
HERITAGE IMPACT, DESIGN & ACCESS STATEMENT



FEBRUARY 24

The Mount

Great North Road
Tuxford
NG22 0NW



G.P.A.

Architectural Services Ltd

Email: paul@gpaprojects.com

Tel: 07793 815316

INTRODUCTION

1. This Heritage Impact Statement has been prepared in support of an Application for Listed Building Consent for works or extension to a Listed Building.
2. The property lies within the Tuxford Conservation Area (last designated 28th September 2011).
3. The property is a Grade II Listed Building and is Listed by Historic England (List Entry No: 1224257) first listed on 14th November 1985.
4. The listing detail is as follows:
 5. House. Late C18 and C20. Red brick with rendered plinth. Pantile roof. Brick coped gables with kneelers. 2 red brick gable stacks. Wooden cornice. 2 storeys, 3 bays. Central C20 closed and gabled porch with single casements to front and left and glazed door to right, inner panelled door with over light. Either side are single glazing bar sashes under segmental arches. Above are 3 glazing bar sashes.

To the left set back is a single storey 4 bay outbuilding with dentil eaves. Large doorway with wooden door, to the left is a single glazing bar Yorkshire sash, a doorway with plank door and further left a single opening with wooden shutter.

To the right, set back, is a single storey plus garret wing with dentil eaves, and projecting glass and render conservatory, 1950s extension. Inner doorway with panelled door and single glazing bar Yorkshire sash to the right.

Attached to the right is a further greenhouse, 1950s extension.
6. The property is set back from B1164 Great North Road and is screened by mature hedgerows and trees.
7. The application seeks permission for Renovation and Extension of a Grade II Listed Building.

HERITAGE ASSETS AFFECTED & SITE HISTORY

8. The site is to the northern edge of the Tuxford Conservation Area and is connected to the nearby village by the B1164 Great North Road / Eldon Street.
9. The Tuxford Conservation Area contains a number of Listed Buildings.

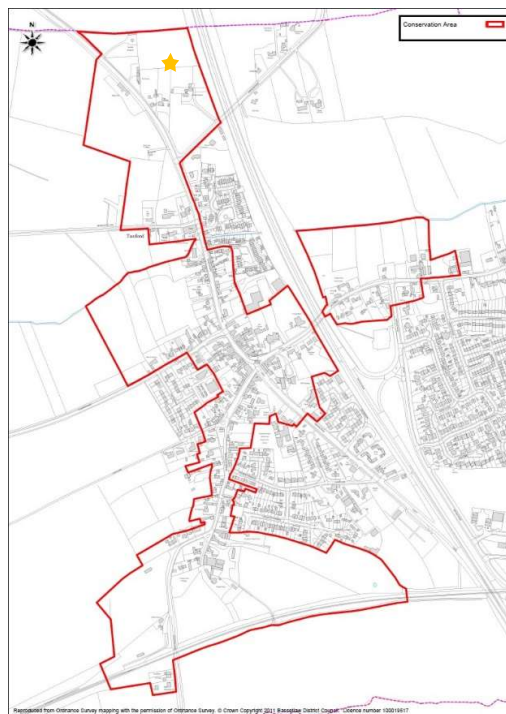


Image: Tuxford Conservation Area designated 28th Sept 1985

10. Directly to the North of the site lies the Grade II Listed - Windmill At Mill Mount (List Entry No: 1266911) first listed on 28th February 1952.



Image: Windmill At Mill Mount, Tuxford.

11. The Mount is shown on a 1921 Ordnance Survey map that identifies the long range of buildings to a similar scale to that of today.



Images: Left-1921 Ordnance Survey Map



Right-Magnified 1921 map.



Image: Magnified 1890 map.

PROPOSAL – Phase 1

12. It is proposed to demolish the existing tin corrugated workshop to the North, along with the lean to construction to the rear of the garage. These structures are in poor condition and contain asbestos sheeting that would require specialist disposal. A condition report is provided as part of the submission.
13. Following the demolition and disposal, it is proposed to re-roof & convert the existing garage and coalshed into a habitable space. Further to this, it is proposed to erect a new, contemporary, habitable space that would be connected to the existing dwelling.
14. Details of the proposed development can be found within drawing GPA/10/23/0303 which forms part of the submission.



Images: Left – Corrugated Steel Workshop. Right –Interior of Workshop with asbestos wall and ceiling panelling.



Images: Left – Brick Garage and Coal Shed. Right –Interior of Coal Shed with damaged roof and asbestos ceiling panelling.



Images: Left – Lean-To at rear of Garage.

Right –Damaged roof.

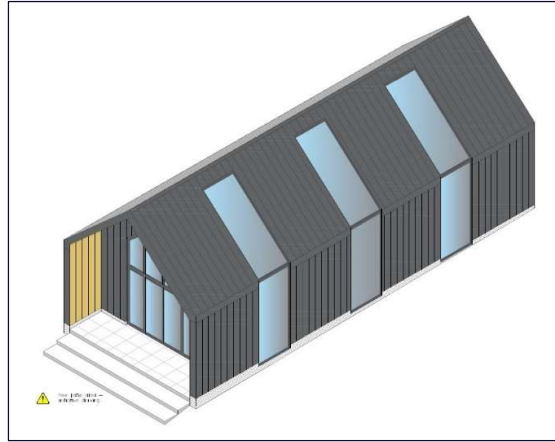


Image: Proposed contemporary extension to replace existing workshop.

PROPOSAL – Phase 2

15. It is proposed to demolish the Greenhouse and Garden Room to the South. This would include the removal of the existing stainless-steel chimney / flue. These structures are in poor condition and not visually appealing. A condition report is provided as part of the submission.
16. It is further proposed to demolish the existing Porch to the front of the property.
17. Following the demolition and disposal, it is proposed to erect a new Garden Room, Porch and Greenhouse.
18. Details of the proposed development can be found within drawing GPA/10/23/0303 which forms part of the submission.



Images: Left – Greenhouse and Stainless-Steel chimney.



Right –Interior of Greenhouse.



Images: Left – Garden Room and Stainless-Steel chimney.



Right –Interior of Garden Room.



Image: Existing Porch to the front of the property.

ASSESSMENT OF PROPOSAL

19. Consideration has been given to the impact that the proposed development would have upon the character and appearance of the Listed Asset and the Tuxford Conservation Area.
20. In terms of prominence, it is believed that the proposal provides for a modern and innovative approach, yet is still sympathetic to the wider site in terms of its scale, form, appearance and materiality;
21. It is proposed to use materials to the external that match, so far as is reasonably practicable, and are sympathetic, to the existing materials. It is proposed to use zinc profile roof sheeting and wall cladding to the Northerly extension, that is finished in black, along with zinc rainwater goods.
22. The proposed site lies to the northern boundary of the Tuxford Conservation Area that contains a number of built heritage assets other than the development site.
23. The proposed scheme is largely screened by existing mature hedgerows and trees.
24. It is believed that the above factors largely diminish any impact of the proposal upon its surroundings and the significance of the Grade II The Mount.
25. The existing footprint is 221 m² whereas, the proposed footprint will see an increase of 20% to 276 m².
26. The existing Gross Floor Area is 225.9 m² whereas, the proposed Gross Floor Area will be 342.6 m², an increase of 116.7 m².
27. Bassetlaw Conservation Department have been consulted by the client and the feedback with regards to the proposed works has been gratefully received.

ACCESS

28. The proposal is for works on an existing property; transport links will remain unaffected.
29. The property is a private dwelling and, as such, no access rights exist for the General Public.
30. The design and layout of the proposal provides for inclusive access.
31. Existing off-road parking provisions will remain unaffected.
32. Vehicle access to the property will remain unchanged and there is no requirement for extra vehicle access points.
33. Access to neighbouring properties will be unaffected.

ADDITIONAL SUPPORTING PHOTOGRAPHS



POLICY AND GUIDANCE

In preparing this Heritage Impact Statement, consideration has been given to the contents of the following publications: -

National Planning Policy Framework – Part 7 Design

Planning (Listed Buildings and Conservation Areas) Act 1990

Bassetlaw District Council – Local Development Framework

Core Strategy & Development Management Policies – Development Plan Document (Adopted December 2011)

Policy DM8 (Design & Character) of the Bassetlaw Core Strategy and Development Management Policies DPD

Bassetlaw District Council – Successful Places – A Guide to Sustainable Housing Layout and Design (Adopted December 2013)

Bassetlaw Climate Change Strategy