
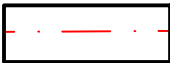
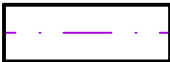


Key

-  - Existing fabric
-  - Presumed party wall line, notices must be served for the works outlined in line with the Party Wall Act 1996
-  - Presumed below ground combined foul and rainwater drainage. Assumed to be shared drain system. Build over agreement from Thames Water will be required. Further drain surveys to be recommended prior to planning

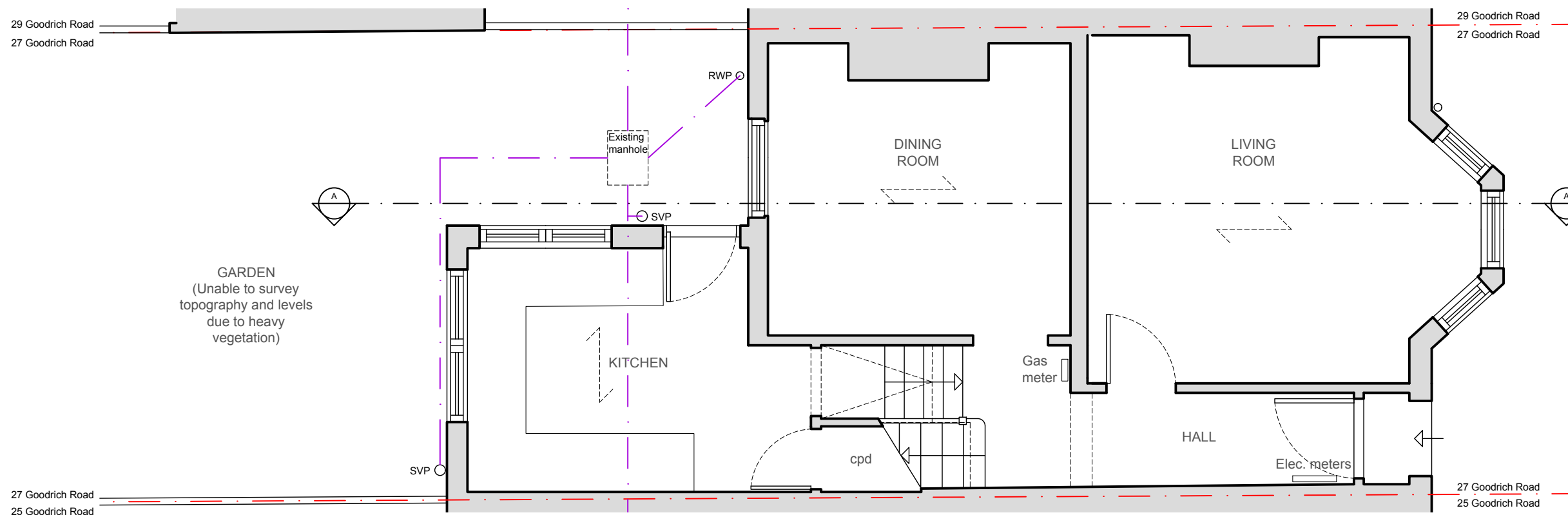
Notes

Drawing for PLANNING purposes only.

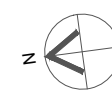
Structural Engineer to advise on all proposals.

All dimensions to be checked on site.

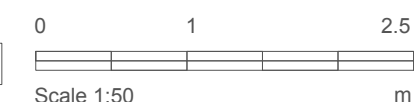
Any discrepancies to be raised with architect immediately.



01	Ground Floor Plan as Existing
100	1:50




PLANNING



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Drawing Status	F Feasibility	S Sketch Design	P Planning	B Building Control	D Design Development	M Measurement	T Tender	C Construction	R Record
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Rev	Date	Dwn	Auth	Revision	Rev	Date	Dwn	Auth	Revision
-	09-02-24	RGB	RGB	ISSUED FOR PLANNING					

RIBA  Chartered Practice		Bonfield Design	
27 Goodrich Road, SE22 9EQ		Project GOOD27	No 100
Ground Floor Plan as Existing		Scale (A3) 1:50	Status P