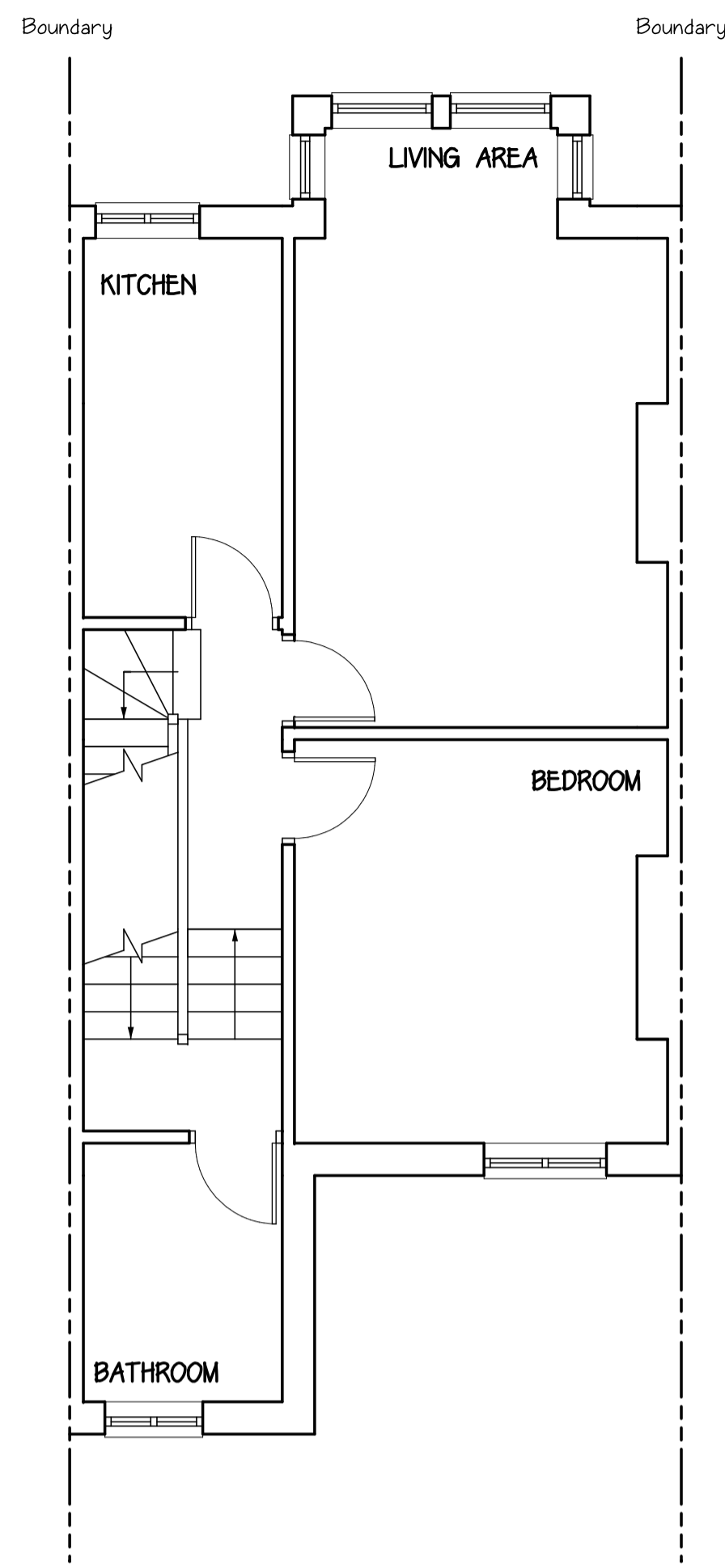
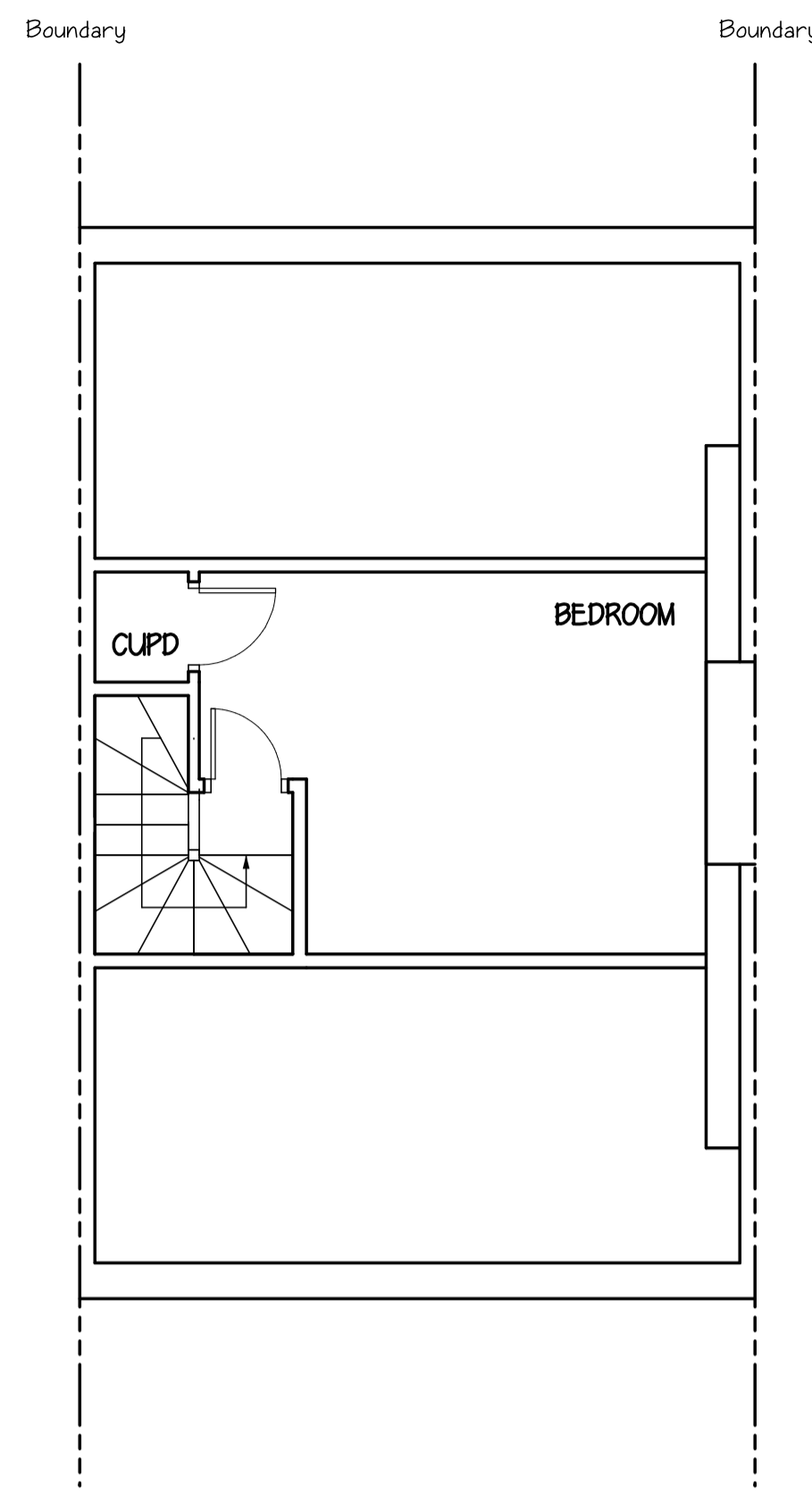


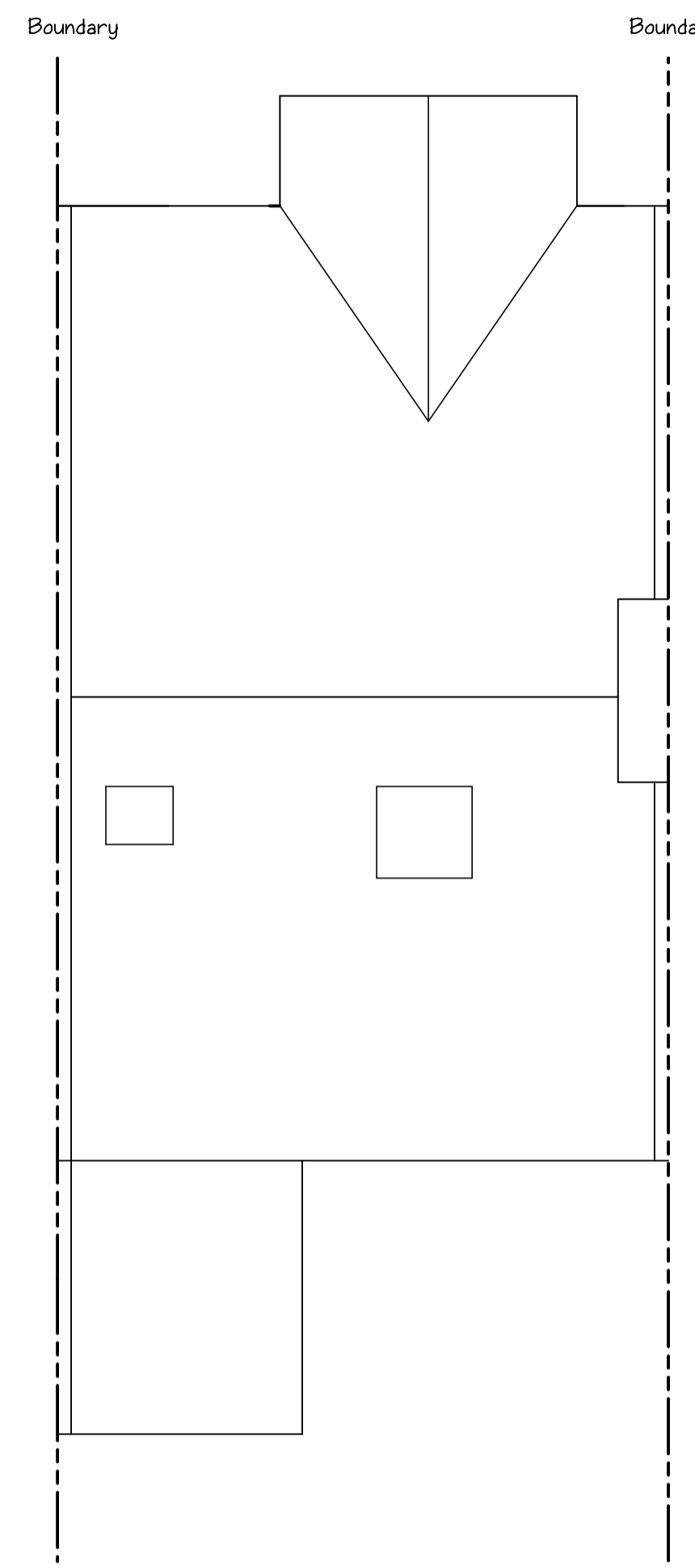
EXISTING GROUND FLOOR PLAN




EXISTING FIRST FLOOR PLAN



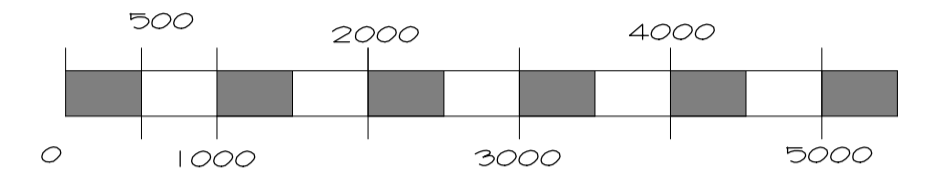
EXISTING SECOND FLOOR PLAN



EXISTING ROOF PLAN

 The Harvest Partnership Design, Construction, Planning, & Development Consultants Tel: 020 8253 7110 Fax: 020 8253 7111 www.harvestpartnership.co.uk email: info@harvestpartnership.co.uk Apex House 41 Tamworth Road Croydon CR0 1XU			
Proposals PROPOSED LOFT CONVERSION.		Address 138B UNDERHILL ROAD, LONDON, SE22 0QJ.	
Title EXISTING LAYOUT.		Client	
Drawing No UR/01.	Scale 1:50.	Revision B.	Date FEB 23.

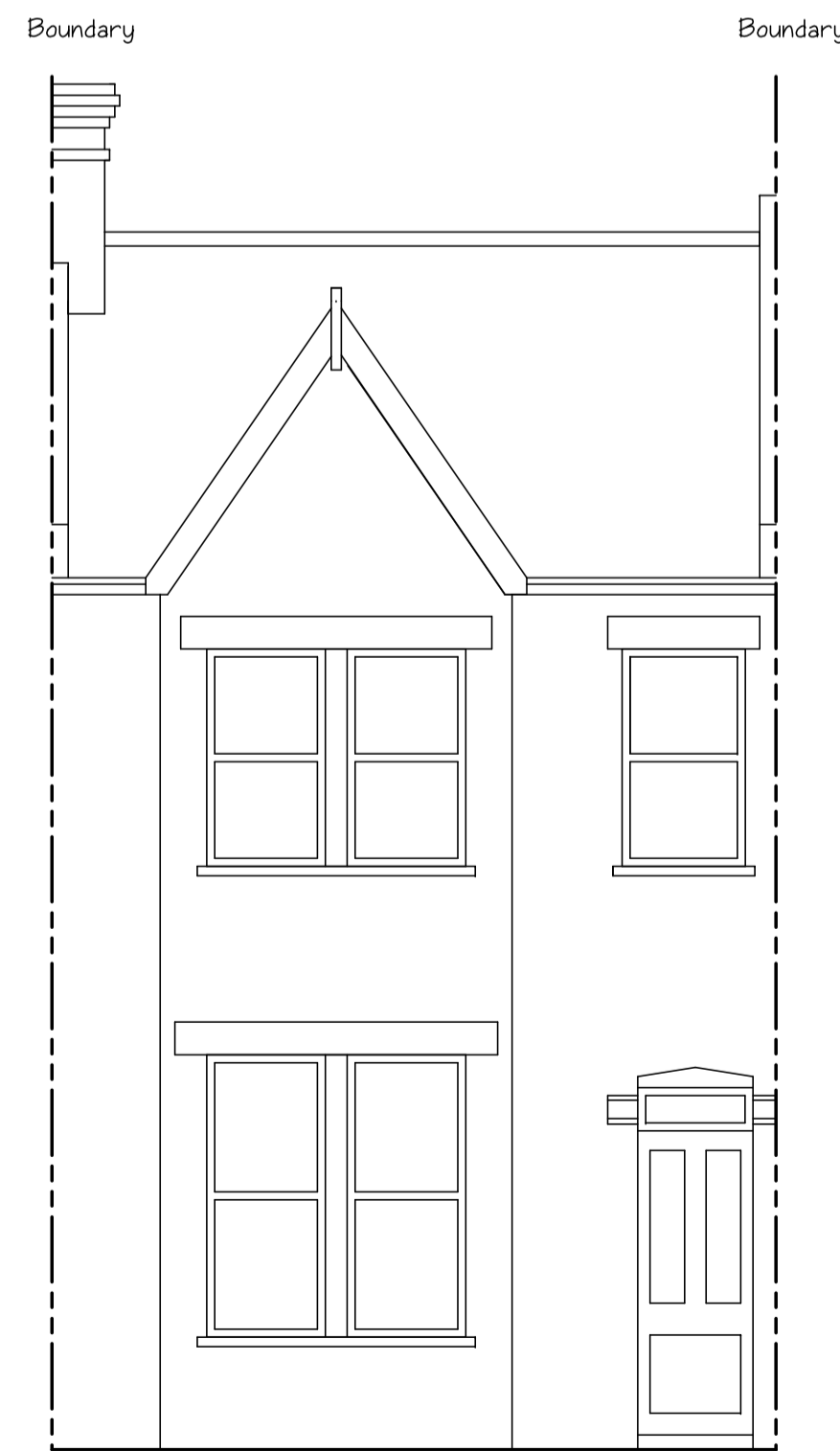
Rev A :- Client amendments 13-02-2024.
 Rev B :- Minor amendments 13-02-2024.



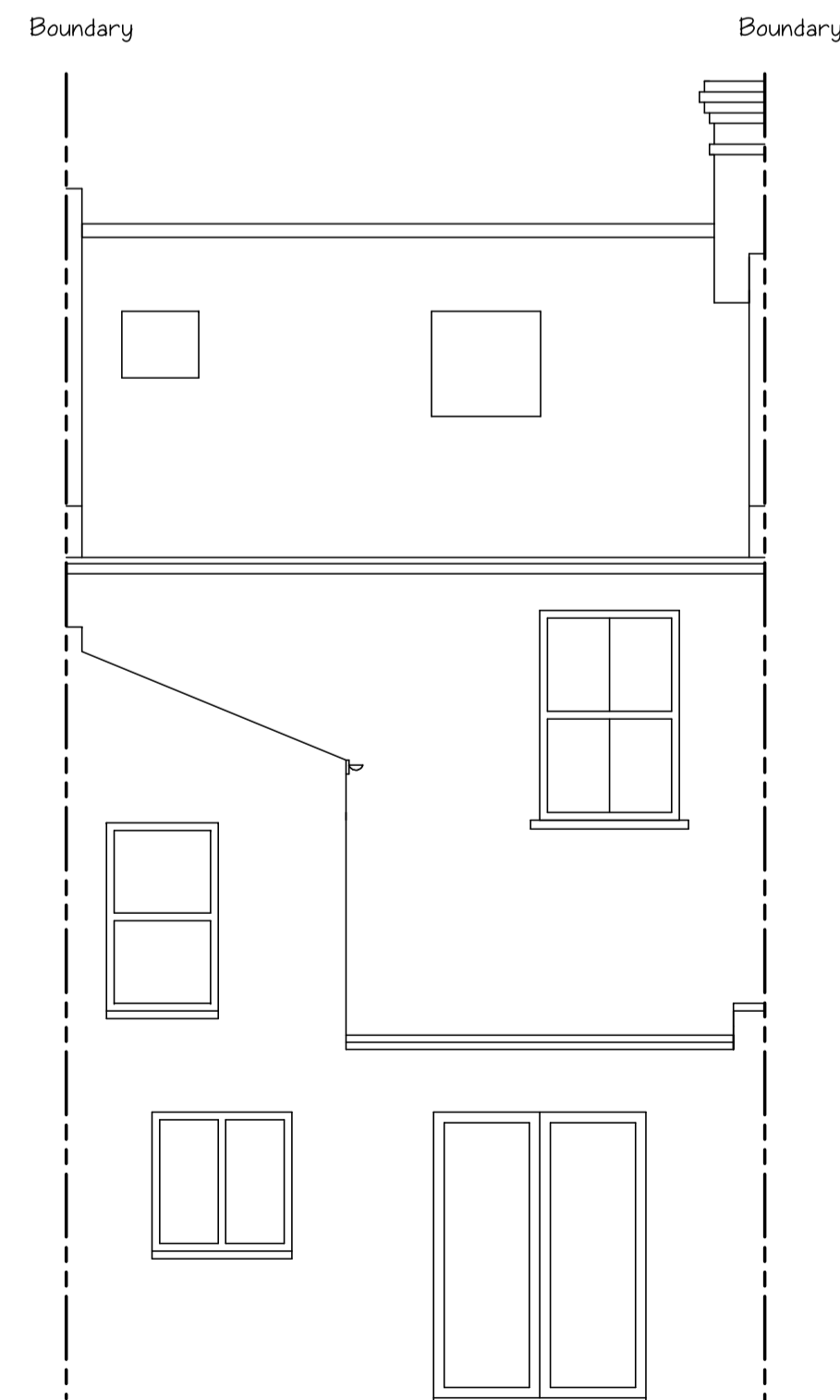
SCALE BAR
 1:50 ON A1, 1:100 ON A3

GENERAL NOTES

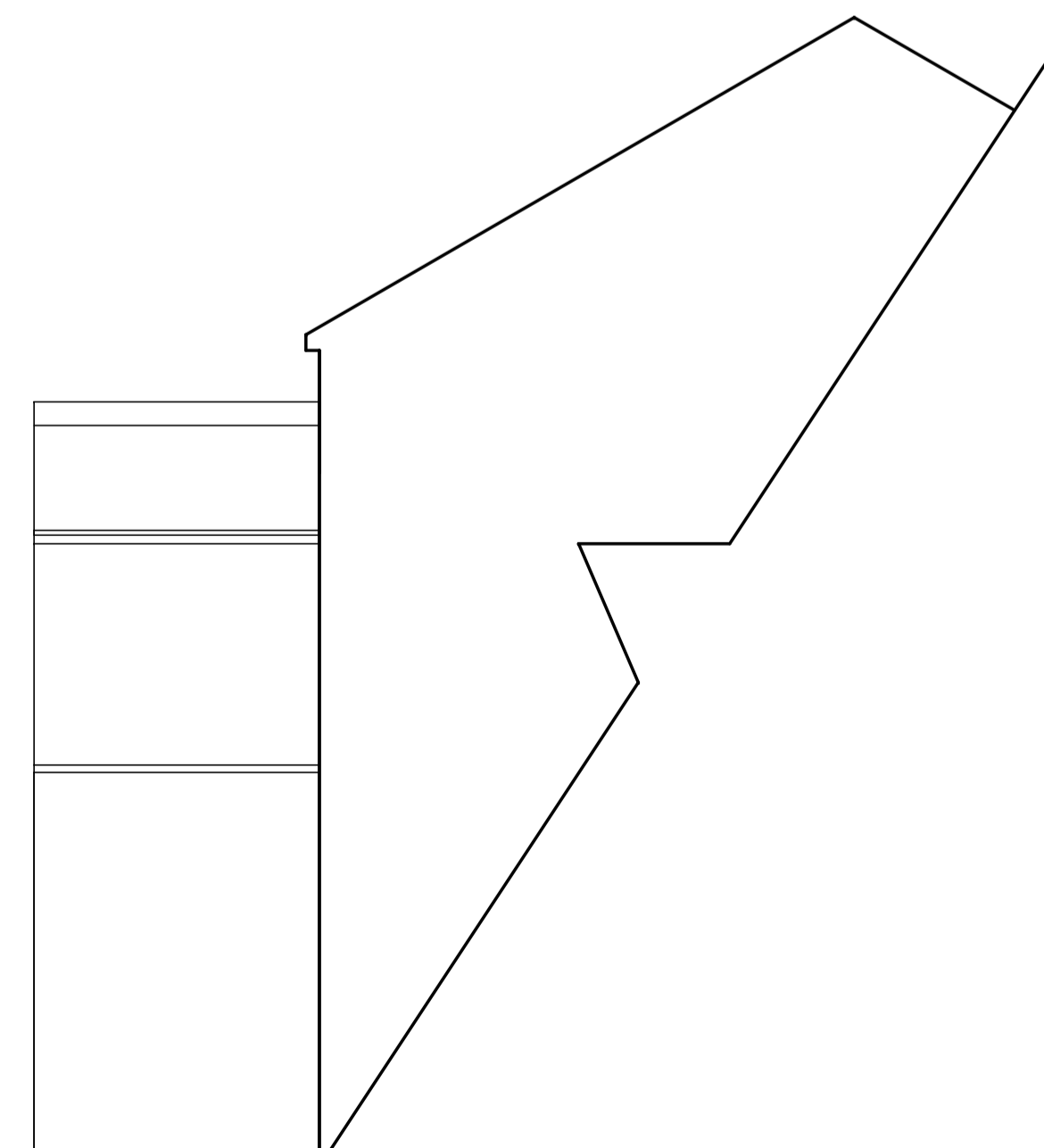
1. Drawings are for Local Authority approval only.
2. Drawings are not to be scaled.
3. Builder to check all dimensions on site.
4. Builder to measure all new steelwork, timber beams/joists and materials on site and not scaled from the drawings when ordering materials.
5. No responsibility is taken for checking legal ownership of site, covenants thereon and position of boundaries.
6. Appropriate party wall notices must be served in advance to, and any negotiations settles prior to start of works in accordance with the Party Wall etc Act 1996.
7. All electrics to be to IEE regulations.
8. All workmanship and materials to comply with the relevant British Standard, Code of Practice, BBA certificate and manufacturer's instructions.



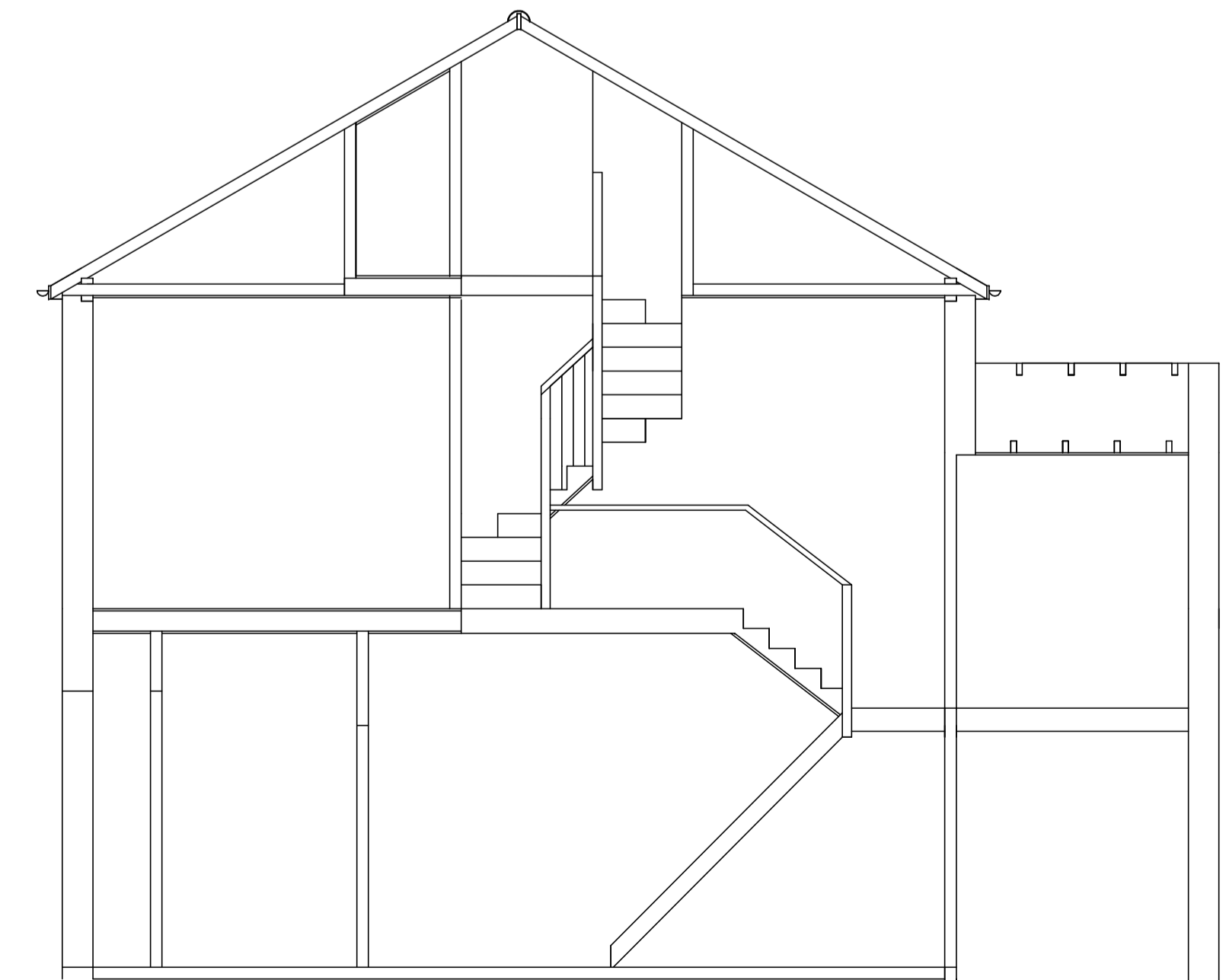
EXISTING FRONT ELEVATION



EXISTING REAR ELEVATION



EXISTING SIDE ELEVATION



EXISTING CROSS SECTION