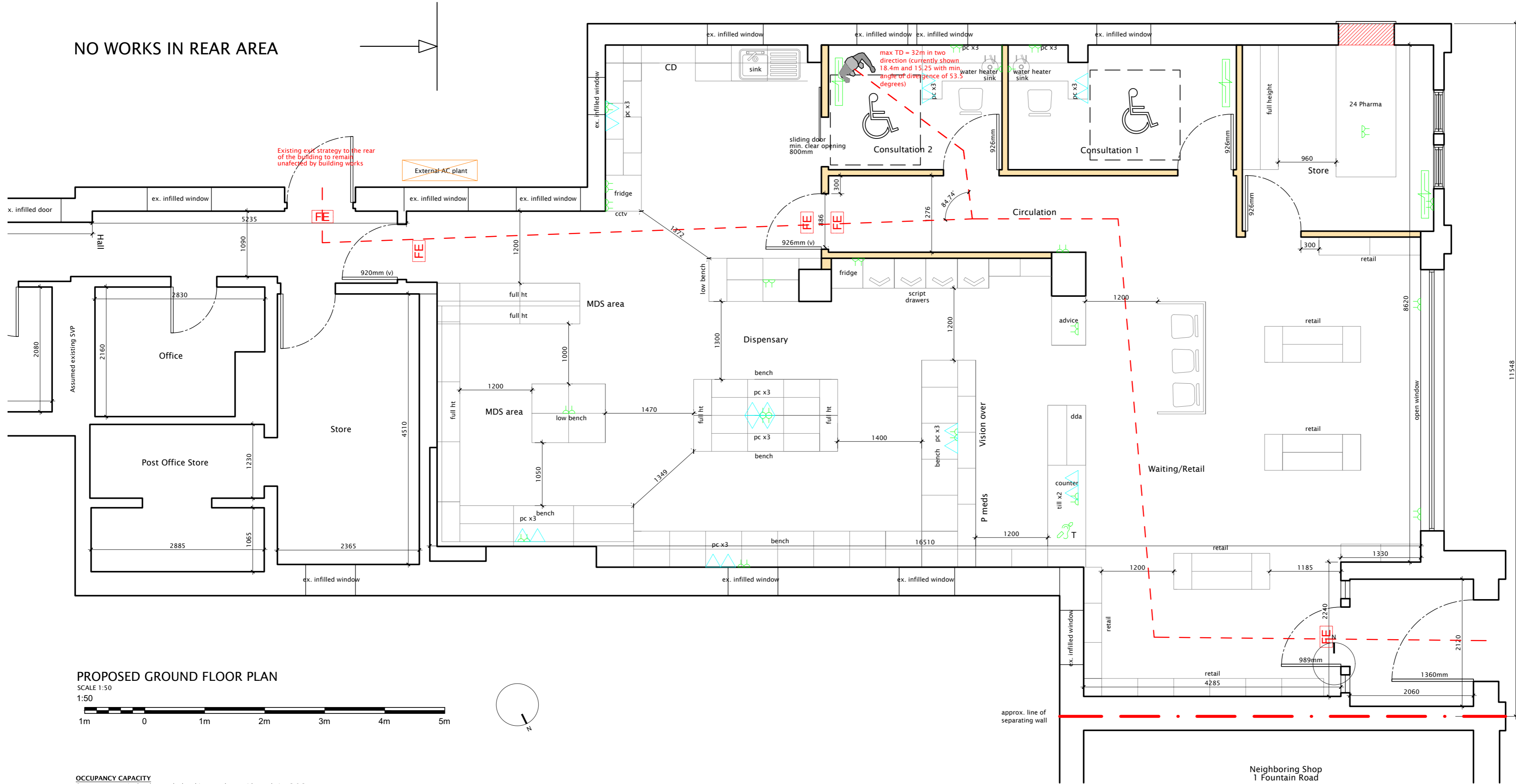


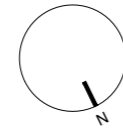
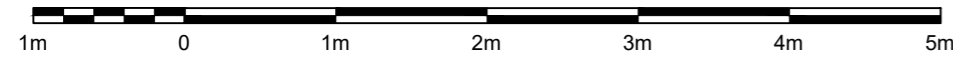
Neighboring Shop  
5 Fountain Road

NO WORKS IN REAR AREA



PROPOSED GROUND FLOOR PLAN

SCALE 1:50  
1:50



OCCUPANCY CAPACITY

Occupancy capacity has been calculated in accordance with regulation 2.9.2

Room	Area (m²)	Persons	Notes
RETAIL/ WAITING	(load factor 2.0) 39.8m²	20 persons	(public)
CONSULTATION 1	(load factor 1.0) 7.9m²	8 persons	(public and staff)
CONSULTATION 2	(load factor 1.0) 6.0m²	6 persons	(public and staff)
DISPENSARY	(load factor 5.0) 69.6m²	14 persons	(staff)
STAFF KITCHEN	(load factor 1.0) 4.6m²	5 persons	(staff)
OFFICE	(load factor 6.0) 5.6m²	1 persons	(staff)

TOTAL OCC CAPACITY (based on load factor) 54 persons

Assumed public numbers (based on figures above) 32 persons  
Assumed staff number (based on figures above) 22 persons

\* the reality (given the nature of the proposed works) actual staff numbers will be lower as outlined by owner of the business (see accompanying letter)  
- PUBLIC 10 persons  
- STAFF 5 persons

NOTES:  
This drawing is for Building Warrant Purposes ONLY. Further Architectural or Engineering details may be required for construction and site works.  
This drawing to be read together with all other drawings and specifications.  
Any discrepancies to be reported immediately to the Architect.  
Only CONSTRUCTION or CONTRACT status drawings to be used for construction purposes.  
This drawing and its design are copyright property of HAB ARCHITECTURE LIMITED and is not to be reproduced without the permission of same.  
These drawings are to be read strictly in accordance with the Structural Engineer's drawings and specifications.  
ONLY SCALE FROM THESE DRAWINGS FOR PLANNING PERMISSION PURPOSES.  
If in doubt ASK! Refer your query back to the Architect or appropriate member of the design team.

LEGEND

- single 13amp switch outlet
- twin 13amp switch outlet
- single 13amp switch outlet 1200mm above floor level
- twin 13amp switch outlet 1200mm above floor level
- High level isolator switch for extract fan
- 1 gang light switch
- 2 gang light switch
- 1 gang two way light switch
- 2 gang two way light switch
- Pendant light fitting
- 200mm dia LED array recessed downlights
- wall light
- external light
- ventilation extract vent
- ventilation supply vent
- smoke detector
- heat detector
- optical smoke detector
- carbon dioxide detector
- carbon monoxide detector
- emergency drop light with 3hr battery pack and pictogram signage - maintained type
- bt/data connection / cat 5e
- mobile induction loop aid to conform to EN60118-4 & BS7594-1993
- Internal ceiling mounted heat pump AC cassettes
- 600x600mm recessed LED array module
- white LED continuous strip downlight - by SD
- RGB LED continuous strip uplight (or similar) with remote control
- denotes LED emergency light fitting
- music speakers recessed into ceiling, linked to music system
- 600x600mm recessed 300w radiant ceiling heaters with programmable thermostat - bn thermic or similar (SM - surface mounted)
- sounder
- break glass call point

30.01.2024 INITIAL ISSUE CM MH

Rev.	Date	Details	Drawn	Checked

**HAB ARCHITECTURE**  
6 Fauldhouse Road, Longridge, Bathgate, West Lothian, EH47 8AW  
t: 01501 770986  
e: info@habarchitecture.com  
www.habarchitecture.com

Issued for: **BUILDING WARRANT**

Project/Client:

INTERNAL ALTERATIONS  
3 FOUNTAIN ROAD, BRIDGE OF ALLAN, STRILING, FK9 4EX  
STRATHALLAN PHARMACY

Drawing:  
GROUND FLOOR PLAN  
PROPOSED

Dwg No: 2390 - D103 Scale: AS NOTED @A2

Rev.	Drawn By:	Date:

© HAB Architecture Ltd | Company No: SC641367  
All dimensions and levels to be checked on site and Architect to be informed of any discrepancies prior to the commencement of work. Unspecified dimensions are not to be scaled off site drawings. All dimensions are to reference unless otherwise specified. If any dimensions or details conflict, please refer to the contract immediately.

Neighboring Shop  
1 Fountain Road