



DESIGN STATEMENT

CARNOUSIE HOUSE TENNIS COURT
2 BED LETTING UNIT
FORGLEN, TURRIFF,
ABERDEENSHIRE



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SIMPLE NOT COMPLICATED

DON'T MAKE SOMETHING
UNLESS IT'S BOTH
NECESSARY AND USEFUL;
BUT IF IT'S BOTH NECESSARY
AND USEFUL, DON'T HESITATE
TO MAKE IT BEAUTIFUL

“Introduce the project, its background and identify the context.”

This document has been prepared for Carnousie Tennis Court, Turriff, Aberdeenshire. The document aims to appraise the site, show the options identified in discussion with the client and show how initial proposals for the new letting unit were developed to form this planning application.

BRIEF

- 2 bedroom letting unit on the former tennis court
- Lots of glazing on the south side
- Lots of timber
- Projecting lip
- To be completed over the next 3 years
- Foundations laid next summer
- Remaining works commenced the summer after



INTRODUCTION



Old maps 1843- 1882



Old maps 1892- 1949

HISTORIC MAP



Site Entrance



Looking East Across the Tennis Court From Steps



Looking Down Slope from Edge of Bank



Visibility at Public Road



Steps and Banking



Clay tiles at Head of Steps Viewing Terrace



Stone Wall to North of Tennis Court Retaining Old Road Above



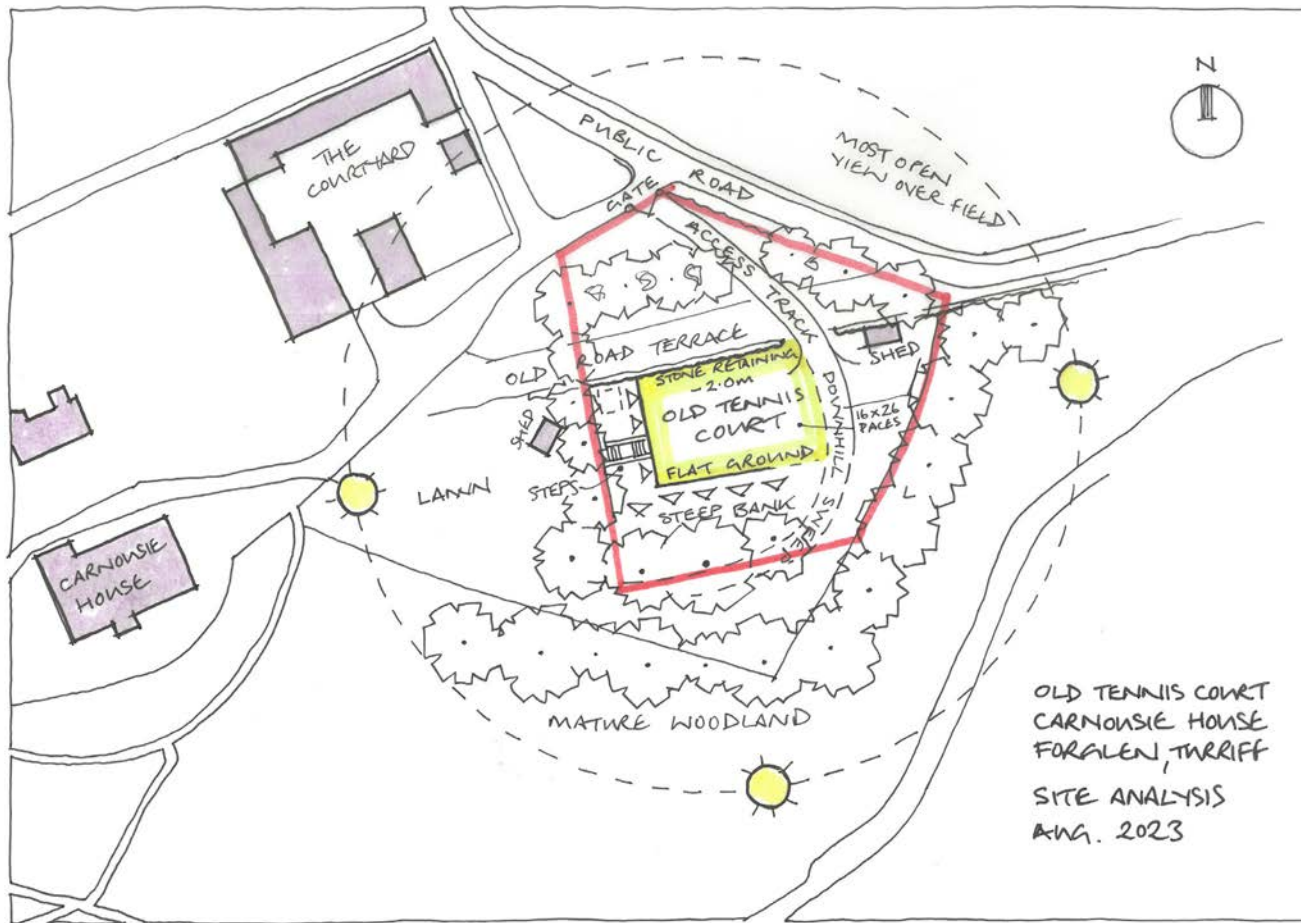
Retaining wall Study



Supporting Bracing

SITE PHOTOS

“Identify and evaluate options for development in response to the specific features identified”.



SITE ANALYSIS

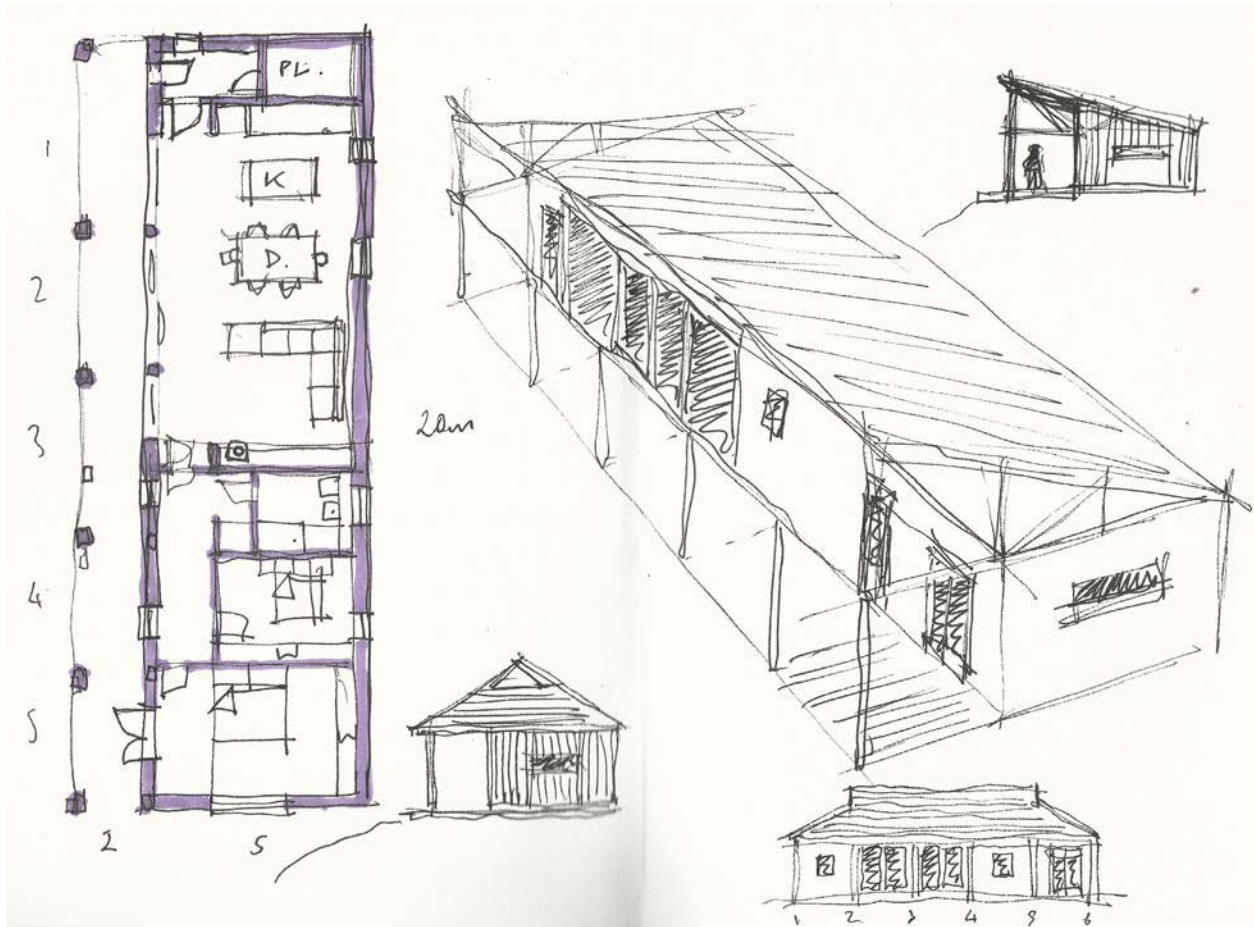
This is the sketch we prepare before beginning to design anything. It records the key features of the site and notes opportunities and challenges. This can then inform our site response and design strategy.

We are fortunate to have an established entrance to site with an access track that winds down and accesses the tennis court in a pleasant manner. Our site is blessed with a wonderful mature woodland setting, with an elevated flat site giving views directly into the tree canopy. By pushing the construction to the edge of the bank we could accentuate the feeling of being amongst the branches. That said, the further we move back from the bank the bigger the view will be. In winter time it is expected that longer range views would open up and bigger skies would reveal themselves.

The stone retaining wall to the old road forms a lovely backdrop to the terrace. Indeed, the old road forms another terrace of sorts, some 2 metres higher than the tennis court. It occurs to me that parking and turning could potentially take place on this upper terrace, leaving the tennis court clear for the dwelling itself.

I paced the tennis court terrace out and it measured roughly 16 paces from the retaining wall to the edge of the bank at the centre, and 26 paces from the bottom of the steps to the opposite side. An overall dwelling footprint around half of that size instinctively feels about right. Talking of the steps – they are an interesting feature in the overall setting, and it would be fine to relate to them in some way.

SITE ANALYSIS

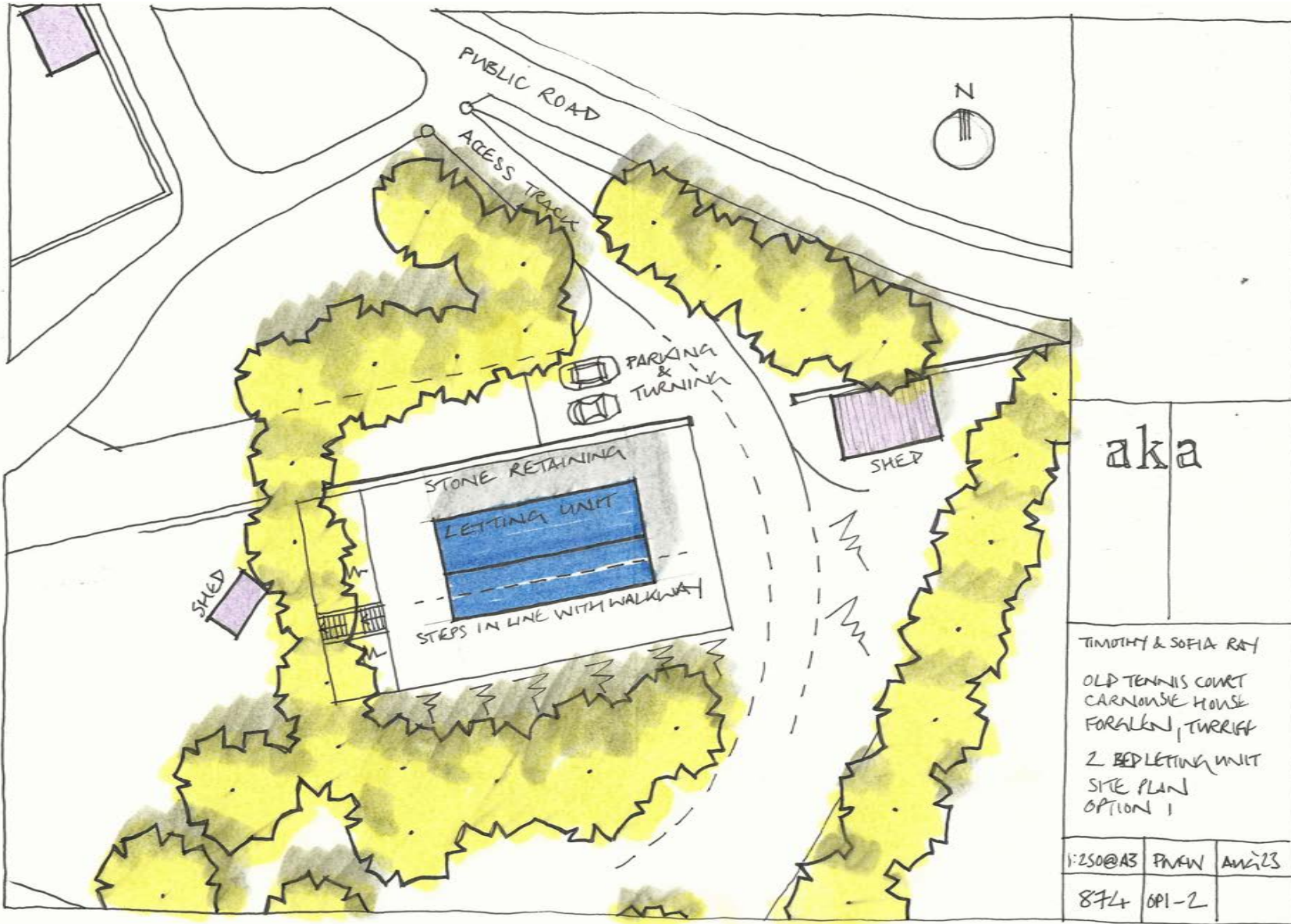


INITIAL THOUGHTS ON SITE RESPONSE

Bearing in mind the site's previous life as a tennis court, I feel it would be fun to reference traditional timber sports pavilions in a contemporary manner, with painted timber and simple beauty. Such a dwelling would be single storey, eminently suited to timber construction, and might display the form and details associated with Victorian summerhouses and garden structures. There might also be an opportunity to reference the style of your home at Carnhouse House and provide some sort of continuity.

We could push the dwelling right up to the edge of the bank, but not so far that we need a balustrade – which would interrupt views, complicate foundations and add expense. Indeed I would like to explore an option which pulls the dwelling back so that its veranda walkway lines up with the steps and sets up an axis of sorts, revealing bigger skies and giving an activity area to the foreground.

The roof could either be a traditional pitch or a simple monopitch and it would be best if the accommodation was contained under a single roof. A sheltered overhang to a veranda would be attractive, with timber posts on a repeating rhythm. A wood burning stove using seasoned timber harvested on site would be great – indeed timber should be the theme of our dwelling, from its structure to its outer skin and its heating fuel!



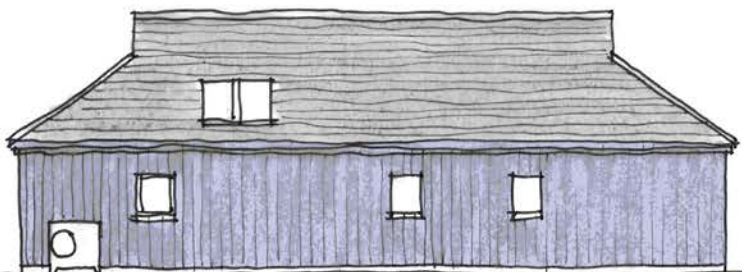
OPTION 1



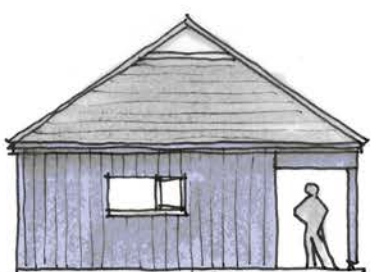
SOUTH ELEVATION



EAST ELEVATION

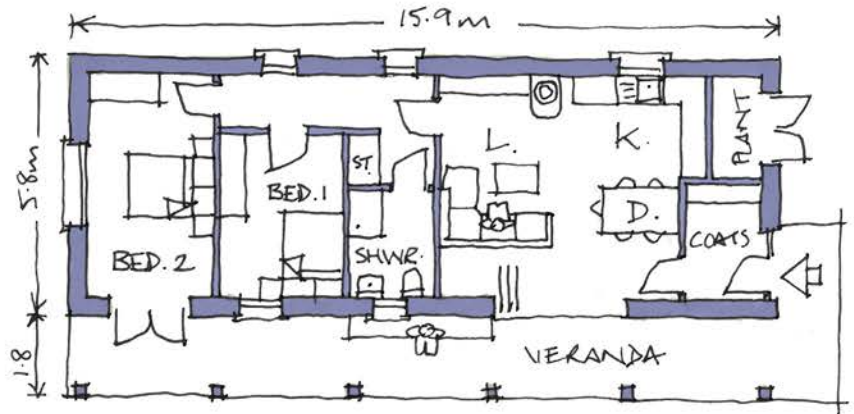


NORTH ELEVATION



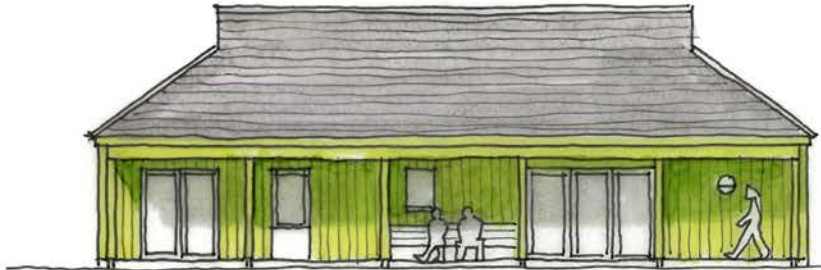
WEST ELEVATION

OPTION 1 PROPOSED ELEVATIONS



aka		
TIMOTHY & SOPHIA RAY		
OLD TENNIS COURT CARNIVAL HOUSE FORGLEN, TORRILT		
2 BED LETTING UNIT OPTION 1 ELEVATIONS		
1:100EAS	PMW	23
SK4	OP-1	

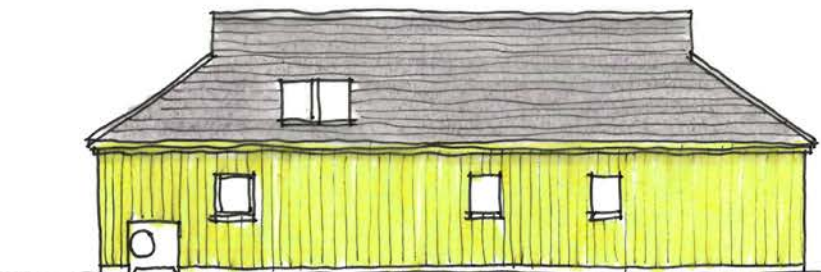
OPTION 1



SOUTH ELEVATION



EAST ELEVATION

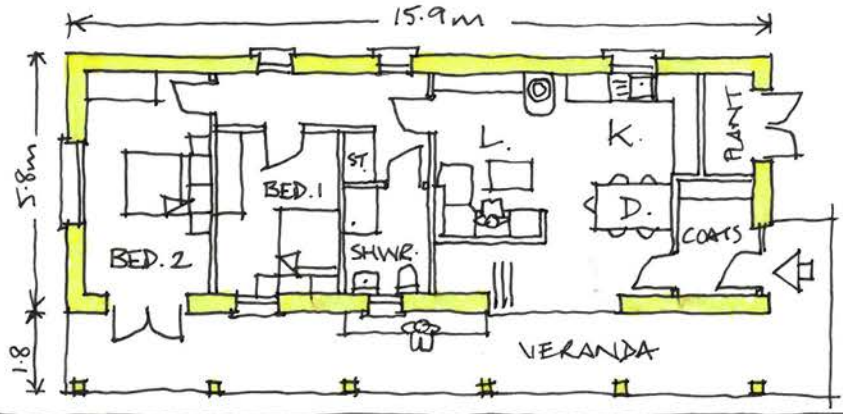


NORTH ELEVATION



WEST ELEVATION

OPTION 1 PROPOSED ELEVATIONS



aka	
TIMOTHY & SOPHIA RAY OLD TENNIS COURT CARNIVAL HOUSE FORGLEN, TORRIT	
2 BED LETTING UNIT OPTION 1 ELEVATIONS	
1:100EAS	PMW
SK4	OP-1
KVA: 23	

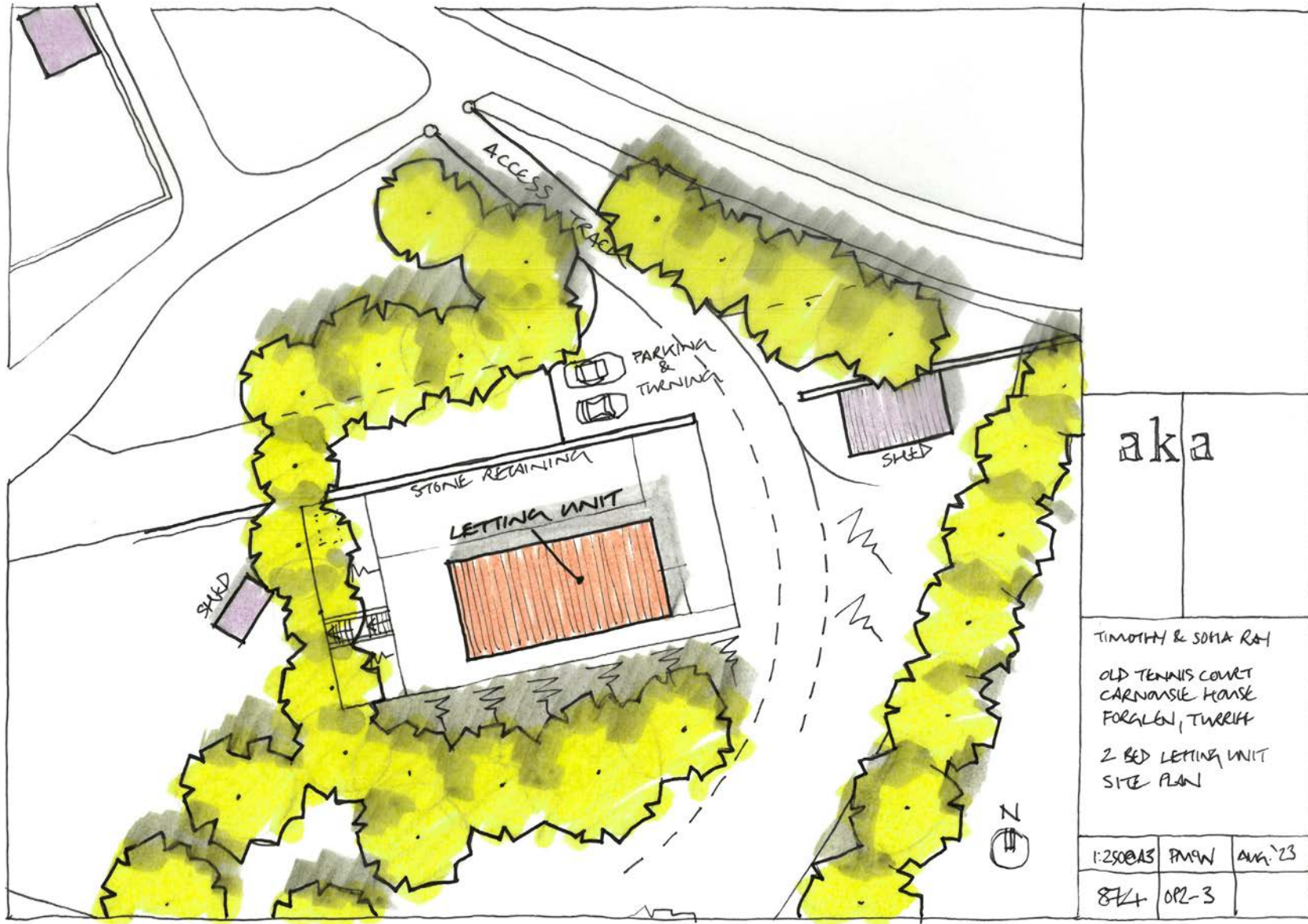
OPTION 1

OPTION 1

Option 1 references traditional sports pavilions but was inspired by the Jubilee Park Pavillion in Shetland by Richard Gibson Architects and built shortly after the millennium (please refer to 'Inspiration' images to rear). It features a single pitched roof, hipped at the gables, and continuing over a sheltered veranda with repeating timber posts. I have shown vertical timber cladding painted green – but equally I would like to explore more of a lavender colour, similar to 'Bonnington Grove' in Edinburgh by Konishi Gaffney Architects.

We enter into a cloakroom and draft lobby on the east side, and beyond into an open plan kitchen / dining / living space heated by wood burning stove. All rooms face south to the view, with the open plan area accessing the veranda through a generous glazed opening. A hallway on the north side accesses a shower room and 2 double bedrooms – the larger of which accesses the veranda through French doors.

I'd like to bring the dwelling in under 16m long and under 6m wide, plus the veranda. I'd also like to align the veranda walkway with the steps up to Carnousie House to create a route of sorts – I can't resist this notion!



aka

TIMOTHY & SOPHIA RAY
 OLD TENNIS COURT
 CARNARVON HOUSE
 FORGLEN, TURRETT
 2 BED LETTING UNIT
 SITE PLAN

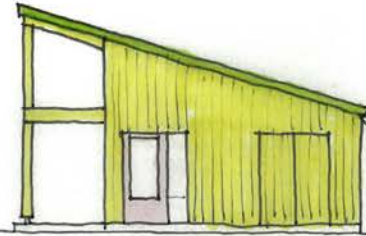
1:250@A3	PMW	Aug '23
8/24	OP2-3	

OPTION 2

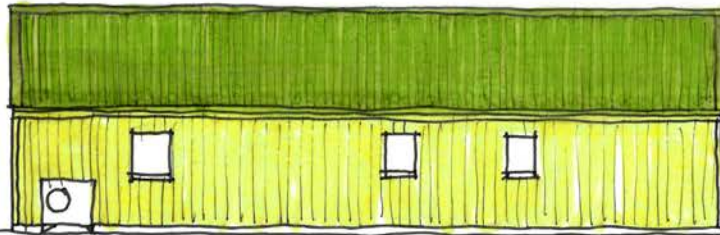
OPTION 2



SOUTH ELEVATION



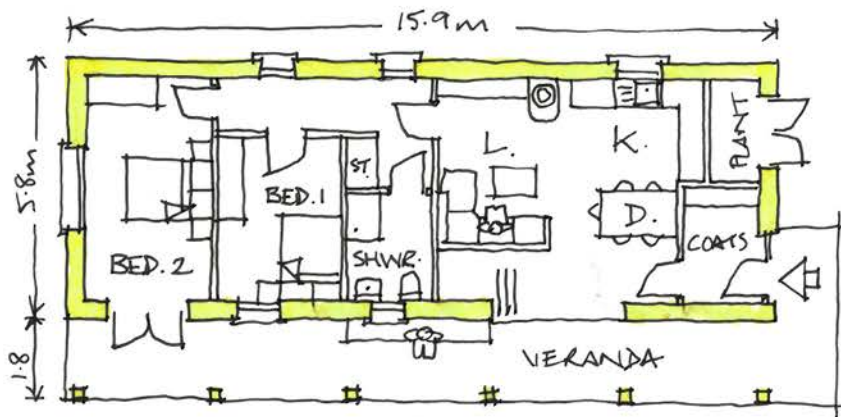
EAST ELEVATION



NORTH ELEVATION



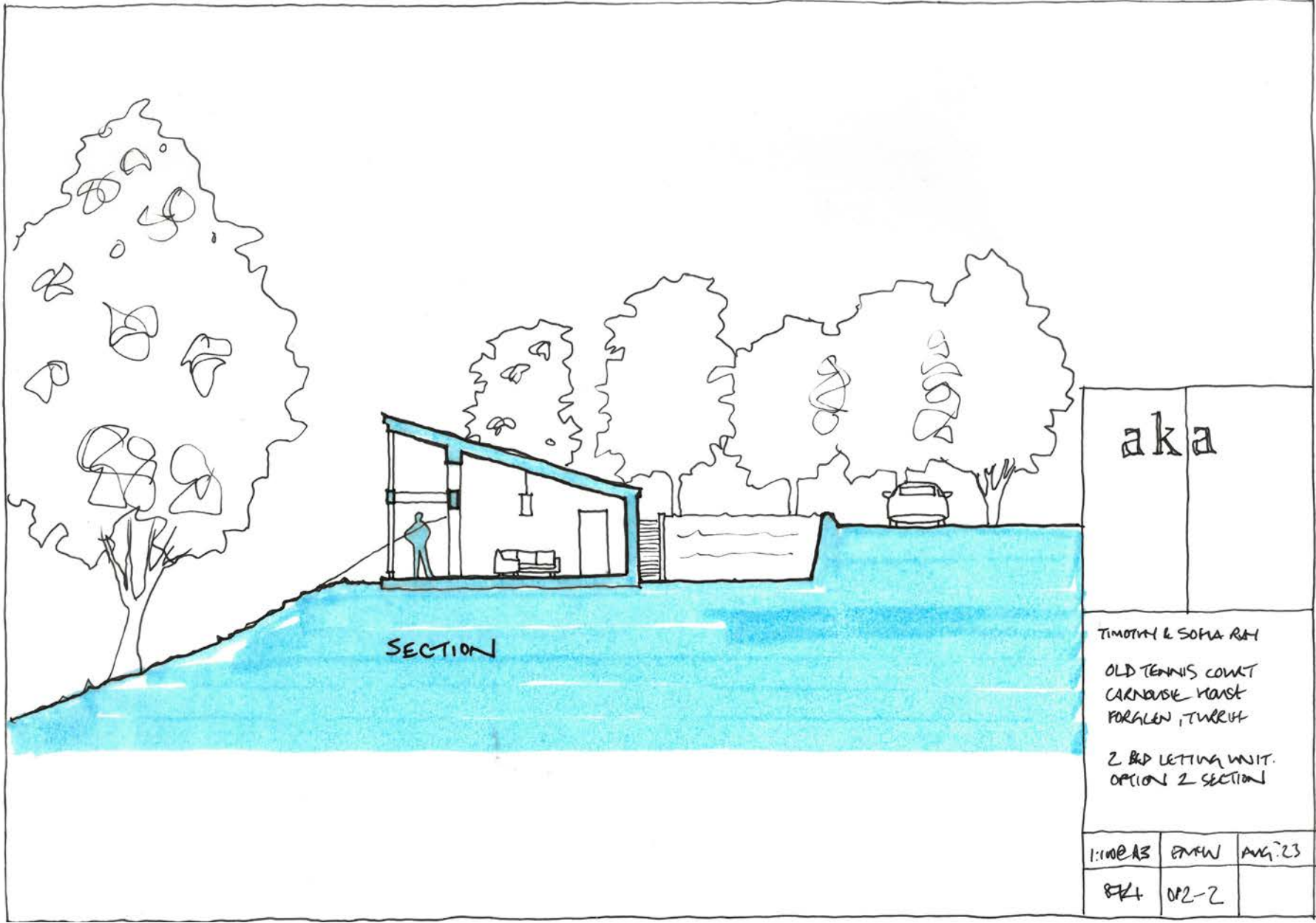
WEST ELEVATION



aka

TIMOTHY & SOFIA RAY
 OLD TENNIS COURT
 CARNOVSE HOUSE
 FORALEN, TURRIFF
 2 BED LETTING UNIT
 OPTION 2

1:100 @ A3	PMW	AWK. 23
8/14	OP-2	

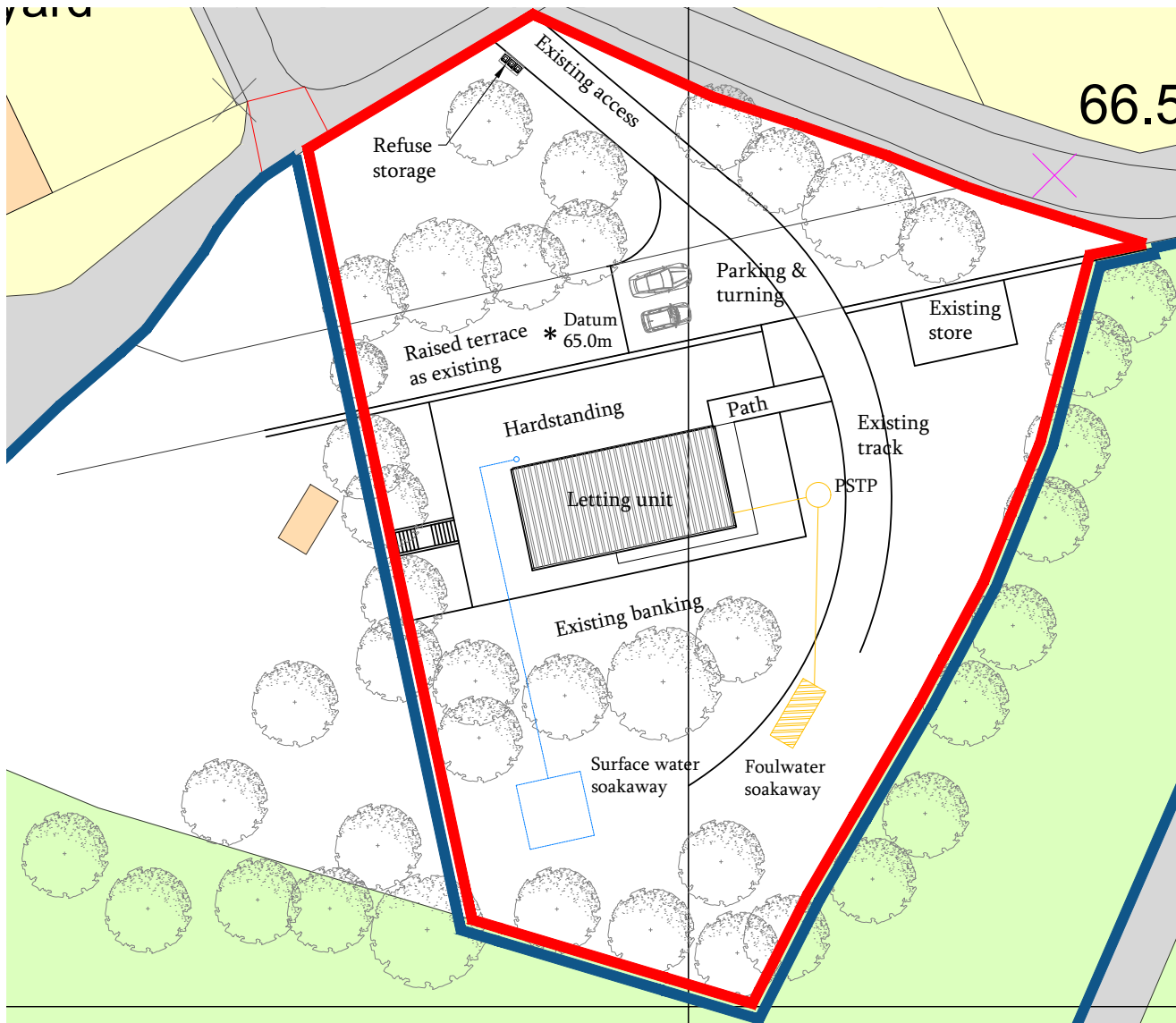


OPTION 2

OPTION 2

Option 2 is a more contemporary response. It pushes the dwelling to the edge of the slope – but not so far that building control will require a balustrade which would impede the view. The roof this time features a mono-pitch solution, higher at the front and lower at the back. This should give views higher into the tree canopy, and also allow a tall sloping ceiling above the open plan spaces.

I particularly like the double height post and beam framing to the front of the veranda, with diagonal bracing at high level. This should cast some wonderful shadow patterns – especially with the extra tall glazing screen at the living area.

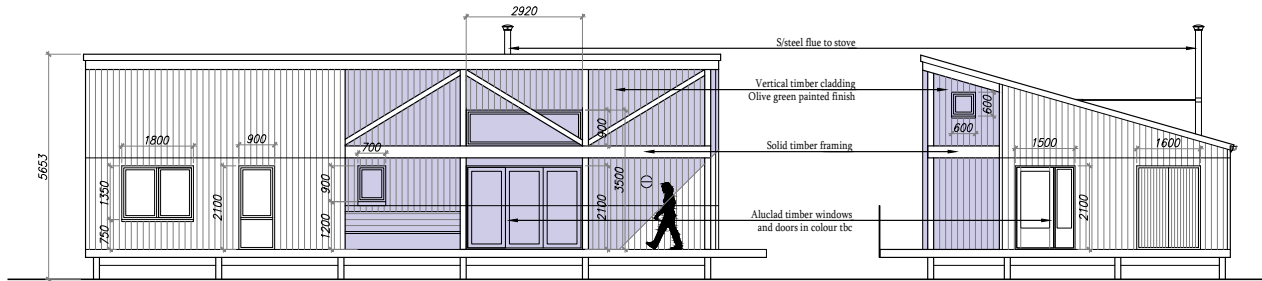


The proposed letting unit will be accessed from the existing access track into the site, accessing the property from the North of the site.

Full design proposals can be viewed as part of the application L-01-L-05.

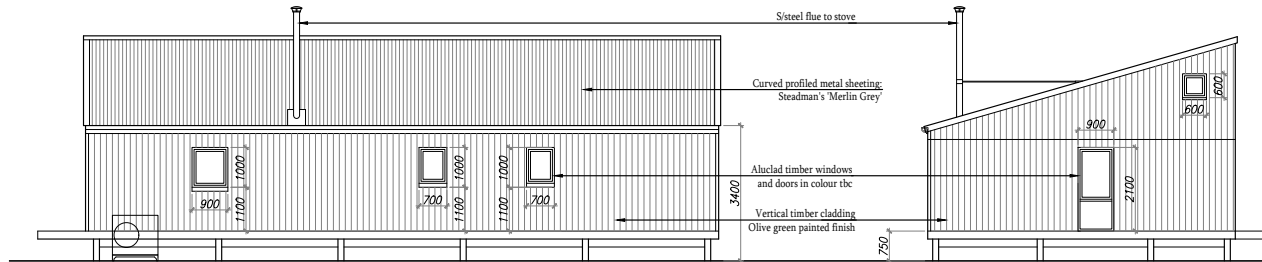
DESIGN SOLUTION

PROPOSED SITE PLAN



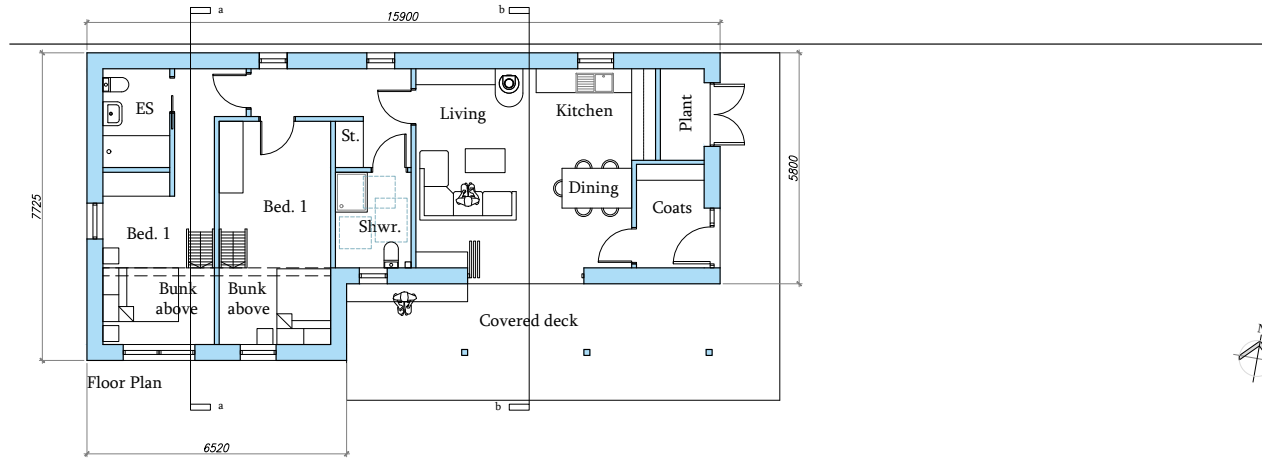
South Elevation

East Elevation



North Elevation

West Elevation



Floor Plan

DESIGN SOLUTION

Identity | Sense of Place | Materials | Function

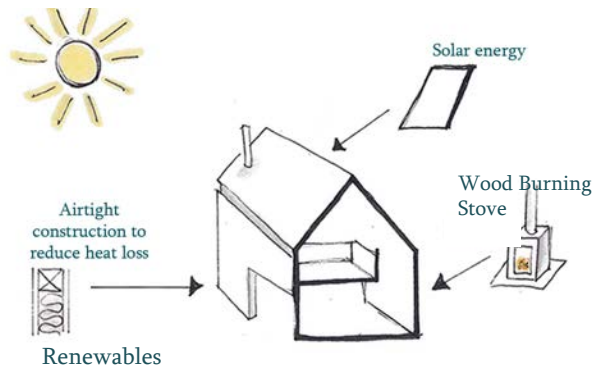
ak|a are proposing that the letting unit at Carnousie will use a simple palette of traditional and modern external materials Corrugated Metal Roofing, and untreated timber cladding olive green in colour. There may be possibilities to introduce some feature posts in solid timber or Douglas Fir.

The overall objective is to provide a well-designed timeless letting unit which is highly sustainable, sits well in the landscape and benefit from the site orientation and fantastic views.

With the use of appropriate proportions, detailing and materials which combine to provide a design which ties into the local context. It is important that we learn from the traditions and re-interpret design in a contemporary way, as to not mimic, and to create a design which is rooted in tradition but contemporary in spirit.

Renewables | Landscaping

Boundaries will be landscaped and planted to age gracefully while screening neighbouring properties without the need for tall timber fences.



Painted Timber Cladding



Timber and steel post



Corrugated Metal Roofing



Galvanised steel RWG

5. DESIGN SOLUTION



Jubilee Pavillion, Lerwick, Shetland, née gibson architects



Jubilee Pavillion, Lerwick, Shetland, née gibson architects



Strathdon House, Aberdeenshire, Brown + Brown Architects



Frisealach, Roshven, Helen Lucas Architects



Bonnington Grove, Edinburgh, Konishi Gaffney Architects



Frisealach, Roshven, Helen Lucas Architects



Ansty Plum House, Wiltshire, David Levitt architect 1964 and recently refurbished by Copping Dockray Architects



DESIGN INSPIRATION

