

4 HAY AVENUE EDINBURGH

DESIGN & ACCESS STATEMENT

Places for People

January 2024
Revision A

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1.0 INTRODUCTION

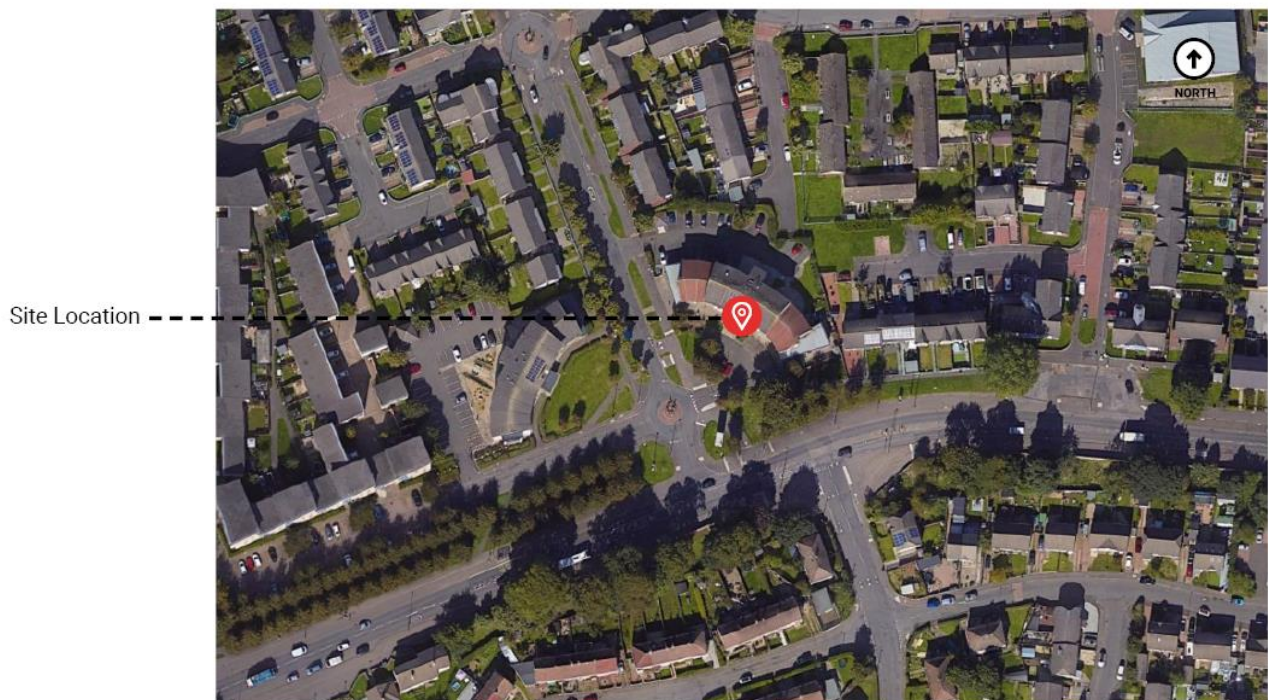
1.01 DOCUMENT PURPOSE

This document has been prepared on behalf of Places for People in support of the planning application for the site at 4 Hay Avenue, Edinburgh.

The document explains the design thinking behind the application and includes written descriptions and justifications of the proposals that are illustrated further with photographs, maps and drawings.

1.02 SITE

This planning application is for 4 Hay Avenue, located in the residential suburb of Niddrie, approximately 4km South East of Edinburgh city centre. The area is predominantly residential with a lighter presence of commercial, retail and offices.



Aerial Image of site location

1.03 CLIENT BRIEF

Places for People have instructed Pozzoni Architecture to prepare a planning application for changes to 4 Hay Avenue, these include:

- New main entrance glazing and sliding door into the ground floor lobby.
- New window to be introduced into existing blank recess.
- Introduction of external louvres to existing façades to support new internal air conditioning strategy

The above changes are required to future proof the building and support the occupiers/users.

1.04 PLANNING APPLICATION SCOPE

This is a Full Planning Application.

2.0 DESIGN

2.01 THE PROCESS

Building envelope:

The proposed changes to the main entrance have been carefully considered to support a new reception layout, occupied throughout the day by a receptionist. The existing double doors are to be replaced with a new sliding door allowing for the creation of a more accessible entrance. Whilst working on the planning and design of the new entrance, building regulations and approved documents have been considered along with the overall aesthetic of the building.

The introduction of a new ground floor window is required (within an existing blank window recess) to allow additional daylight into the newly proposed meeting room that is now located in the area where previously there were Female WCs and did not require a window.

As part of the building refurbishment a new energy efficient air conditioning system is being installed. The system requires additional louvres to be introduced into the existing building envelope. With carefully selected colours (to match with existing colour scheme) and strategic placing, they are designed to have minimal impact on the appearance of the building.

Site:

Minor improvements and maintenance to existing external treatments including upgraded EV charging points, relined carpark (no change to layout), upgraded lighting and repairs to paving.



Existing entrance doors [location of proposed sliding doors]



Existing blank window recess behind signage [location of proposed window and security shutter]



Existing M&E and extract grills to rear of building



Existing Draft/Security lobby.

2.02 USE

The current owner of 4 Hay Avenue, Places for People are to complete an extensive internal refurbishment of the central office building. As part of the refurbishment there is a requirement to improve the reception area and also improve the facilities for the employees that will work day to day in the office.

The current and future needs of the employers have been assessed, along with various studies of building maintenance/running efficiencies, which in turn have resulted in the documented proposed changes to the building.

As mentioned above one of the key problems for the existing building are known issues within the reception area and the existing double doors with draft lobby. The draft lobby takes up half of reception and is an inefficient use of space with limited draft control. The intention is to open up the reception to create an inviting space that will allow for the reception to be manned throughout the day controlling both PfP staff occupying the first and second floor offices and people visiting the community centre space.

A proposed sliding door will assist in eliminating draughts into the reception area through the introduction of an efficient air curtain to provide better control over the temperature in the reception area and in turn support a more inviting and accessible environment.



Existing building Reception (internal)

2.03 AMOUNT

Building

The proposed changes make no increase to the existing floor area.

Parking/Cycling

The proposed alterations to site, make no changes to the existing parking bay provision or cycling allowance.

There is no reduction of parking bays or cycle spaces. The existing EV chargers are to be upgraded (4 bays) and the white lining re-drawn.

Following are the details of the parking bays and cycle storage provision:

Existing

Parking Bays

Bay Type	Amount
Standard:	16
EV:	4
Accessible:	4
Visitor:	6
<i>Total:</i>	<i>30</i>

Cycle Hoops

Spaces:	8
<i>Total:</i>	<i>8</i>

Proposed

Parking Bays

Bay Type	Amount
Standard:	16
EV:	4
Accessible:	4
Visitor:	6
<i>Total:</i>	<i>30</i>

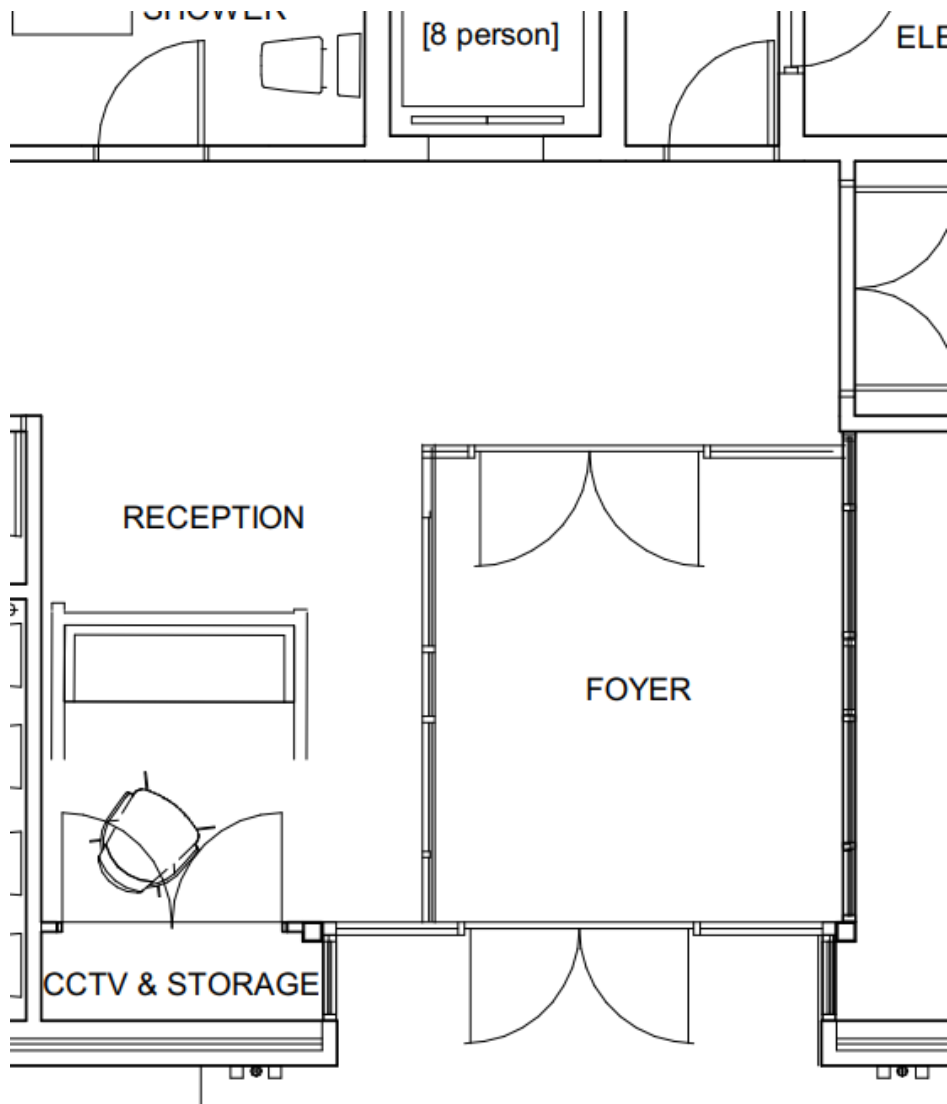
Cycle Hoops

Spaces:	8
<i>Total:</i>	<i>8</i>

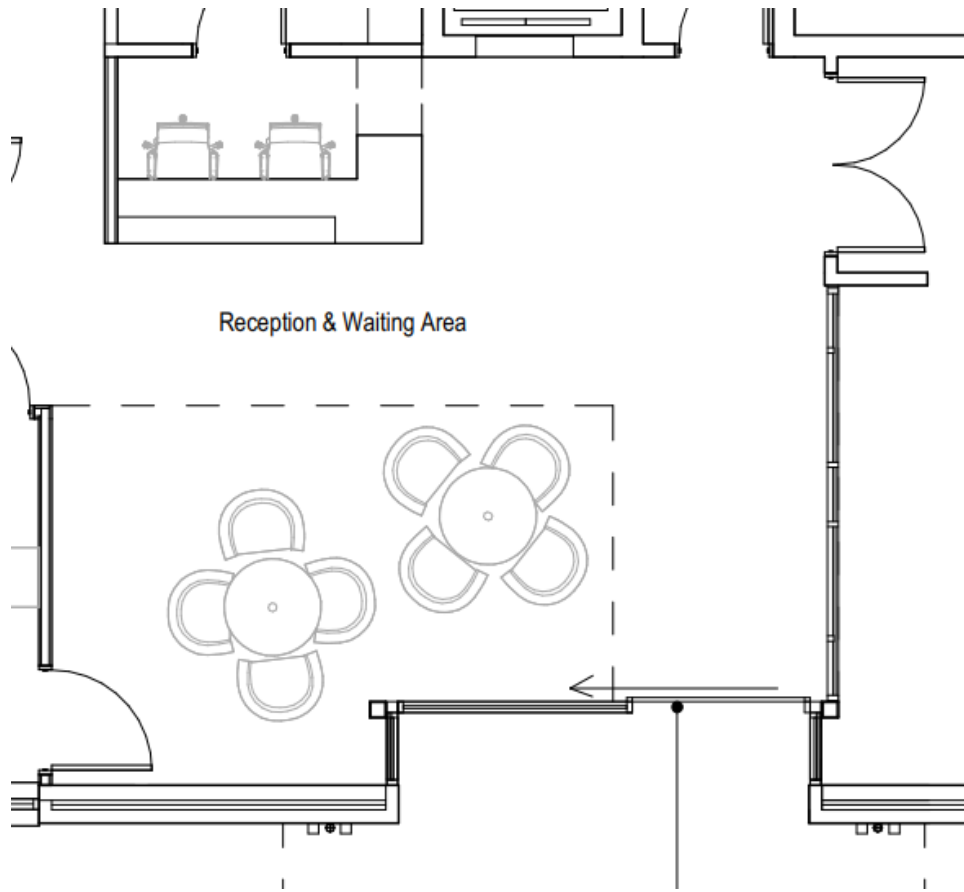
2.04 LAYOUT

ENTRANCE

The existing entrance will be updated to remove the existing curtain wall and the hosted double doors (automated). These will be replaced with a new curtain wall with an automated glazed sliding door. See below comparison layouts of the entrance access changes.



Existing Reception Entrance Layout

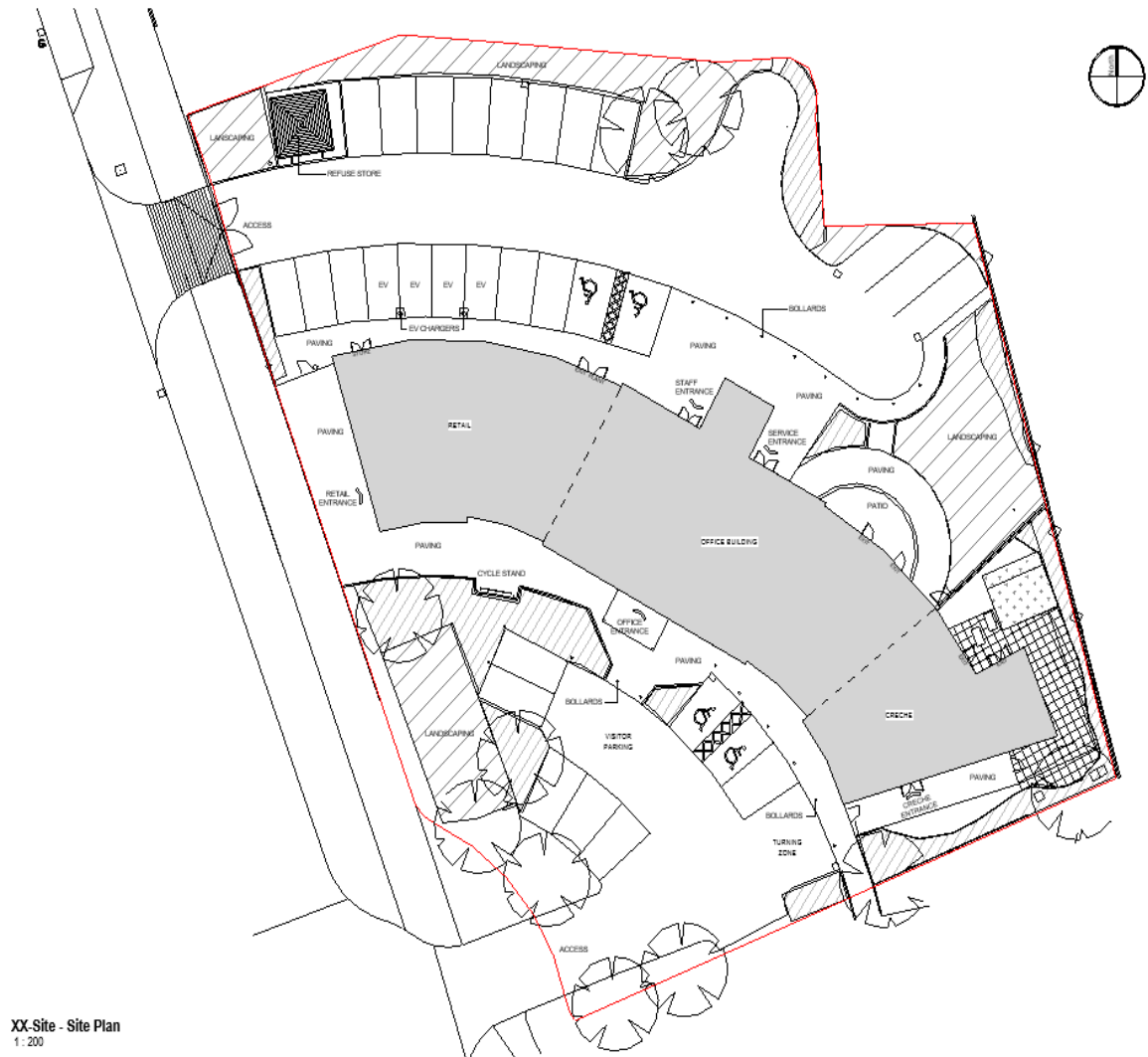


Proposed Reception Entrance Layout

SITE

The existing site layout will be altered to include the following key points:

- Replaced EV chargers for more efficient updated versions
- Introduce new seating area for building users
- Reline parking to the same layout as existing, with additional symbols for clarity i.e. EV charging.



Existing Site Layout

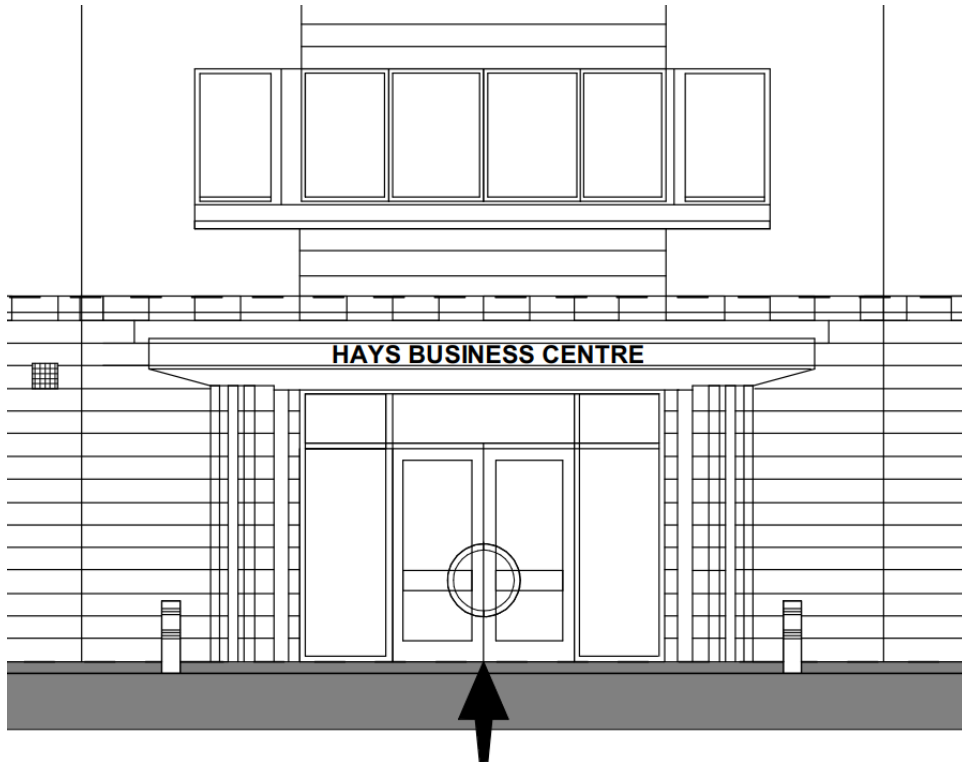


XX-Site - Site Plan - Proposed
1 : 200

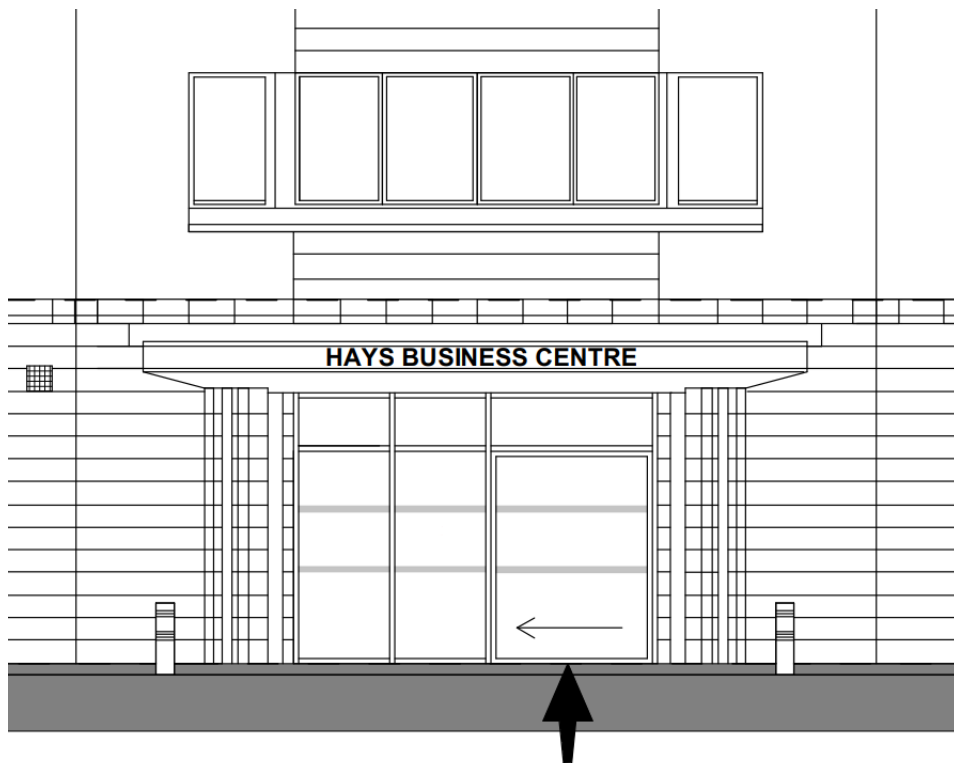
Proposed Site Layout

2.05 SCALE

The scale of the curtain wall and sliding door has been designed to complement the scale of the existing elevations and entrance to the building. The new sliding access door is designed to work within the existing scale of the glazed curtain wall.



Existing Entrance [South Elevation]



Proposed Entrance [South Elevation]

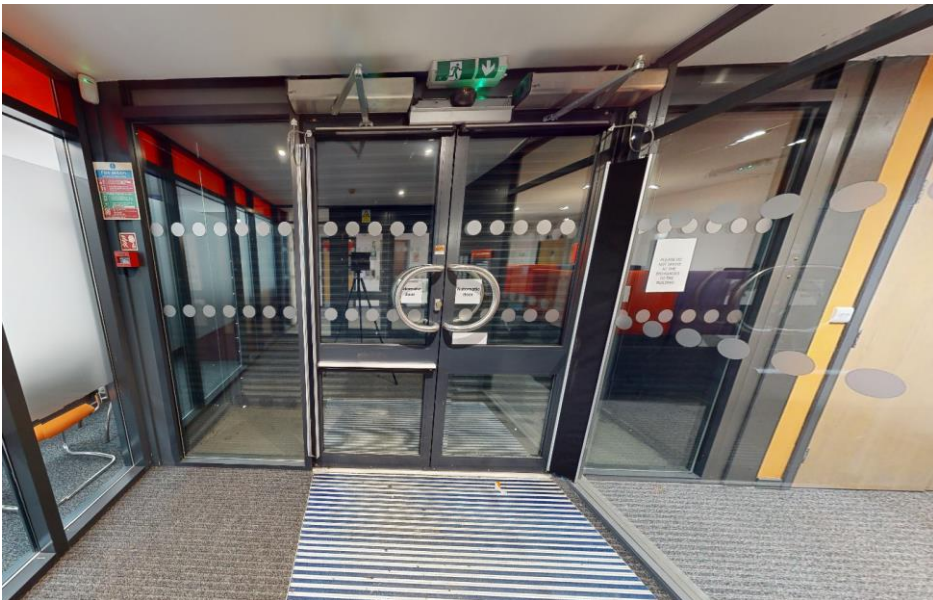
2.06 LANDSCAPING

Entrance

The proposed arrangement of the building will ensure/maintain level access (internally and externally) to the proposed sliding doors.



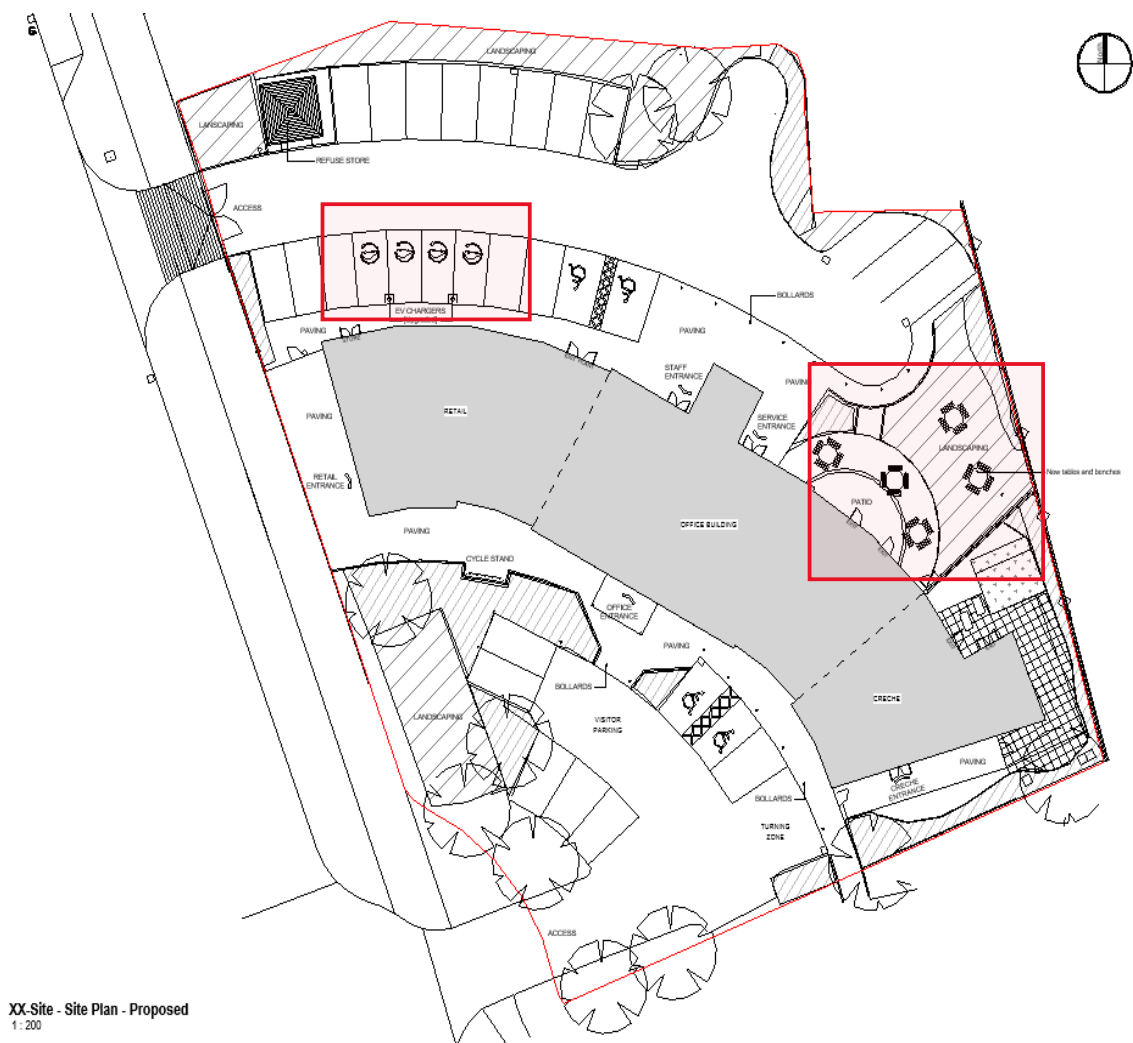
Photograph of existing external level surface treatment to entrance [which is to remain as existing]



Photograph of existing internal level surface treatment to entrance [which is to remain as existing]

Site

General improvements are being made to the site for the building users i.e. improved outdoor seating, clearer surface markings and repairs to the existing paving.



Proposed Site Layout

2.07 APPEARANCE

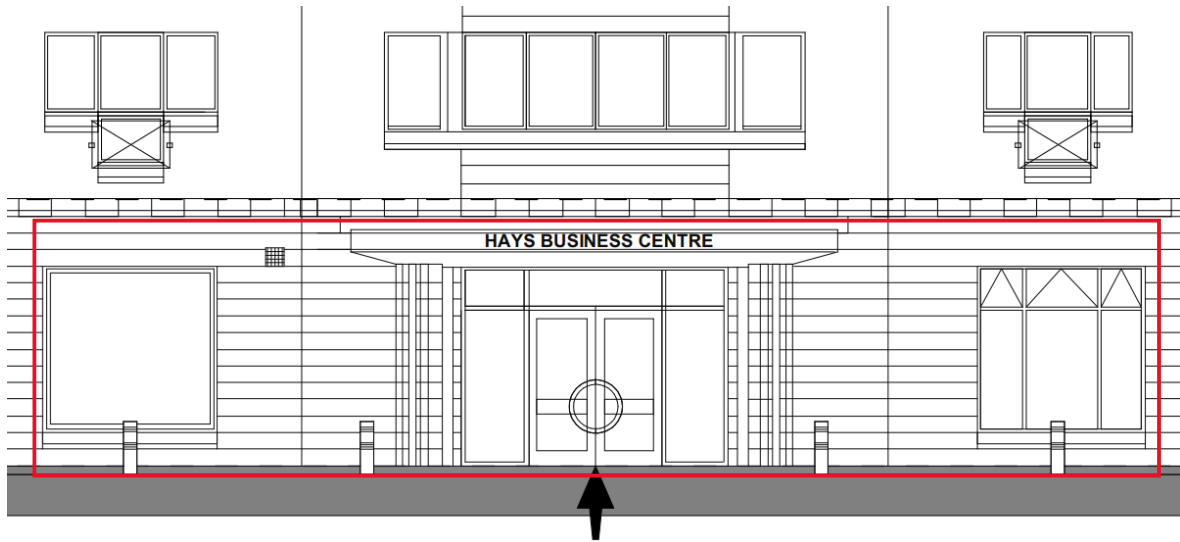
The proposed changes to the exterior of the building are designed to sit comfortably within the existing façades. The glazing, additional materials and colours have all been selected to work with the existing external material/colour pallet of the building. As all materials and colours are known for the existing building, full colour and material matching is possible. Following are a number of photographs documenting the existing building, followed by drawing extracts illustrating how the proposed changes are designed to blend with the existing façades.



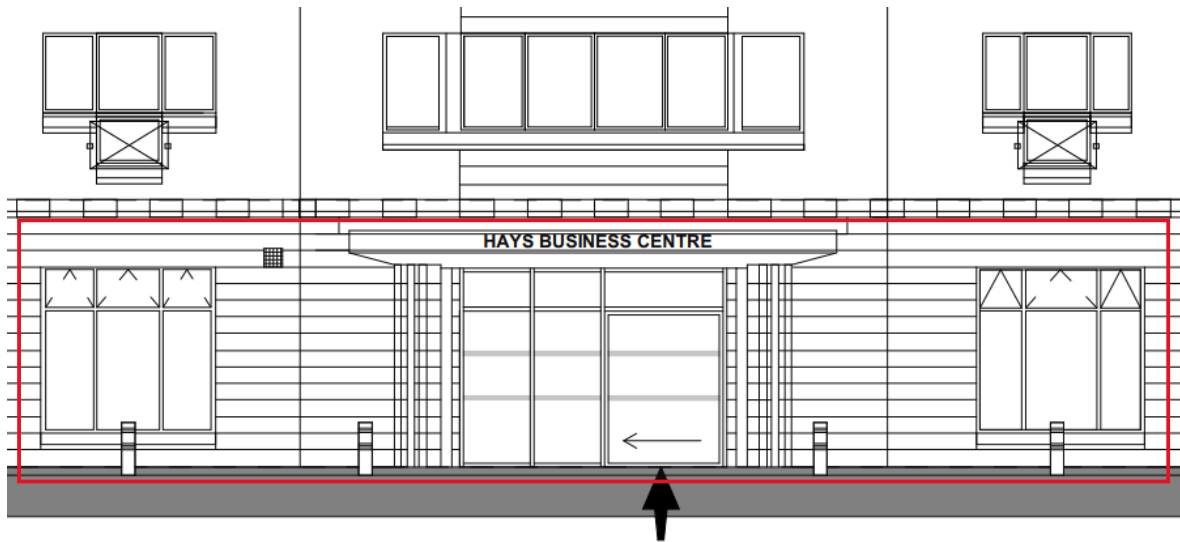
Existing materials and colour palette [South Elevation]



Existing materials and colour palette [North Elevation]



Drawing extract of existing elevation [East Elevation] blank window recess and double door entrance.



Drawing extract of existing elevation [East Elevation] New window in recess and sliding door entrance.

As the drawing extracts above demonstrate, the new window creates additional symmetry either side of the entrance with matching frames and setting out. The new curtain wall with sliding door is in keeping with the existing doors within the opening. The proposed changes will blend with both the existing colours and material treatments.



Drawing extract of existing elevation [North Elevation] demonstrating existing M&E and louvres on the facade.



Drawing extract of proposed elevation [North Elevation] demonstrating new louvres blending with the existing M&E and louvres on the facade.

The louvres will colour match closely to the existing facade colour and existing louvres.

Elevation Comparisons

The proposed modifications to the elevations have been carefully considered to maintain the existing balanced rhythm to the facades. This includes not only matching colours and materials but the design considers the expression the window bays, curtain wall and brickwork. The following existing and proposed elevations demonstrate the balanced approach to the proposals.

East Elevation [side]

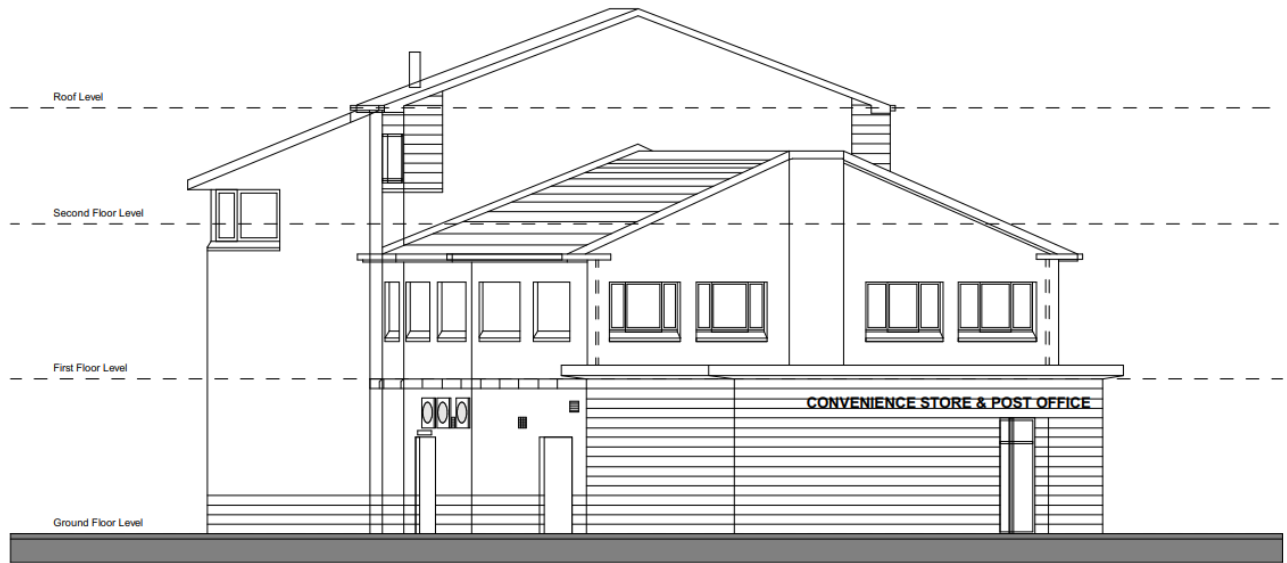


Existing Elevation - East - Side
1 : 100

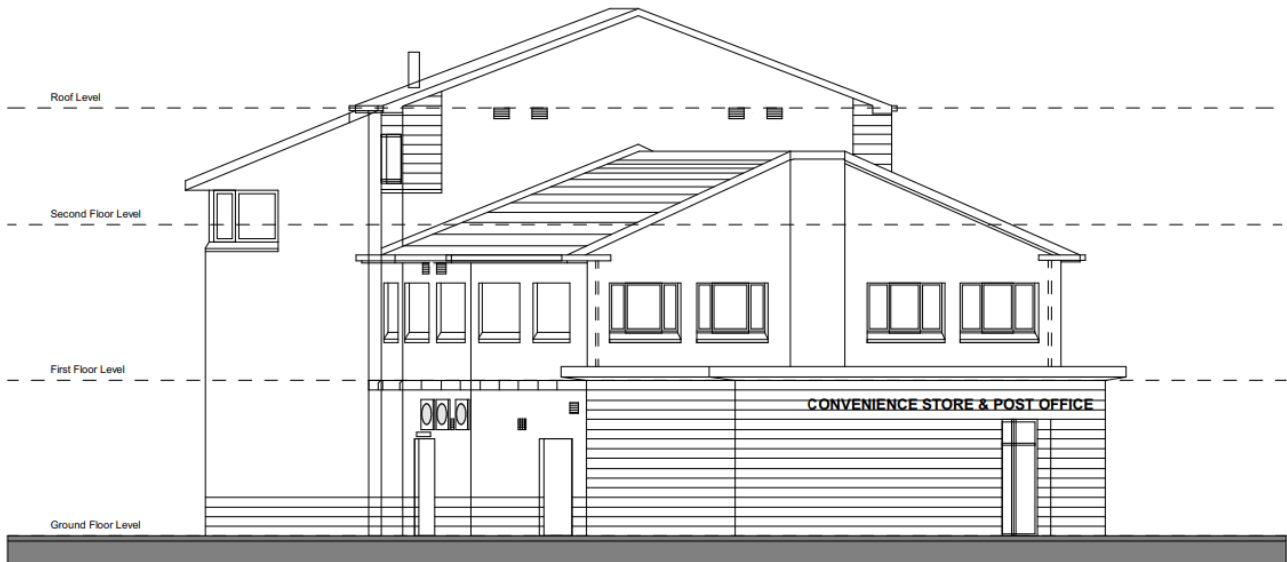


Proposed Elevation - East - Side
1 : 100

West Elevation
[side]



Existing Elevation - West - Side
1 : 100



Proposed Elevation - West - Side
1 : 100

North Elevation
[rear]



Existing Elevation - North - Side
1:100

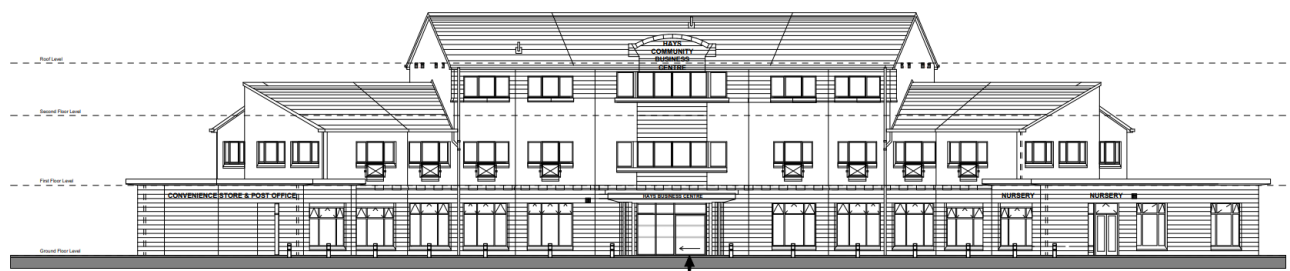


Proposed Elevation - North - Rear
1:100

South Elevation
[Front]



Existing Elevation - South - Side
1:100



Proposed Elevation - South - Front
1:100

2.08 SUSTAINABILITY

The refurbishment project has sustainability as one of the key drivers behind the improvements, with sustainability being considered throughout all stages of the project and has influenced all decisions made relating to both design and material choice.

As detailed throughout the document an upgraded air conditioning system will support the building with reduced running costs and providing a better environment for occupants. The building currently benefits from Photovoltaic panels on the roof which are being maintained.

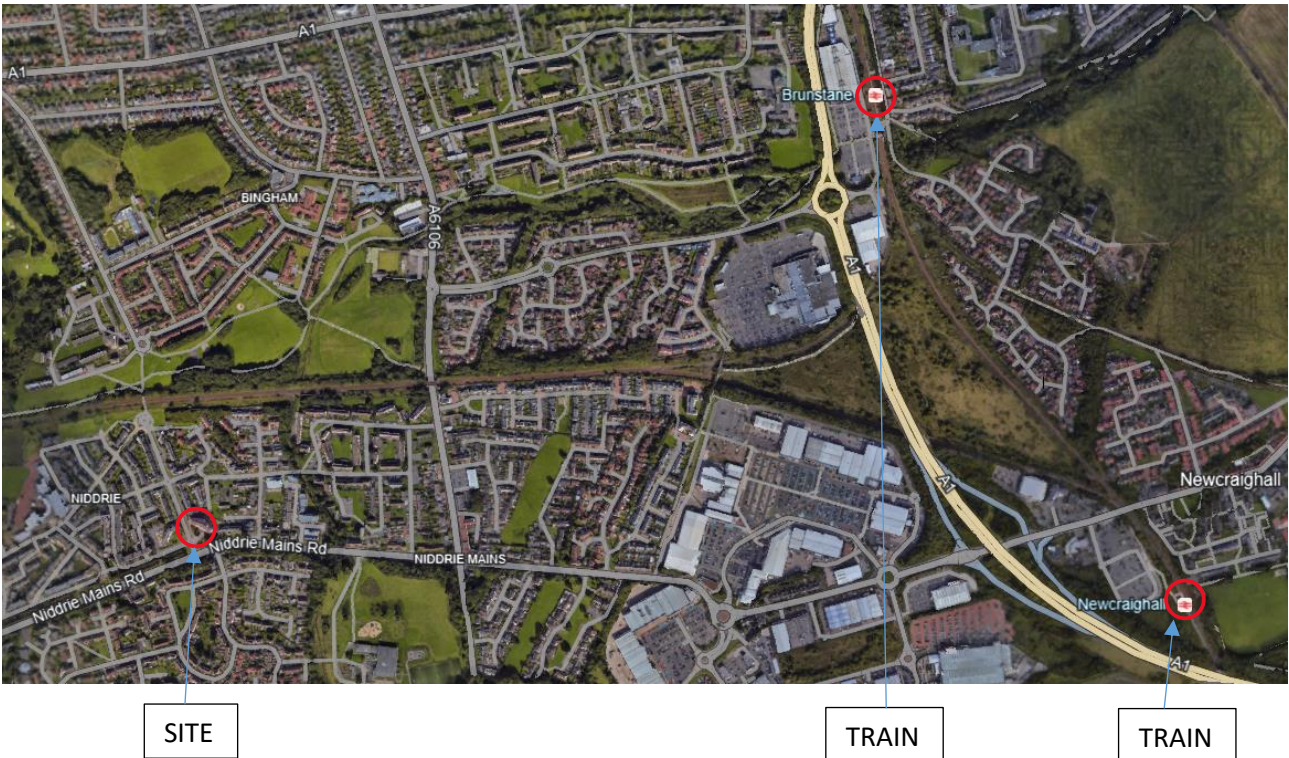
Sustainable materials in construction will be used where possible to reduce the embodied energy in construction. Sustainable waste management during construction and occupancy of development - Waste management options should be considered early in the project through a waste hierarchy of on/off site options: in the first instance, waste should be reduced (designed out), then considered for re-use or recycling. We strive to design out waste by carefully considering building form and dimension and working to standard material sizes.

3.0 ACCESS

3.01 VEHICULAR AND TRANSPORT LINKS

The site is well connected with close links to the A1. Brunstane and Newcraighall train stations which are both approximately 2km away. Bus stops are also well positioned on Niddrie Mains road.

The proposals is not making any changes to the existing parking provision however the new refurbishment is designed to improve the facilities for cyclists (to encourage staff to cycle to work) with new shower and change facilities (changing room and shower).



Bus Stops adjacent to 4 Hay Avenue.

3.02 INCLUSIVE ACCESS

The proposal has been designed in accordance with building regulation approved documents.

The new front entrance will be level access into the internal reception area allowing for a wheelchair to navigate throughout the ground floor of the building.

Where required all glazing will have manifestation in accordance with building regulations.

The width of the sliding door will have a clear opening the same as the existing double doors.



Photograph of existing external level surface treatment to entrance [level access will be maintained for the new entrance design]

4.0 CONCLUSION

As detailed above, the proposed alterations to 4 Hay Avenue are essential in supporting the refurbishment of the building. Designed to create functional and desirable spaces to support the building occupiers for the foreseeable future.

The changes to the building and site are to be constructed using a high-quality materials that are appropriate for not only its function, but also designed to work harmoniously with the existing building and the adjacent buildings alike.

5.0 LIST OF DRAWINGS SUBMITTED

P6089_1000 - Site Location Plan
P6089_1100 - Rev C - Existing Site Plan
P6089_1110 - Rev C - Existing Plans - GA - Ground Floor
P6089_1111 - Rev C - Existing Plans - GA - First Floor
P6089_1112 - Rev C - Existing Plans - GA - Second Floor
P6089_1200 - Rev C - Proposed - Site Plan
P6089_1210 - Rev A - Proposed Plans - GA - Ground Floor
P6089_1211 - Rev A - Proposed Plans - GA - First Floor
P6089_1212 - Rev A - Proposed Plans - GA - Second Floor
P6089_1300 - Rev A - Planning - Existing Elevations
P6089_1350 - Rev A - Planning - Proposed Elevations

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