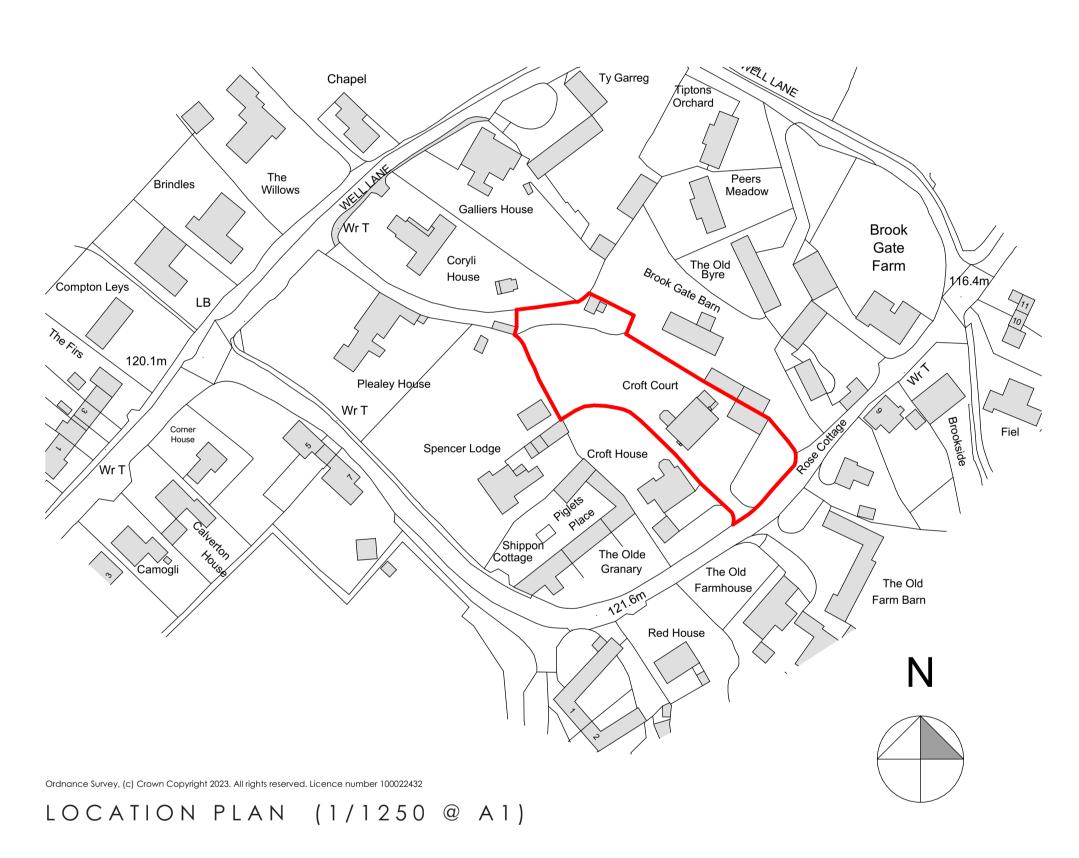




Ordnance Survey, (c) Crown Copyright 2023. All rights reserved. Licence number 100022432 SITE PLAN (1/500 @ A1)



SOUTH WEST

NORTH EAST

Class E structures Buildings etc

Permitted development rights within the curtilage of a house for any building or enclosure, swimming or other pool required for a purpose incidental to the enjoyment of the dwellinghouse as such, or the maintenance, improvement or other alteration of such a building or enclosure

Requirement	Notes on proposals (as shown on this drawing)	Do proposals comply
No outbuilding on land forward of a wall forming the principal elevation.	The two structures are located in the rear garden so are not forward of the principle elevation	YES
Outbuildings and garages to be single storey with maximum eaves height of 2.5 metres and maximum overall height of four metres with a dual pitched roof or three metres for any other roof.	The heights of the two structures are under the maximum limits stated	YES
Maximum height of 2.5 metres in the case of a building, enclosure or container within two metres of a boundary of the curtilage of the dwellinghouse.	The two structures are not within two meters of the boundary	YES
No verandas, balconies or raised platforms (a platform must not exceed 0.3 metres in height)	Not applicable	YES
No more than half the area of land around the "original house"* would be covered by additions or other buildings.	The two structures have a small footprint and sit within a large garden. From the site plan it can be clearly seen that over half the land is not being taken up	YES
In National Parks, the Broads, Areas of Outstanding Natural Beauty and World Heritage Sites the maximum area to be covered by buildings, enclosures, containers and pools more than 20 metres from the house to be limited to 10 square metres.	Not applicable	YES
On designated land* buildings, enclosures, containers and pools at the side of properties will require planning permission.	The property is in the Plealey Conservation area but the two structures are to the rear, not to the side	YES
Within the curtilage of listed buildings, any outbuilding will require planning permission.	Not applicable, the building is not listed	YES

PERMITTED DEVELOPMENT ASSESSMENT

BLEAZARD & GALLETTA LLP Maypole Court, 2 High Street, Wem, Shropshire, SY4 5AA Telephone: 01939 235 303 Fax: 01939 235 344 E-mail: info@bgbuildingconsultants.co.uk Web: www.bgbuildingconsultants.co.uk Croft Court, Plealey, Shrewsbury, Shropshire, SY5 0UY, Project Description **Erection of two Garden Structures** Mr & Mrs P. Reay **Garden Structures** Date Dec 2023 Scale 1/100 @ A1 1569 D 20

THE COPYRIGHT OF THIS DRAWING IS VESTED IN BLEAZARD AND GALLETTA LLP AND CANNOT BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THEIR WRITTEN CONSENT. DO NOT SCALE FROM THIS DRAWING. REPORT ANY ERRORS IMMEDIATELY.

Notes

Adjustable louvered

roof (set beyond
edge beam)

Open sided with

— curtains for shade
during summer months