

TO BE READ IN CONJUNCTION WITH FLOOR PLANS, ELEVATIONS, BUILDING CONTROL DRAWINGS AND SPECIFICATION DATA SHEETS. SEE CLIENT FOR COPIES PRIOR TO START OF WORKS.

DS	DOUBLE POWER OUTLET
RWG	RAIN WATER GULLY
SVP	SOIL VENT PIPE
SS + AAV	STUB STACK + AIR VALVE
IC	INSPECTION CHAMBER
IL	INVERT LEVEL
FCH	FLOOR TO CEILING
FB	FUSE BOX
SC	STOP COOK
TEL	PHONE POINT

EXISTING NOTES

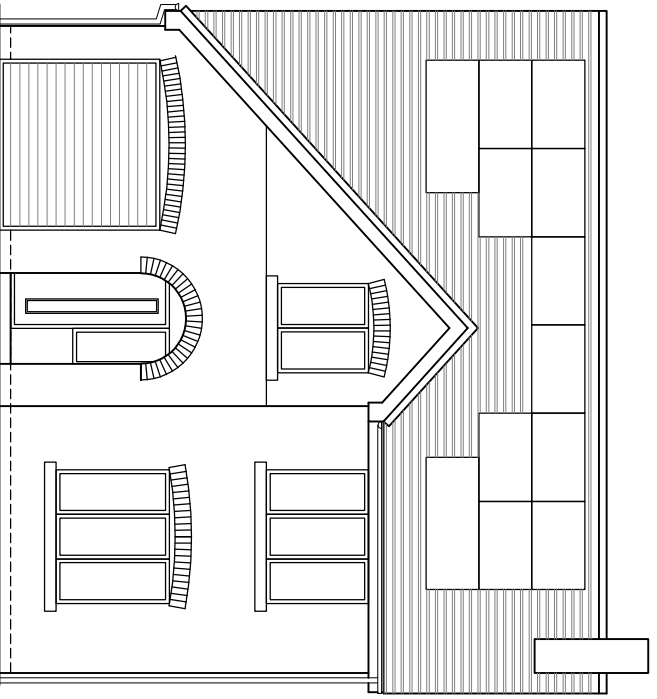
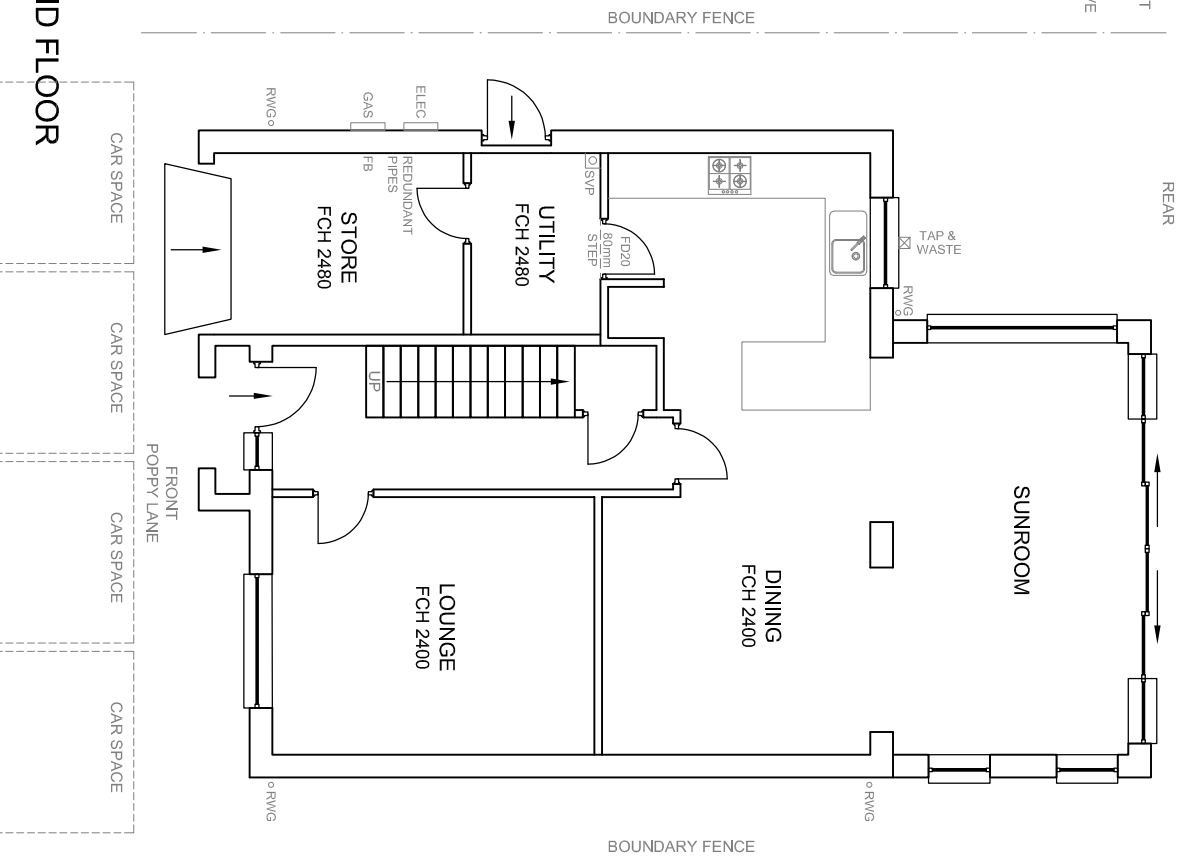
- DARK FLAT ROOF TILES.
- RED FACING BRICK WITH STONE SILLS & CREAM RENDER.
- WHITE/BLUE UPVC/COMPOSITE DOORS & WINDOWS.
- BLACK UPVC GUTTERING AND DOWNPIPES WHITE FASCIA AND SOFFITS.
- SOLID & SUSPENDED FLOORS.
- 100/300mm CAVITY & SOLID WALLS.

DRAINAGE ROUTES ARE ALL UNCHECKED & UNKNOWN. THESE MUST BE IDENTIFIED BY CONTRACTOR PRIOR TO START OF WORKS. PROPERTY IS BELIEVED TO HAVE A SEPARATE SURFACE AND FOUL DRAINAGE SYSTEM. ALL NEW AND EXISTING CONNECTIONS CONNECTED ACCORDINGLY SUBJECT TO BCO APPROVAL.

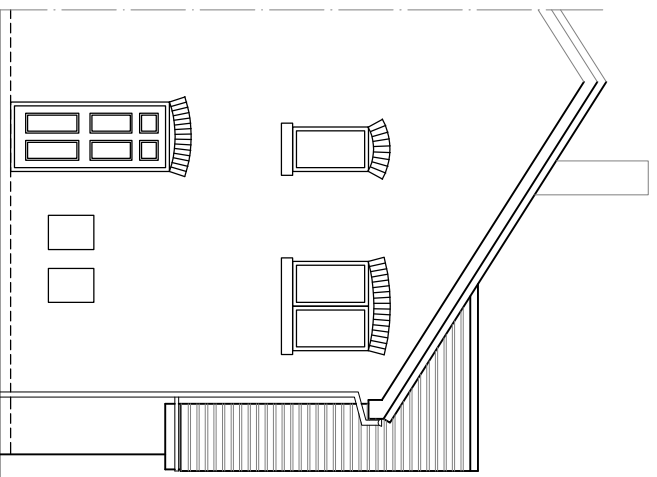
ALL SERVICES MUST BE IDENTIFIED BY CONTRACTOR PRIOR TO START OF WORKS. INTERNAL DIMENSIONS ARE FOR INFO ONLY AND MAY VARY DUE TO WALL FINISHES AND THICKNESS.

ANY EXISTING AND PROPOSED STEEL SPECS MUST BE PROVIDED BY A STRUCTURAL ENGINEER PRIOR TO START OF WORKS.

EXISTING GROUND FLOOR
SCALE 1:100



EXISTING FRONT ELEVATION
SCALE 1:100



EXISTING SIDE ELEVATION
SCALE 1:100

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PROPOSED NOTES

- DARK FLAT ROOF TILES.
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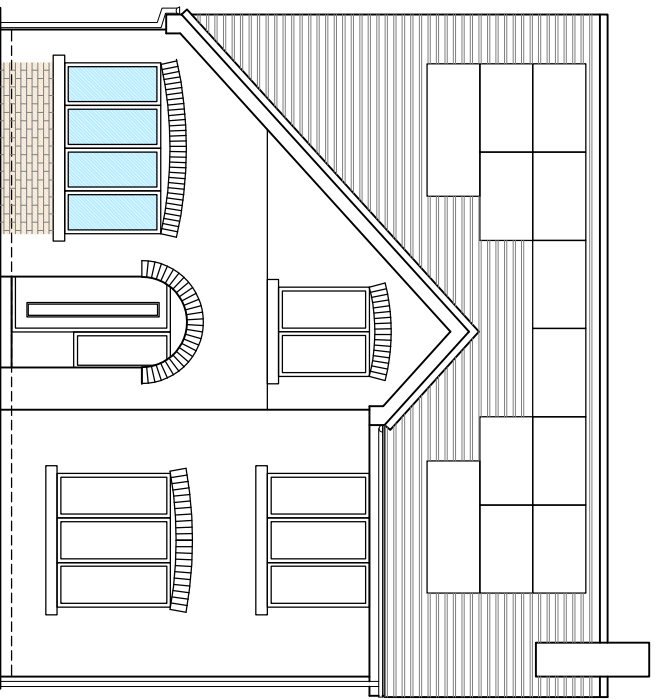
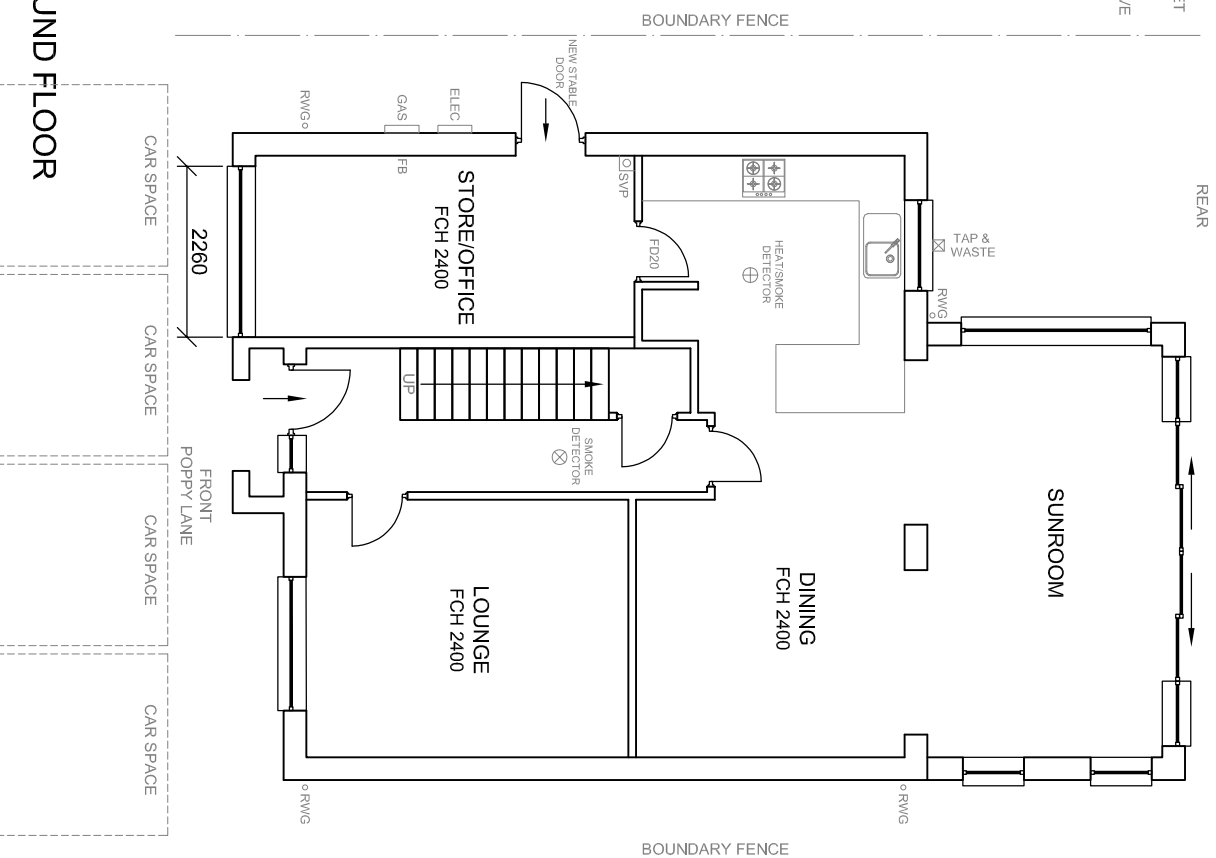
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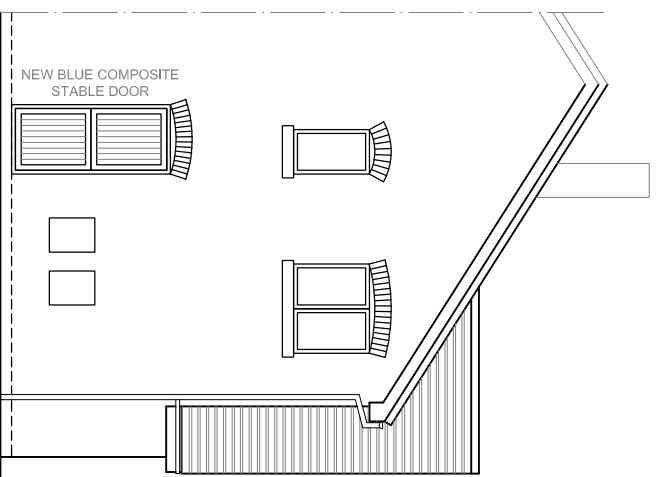
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STORE/UTILITY FLOORS/CEILINGS TO BE INSULATED.

PROPOSED GROUND FLOOR
SCALE 1:100



PROPOSED FRONT ELEVATION
SCALE 1:100



PROPOSED SIDE ELEVATION
SCALE 1:100

NOTE TO CONTRACTOR:

WHILE A TRADITIONAL STRIP FOUNDATION MAY OF BEEN SPECIFIED AN ALTERNATIVE SPECIFICATION MAY BE REQUIRED WHEN GROUND CONDITIONS ARE ESTABLISHED. THESE MAY BE SUBJECT TO A STRUCTURAL ENGINEERS CALCULATIONS E.G. FOR PILE OR RAFT FOUNDATIONS.

ANY INFORMATION THAT IS OMITTED OR UNCLEAR FROM THE DRAWING/SPECIFICATION SHEETS MUST BE REQUESTED FROM ALMARK BEFORE WORK STARTS.

ALL DIMENSIONS ARE TO BE CHECKED ON SITE.

BUILDER IS TO MAKE SURE TILES AND SKYLIGHTS ARE SELECTED AND INSTALLED TO EXACT MANUFACTURERS RECOMMENDATIONS AND INSTRUCTIONS (SUITABILITY FOR ON SITE PITCH).

STRUCTURAL AND SAP CALCULATIONS MUST BE OBTAINED PRIOR TO START OF WORKS. THESE MAY EFFECT THE BUILDING REGULATIONS SPECIFICATION SUPPLIED.

INTERNAL & EXTERNAL ALTERATIONS.

**1 POPPY LANE
STOCKTON ON TEES
TS198FL**

DRAWING NUMBER
2024/RSALMARK/01

SCALE 1:100 @ A3 DATE 28 JAN 2024



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ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED IN ANY MATERIAL FORM OR TRANSMITTED TO ANY OTHER PERSON WITHOUT THE PRIOR WRITTEN PERMISSION.

ALMARK ACCEPTS NO RESPONSIBILITY FOR ANY WORKS CARRIED OUT PRIOR TO PLANNING PERMISSION AND BUILDING CONTROLS WRITTEN APPROVAL.
CONSTRUCTION QUOTES PROVIDED FROM UNAPPROVED PLANS ARE THE SOLE RESPONSIBILITY OF THE CLIENT AS DRAWINGS MAY REQUIRE ALTERATION TO SUIT LOCAL AUTHORITY CRITERIA.

IF STRUCTURAL CALCULATIONS ARE REQUIRED AS PART OF THE BUILDING CONTROL PROCESS THESE MUST BE PROVIDED PRIOR TO START OF WORKS.
WHilst ALMARK TAKES 'REASONABLE' STEPS TO WORK WITHIN THE PROPERTY BOUNDARIES. IT IS THE OWNERS RESPONSIBILITY TO ESTABLISH THESE PRIOR TO THE DRAWINGS BEING SUBMITTED AND BEFORE WORK COMMENCING. IF THERE IS ANY DOUBT OR DISCREPANCIES THEY SHOULD BE ADDRESSED USING THE APPROPRIATE PROFESSIONAL BODIES

DRAINAGE NOTE
ON 1 OCTOBER 2011 THE OWNERSHIP AND MAINTENANCE OF MANY PRIVATE SEWERS AND DRAINS TRANSFERRED TO THE WATER AND SEWERAGE COMPANIES. IN PRACTICE, THIS MEANS THAT THE PROPERTY OWNER WILL REMAIN RESPONSIBLE FOR DRAINS WITHIN THE CARTRIDGE OF AND SERVING THEIR PROPERTY ONLY. OWNERSHIP OF VIRTUALLY ALL OTHER PIPES WILL TRANSFER TO NORTHUMBRIA WATER. IF THERE IS ANY DOUBT PLEASE CONTACT NORTHUMBRIA WATER. IF YOU ARE THE OWNER CONSIDER ORANGE AND YOU PROPOSAL AND THE CHANGE IN OWNERSHIP OF THE DRAINAGE SYSTEM. YOU MUST CONTACT NWA FOR ADVICE PREFERABLY BEFORE WORK COMMENCES IN ORDER THAT ANY ISSUES RELATING TO CONNECTIONS, ACCESS, PROTECTION ETC. CAN BE RESOLVED WITHOUT AFFECTING THE PROGRESS OF WORK ON SITE. ANY SUCH QUERIES WITH REGARD TO THE SEWER SHOULD BE DIRECTED TOWARDS NWA AT WWW.NWA.CO.UK OR CALL 0191 4196921. ALMARK DOES NOT CONTACT NWA AS PART OF ITS SERVICE TO YOU ON YOUR BEHALF.