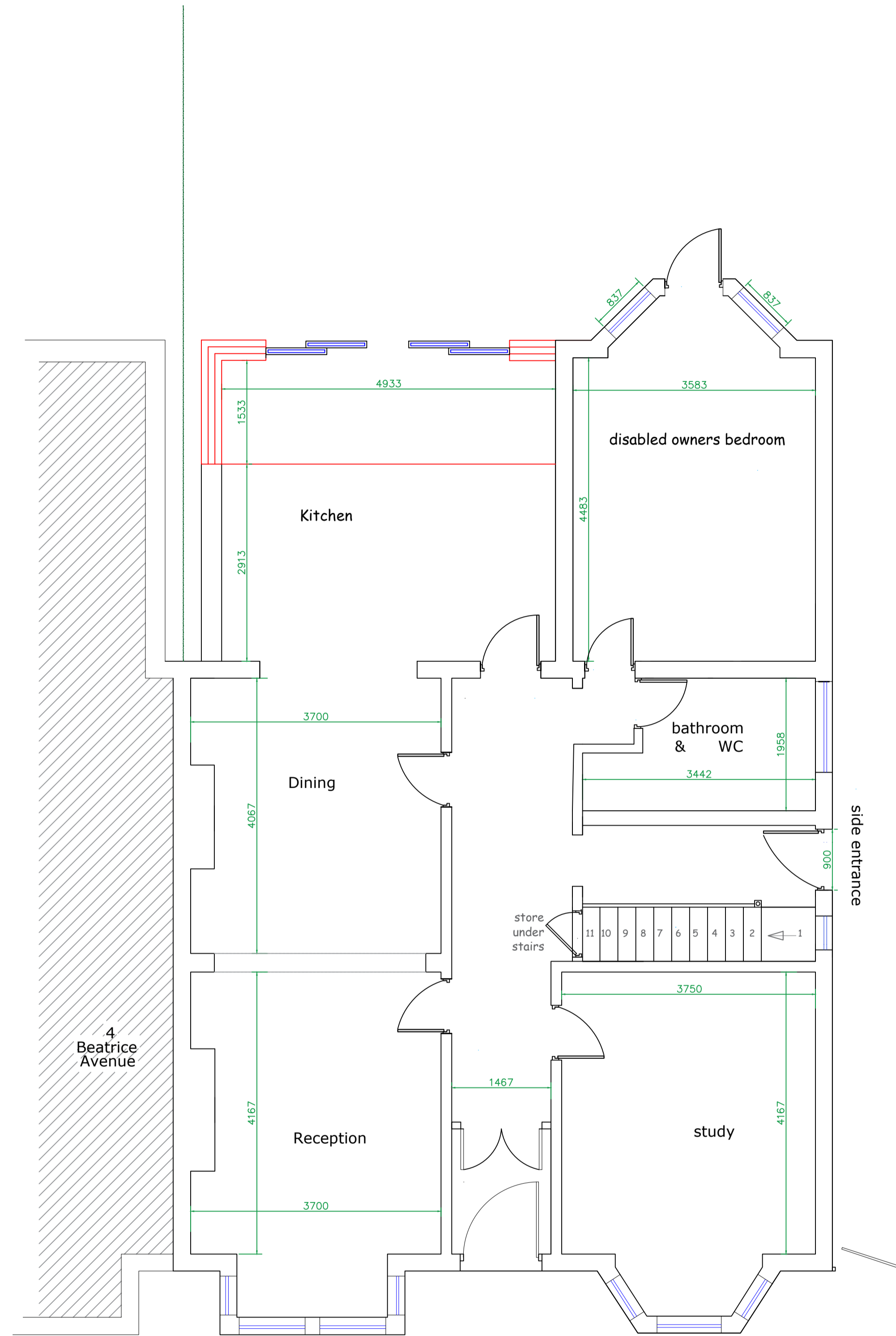


Existing Ground Floor Plans

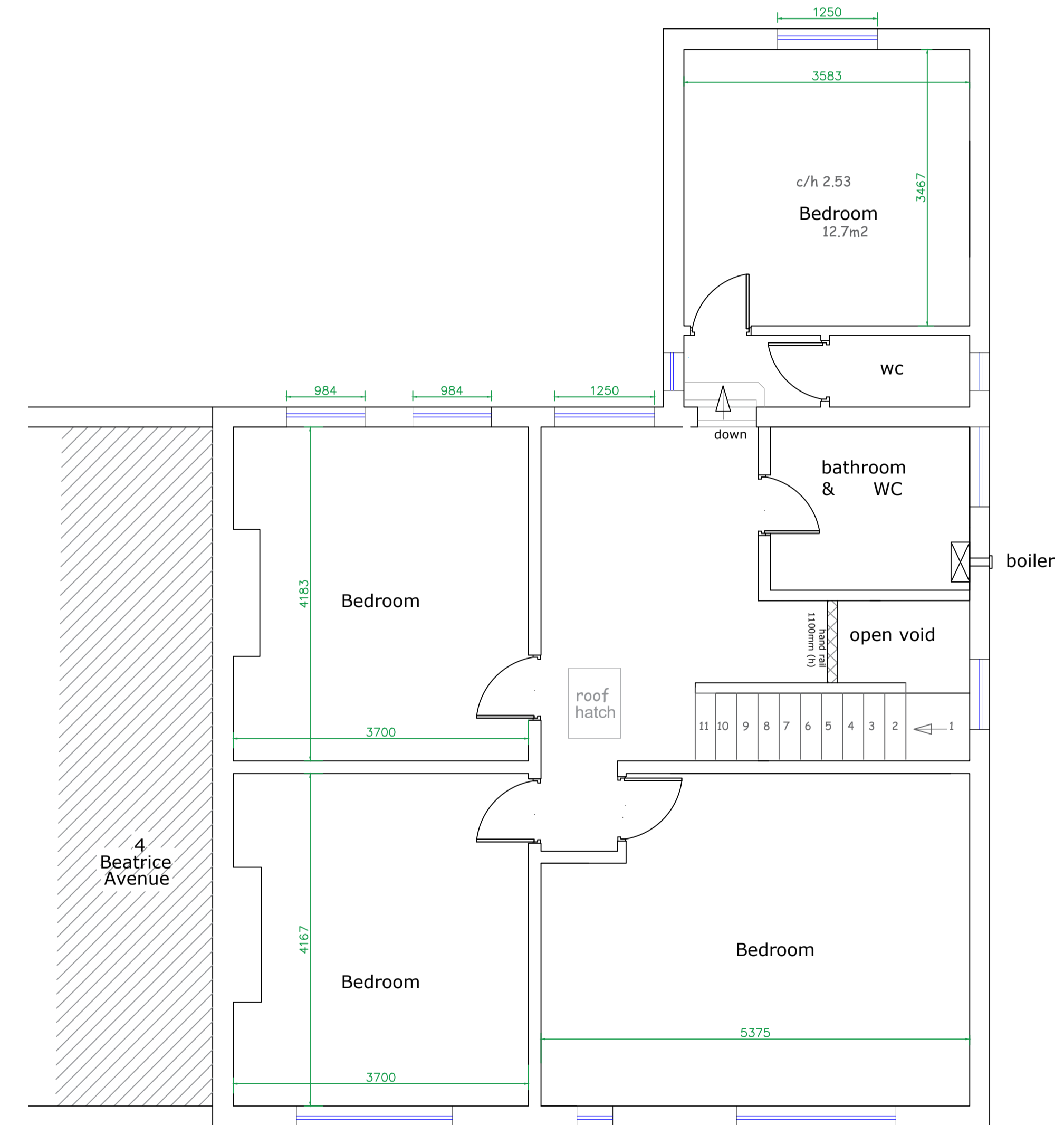


Existing Ground Floor Plans

Scale 1:50 A1 (Paper)



Proposed Ground Floor
122.5m²



Proposed First Floor
88.5m²

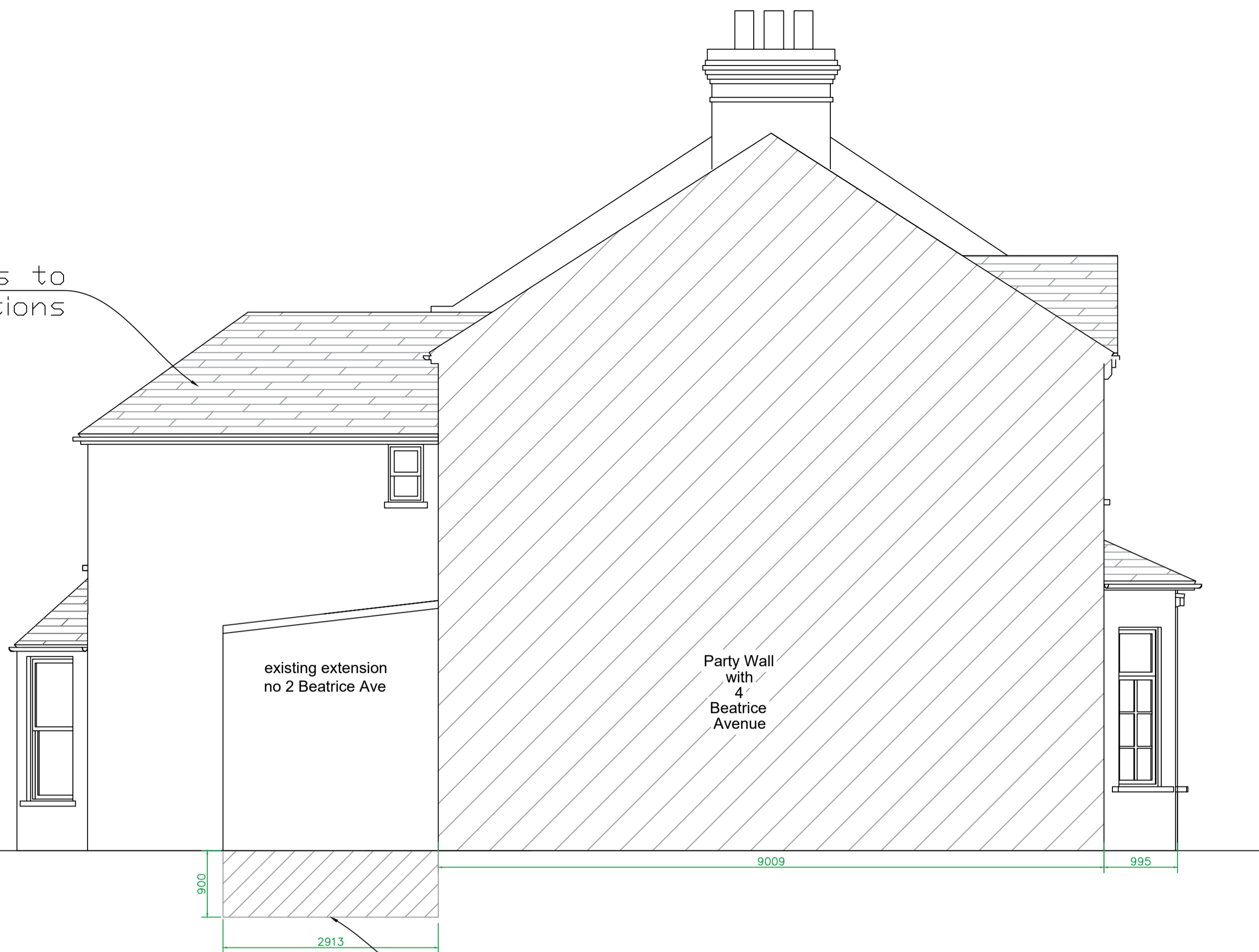
Scale 1:50 A1 (Paper)



Existing Front Elevation

no changes to existing elevations

no changes to existing elevations



Existing West Facing Elevation

existing foundation 900mm below ground level



Existing East Facing Elevation

no changes to existing elevations

no changes to existing elevations



Existing Rear Elevation

<p>Contractors Notes: All items, notes, dimensions and general design contained in this drawing are for guidance purposes only. Nominated builder and services responsible for the project should make a thorough check prior to commencement of works against all applicable standards and codes of practice. The Contractor is to allow within their price for all items not listed but that will be required to complete the work in accordance with all Current Legislation.</p>	<p>Notes: These drawings and any other supporting documentation related to them remains the property of Planning Made Easy until the agreed fees are settled in full. Until such time these plans and all supporting information remain the property of Planning Made Easy, under copyright law the use and copying of these plans is not permitted without the written consent of Planning Made Easy.</p>	<p>Revisions:</p>	<p>Date:</p>	<p>Date: 07/02 2024</p>	<p>Client: 2 Beatrice Avenue London SW16 4UN</p>	<p>Title: Single storey Rear extension</p>	<p>Drawn By: ZJ</p>	<p>Contract No: TS-MB-07-02-2024- Planning Set: A Revision: 0 Page No: 3 - Existing Elevations</p>
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	---------------------	----------------------------------------	-----------------------------------------------------------------	-----------------------------------------------------------	--------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------

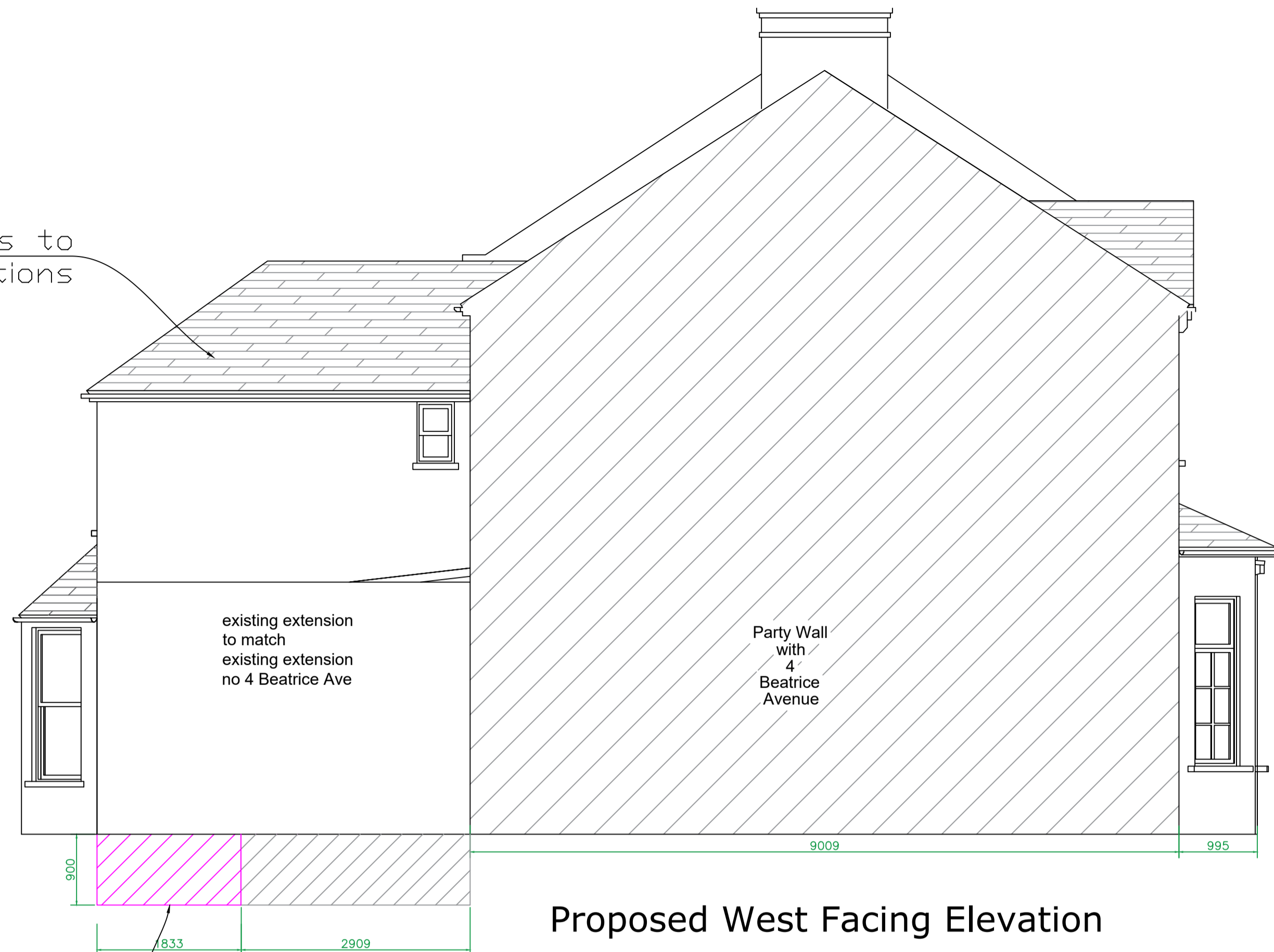
Scale 1:50 A1 (Paper)



Proposed Front Elevation

no changes to existing elevations

no changes to existing elevations



Proposed West Facing Elevation

existing extension to match existing extension no 4 Beatrice Ave

Party Wall with 4 Beatrice Avenue

proposed foundation to match existing @ 900mm below ground level no further forward of existing rear elevation



Proposed East Facing Elevation

no changes to existing elevations

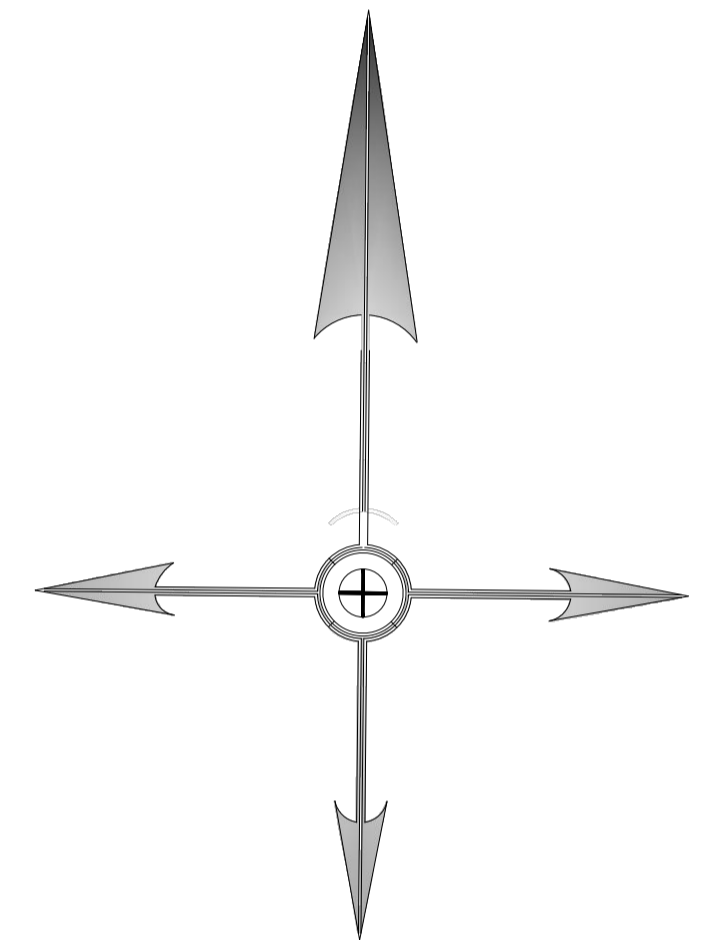
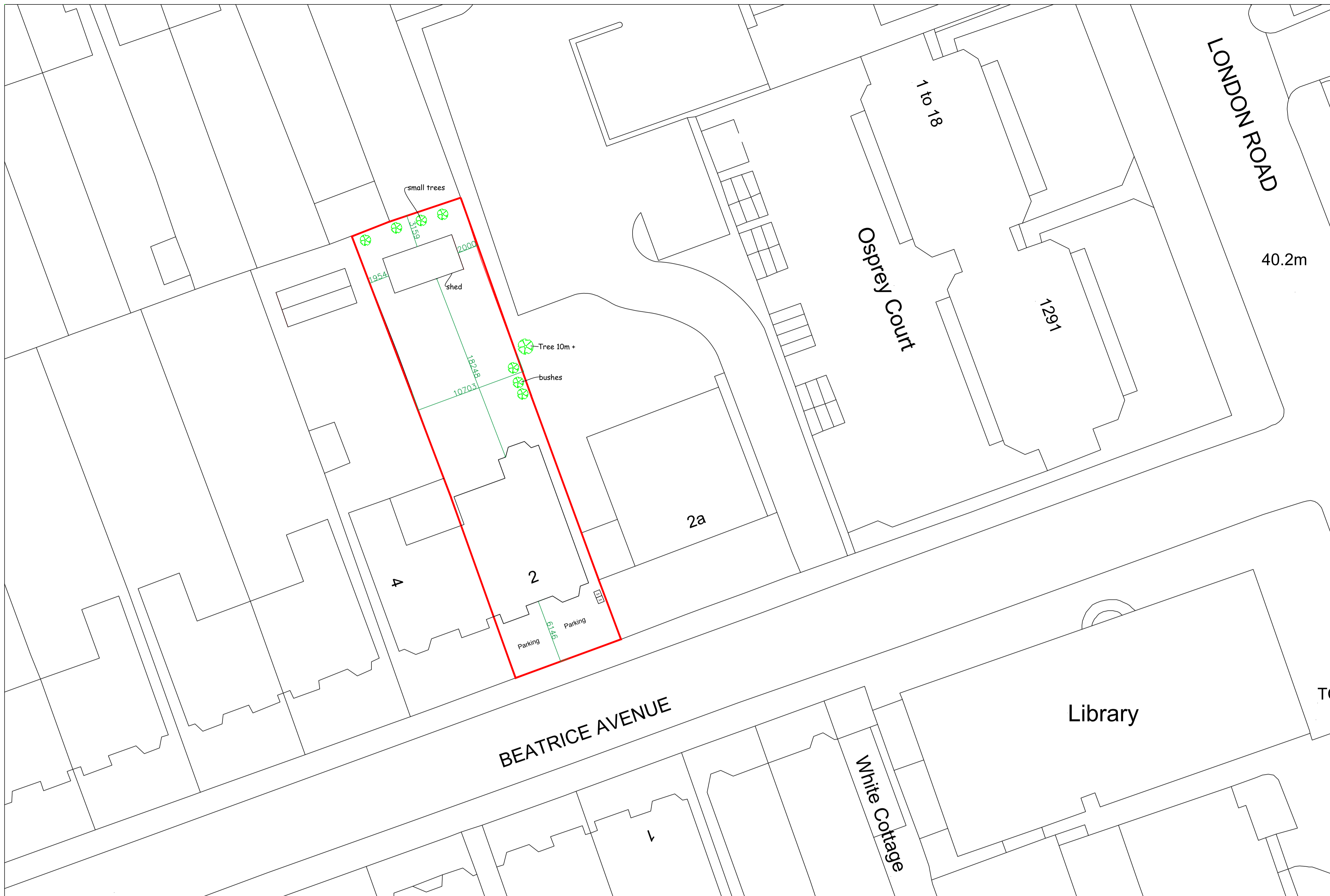
no changes to existing elevations



Proposed Rear Elevation

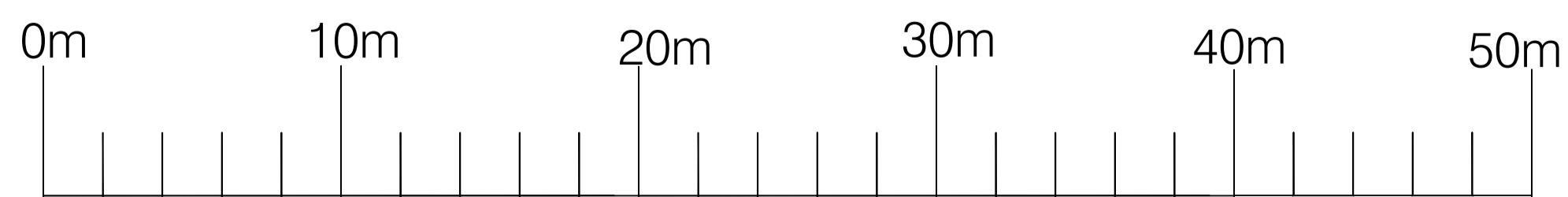
only changes to existing extended elevations new timber framed treated doors

<p>Contractors Notes: All items, notes, dimensions and general design contained in this drawing are for guidance purposes only. Nominated builder and service responsible for the project should make a thorough check prior to commencement of works against all applicable standards and codes of practice. The Contractor is to allow within their price for all items not listed but that will be required to complete the work in accordance with all Current Legislation.</p>	<p>Notes: These drawings and any other supporting documentation related to them remains the property of Planning Made Easy until the agreed fees are settled in full. Until such time these plans and all supporting information remain the property of Planning Made Easy, under copyright law the use and copying of these plans is not permitted without the written consent of Planning Made Easy.</p>	<p>Revisions:</p>	<p>Date: 07/02 2024</p>	<p>Client: 2 Beatrice Avenue London SW16 4UN</p>	<p>Title: Single storey Rear extension</p>	<p>Drawn By: ZJ</p>	<p>Contract No: TS-MB-07-02-2024- Planning Set: A Revision: 0 Page No: 4 - Proposed Elevations</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	----------------------------------------	-----------------------------------------------------------------	-----------------------------------------------------------	--------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------



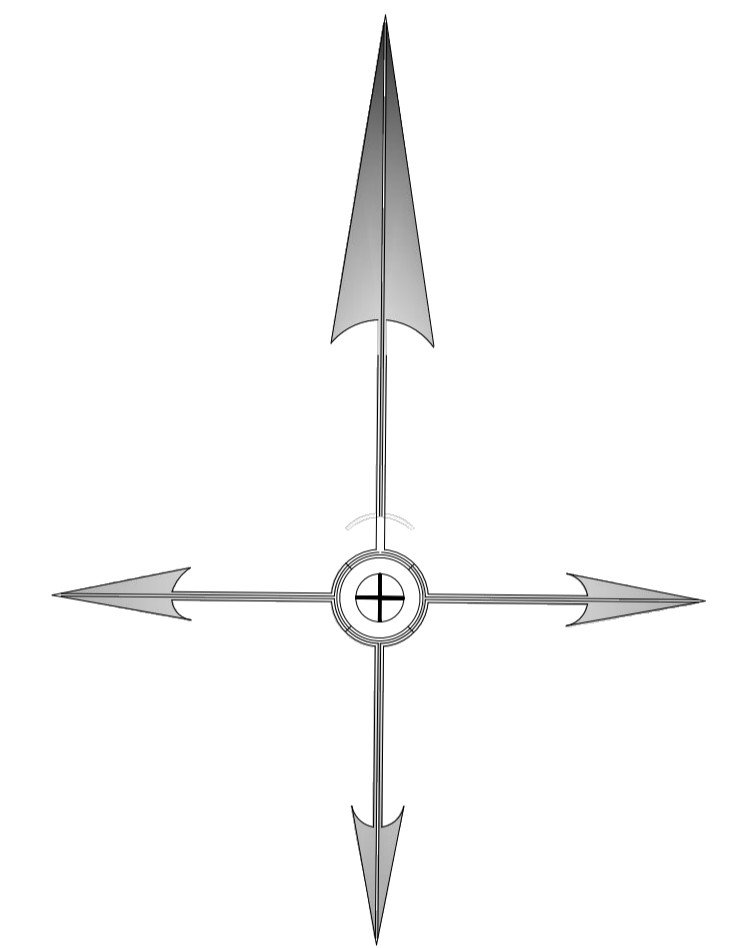
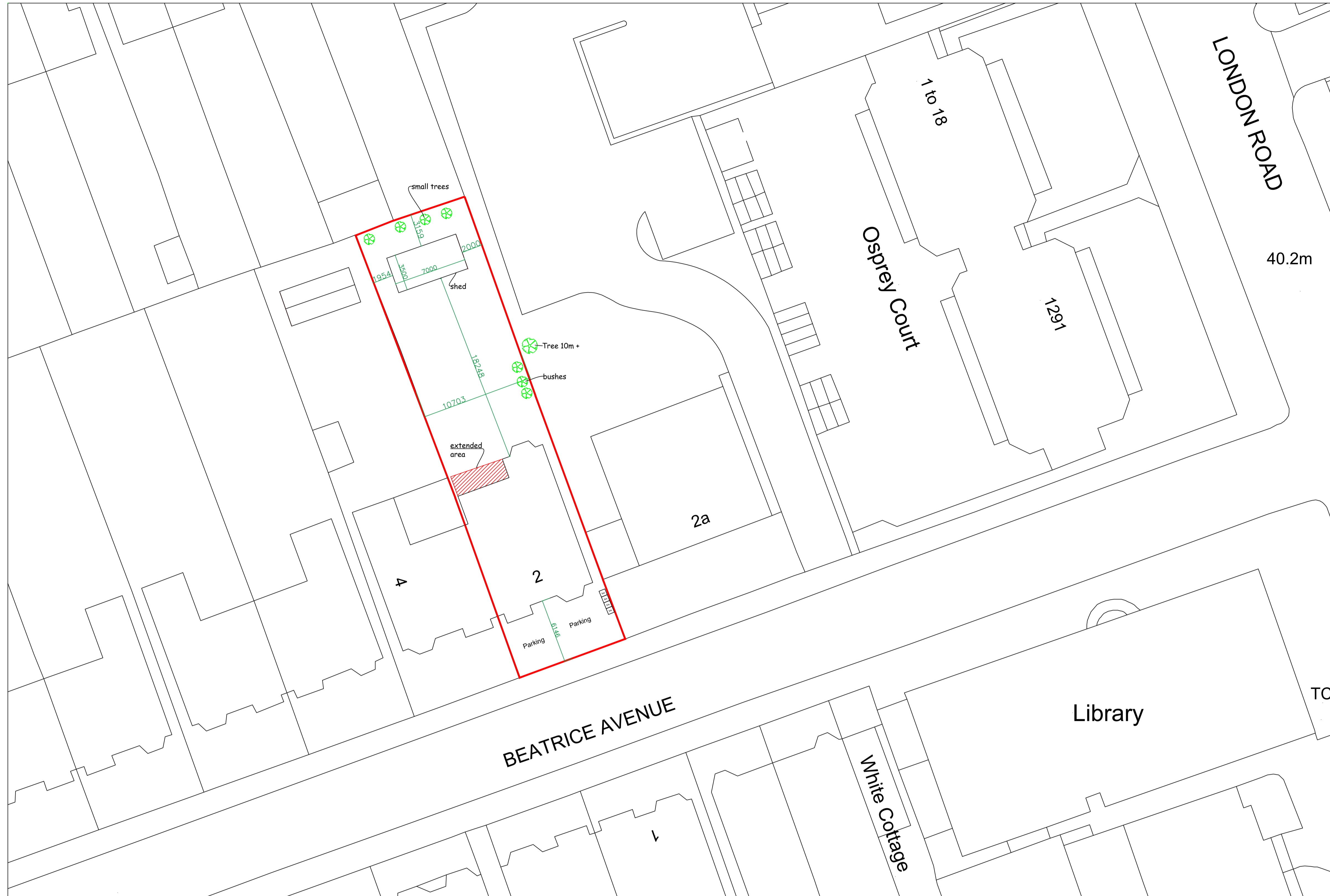
Scale 1:200
A1 (Paper)

?Crown Copyright and database rights 2023 OS Licence no. AC0000849896



Existing Site Plan

<p>Contractors Notes: All items, notes, dimensions and general design contained in this drawing are for guidance purposes only. Nominated builder and services responsible for the project should make a thorough check prior to commencement of works against the drawings, standards and codes of practice. The Contractor is to allow within their price for all items not listed but that will be required to complete the work in accordance with all Current Legislation.</p>	<p>Notes: These drawings and any other supporting documentation related to them remains the property of Planning Made Easy until the agreed fees are settled in full. Until such time these plans and all supporting information remain the property of Planning Made Easy, under copyright law the use and copying of these plans is not permitted without the written consent of Planning Made Easy.</p>	<p>Revisions:</p>	<p>Date: 07/02 2024</p>	<p>Date: 07/02 2024</p>	<p>Client: 2 Beatrice Avenue London SW16 4UN</p>	<p>Title: Single storey Rear extension</p>	<p>Drawn By: ZJ Checked By: Page Size: A1</p> <p>Contract No: TS-MB-07-02-2024- Planning Set: A Revision: 0 Page No: 5 - Existing Block plan</p>
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------	----------------------------------------	----------------------------------------	-----------------------------------------------------------------	-----------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



Scale 1:200
A1 (Paper)

?Crown Copyright and database rights 2023 OS Licence no. AC0000849896



Proposed Site Plan

<small>Contractors Notes:</small> All items, notes, dimensions and general design contained in this drawing are for guidance purposes only. Nominated supplier and service responsible for the project should make a thorough check prior to commencement of works against the relevant standards and codes of practice. The Contractor is to allow within their price for all items not listed but that will be required to complete the work in accordance with all Current Legislation.	<small>Notes:</small> These drawings and any other supporting documentation related to them remains the property of Planning Made Easy until the agreed fees are settled in full. Until such time these plans and all supporting information remain the property of Planning Made Easy, under copyright law the use and copying of these plans is not permitted without the written consent of Planning Made Easy.	Revisions:	Date:	Date:	Client:	Title:	Drawn By:	Contract No:	
				07/02 2024	2 Beatrice Avenue London SW16 4UN	Single storey Rear extension	ZJ	TS-MB-07-02-2024- Planning	
							Checked By:	Set:	A
							Page Size:	Revision:	0
							Page No:	6 - Proposed Block plan	