
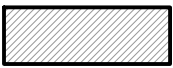



- Key
-  Existing fabric
 -  Proposed fabric
 -  Presumed party wall line, notices must be served for the works outlined in line with the Party Wall Act 1996

Existing ridge height raised by 330mm in line with approved application at 29 Goodrich Road Ref-22/AP/2928. Front roof plane to remain as existing

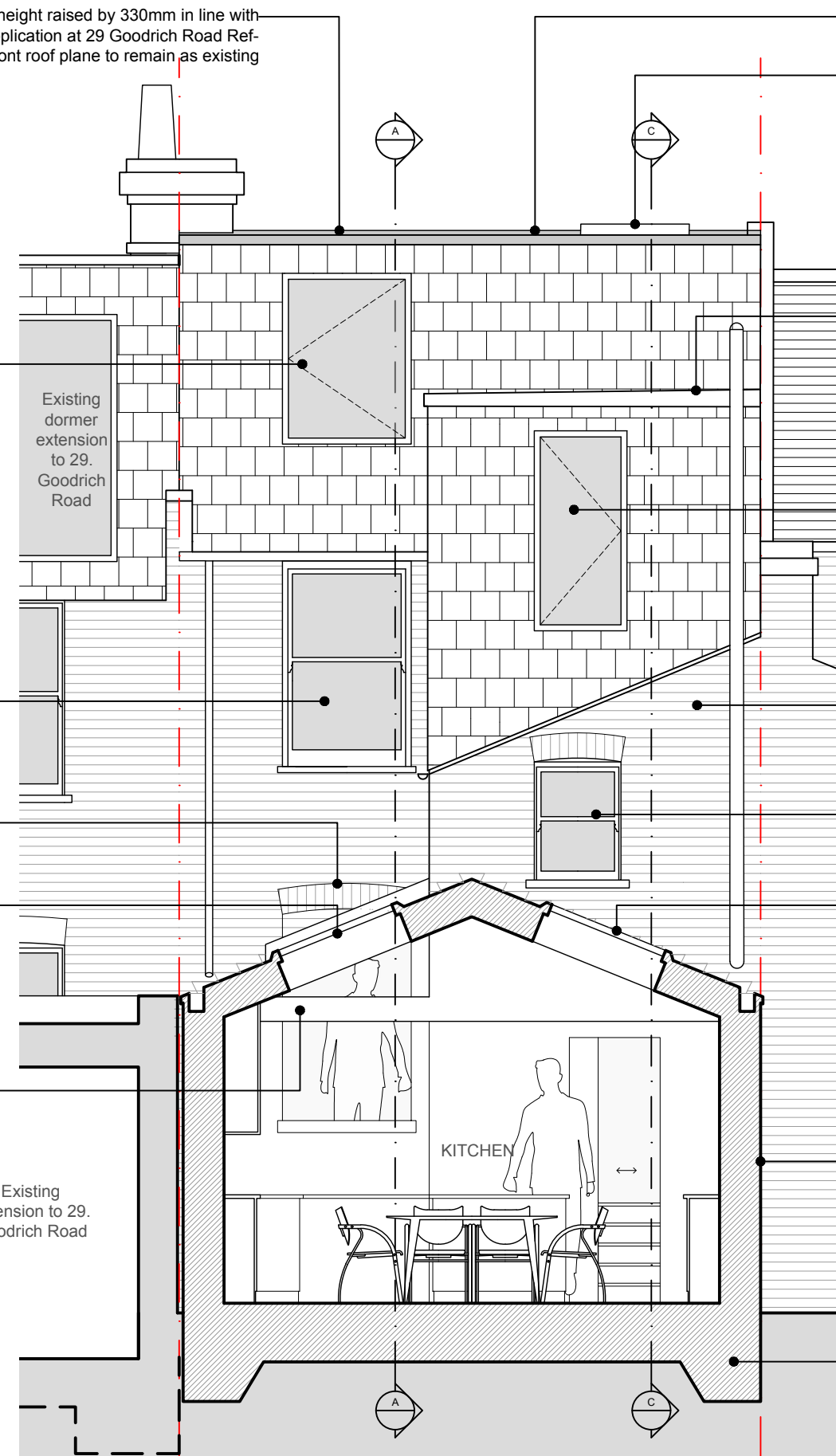
New aluminium casement window to proposed rear dormer extension. To match width of original window aperture of first floor below

New 1 over 1, UPVC sash window to replace existing casement

Existing arch repointed and aperture below filled in with brick to match existing

New velux window above dining area

New beam required across interior of side return, SE to advise



New flat roof to rear dormer extension in GRP, set to fall of 1:60

New upstand rooflight above stairwell below

New flat roof to annex extension in GRP, set to fall of 1:60

New aluminium casement window to proposed annex roof extension. To match width of original window aperture of first floor below

Existing brick annex to be rebuilt in London yellow stock brickwork to match existing, in Flemish bond. To match existing external dimensions of removed annex

New 1 over 1, UPVC sash window to tradition design in same location as former rear facing window

New velux window above dining area

New single storey rear and side return extension. Rear gable and side elevations facing no's 25 and 29 to be London yellow stock brick to match adjacent houses. Dual pitch to new roof in slate, with rolled lead flashings

New foundations TBC. SE to advise

Notes

Drawing for PLANNING purposes only.

Structural Engineer to advise on all proposals.

All dimensions to be checked on site.

Any discrepancies to be raised with architect immediately.

01 Section B-B as Proposed
211 1:50

PLANNING



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Rev	Date	Dwn	Auth	Revision	Rev	Date	Dwn	Auth	Revision
A	09-02-24	RGB	RGB	ISSUED FOR PLANNING					
-	01-02-24	RGB	RGB	ISSUED FOR FEASIBILITY STUDY					

RIBA Chartered Practice

27 Goodrich Road, SE22 9EQ

Bonfield Design

Project	GOOD27	No	211
Scale (A3)	1:50	Status	P
		Revision	-

Drawing Status	F Feasibility	S Sketch Design	P Planning	B Building Control	D Design Development	M Measurement	T Tender	C Construction	R Record
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