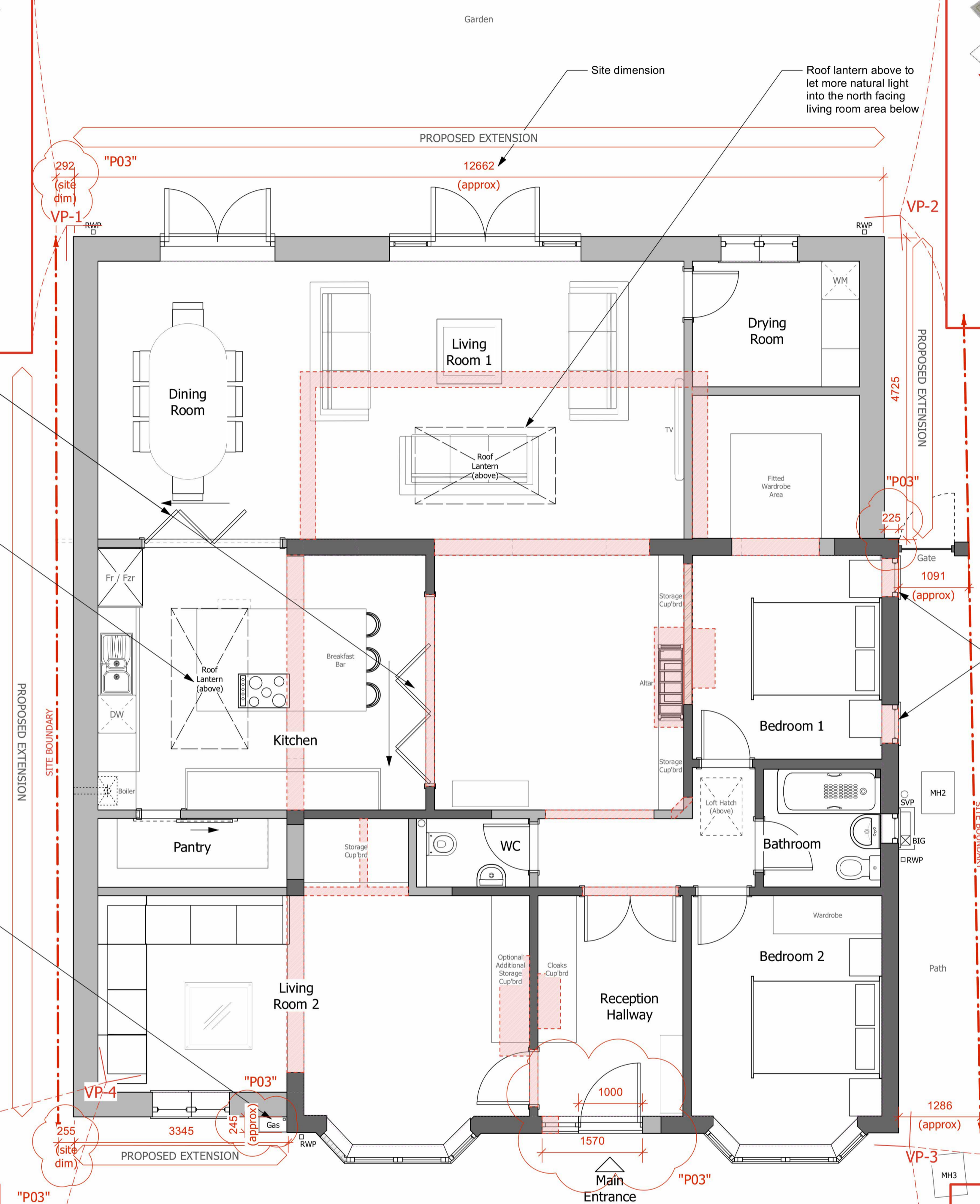
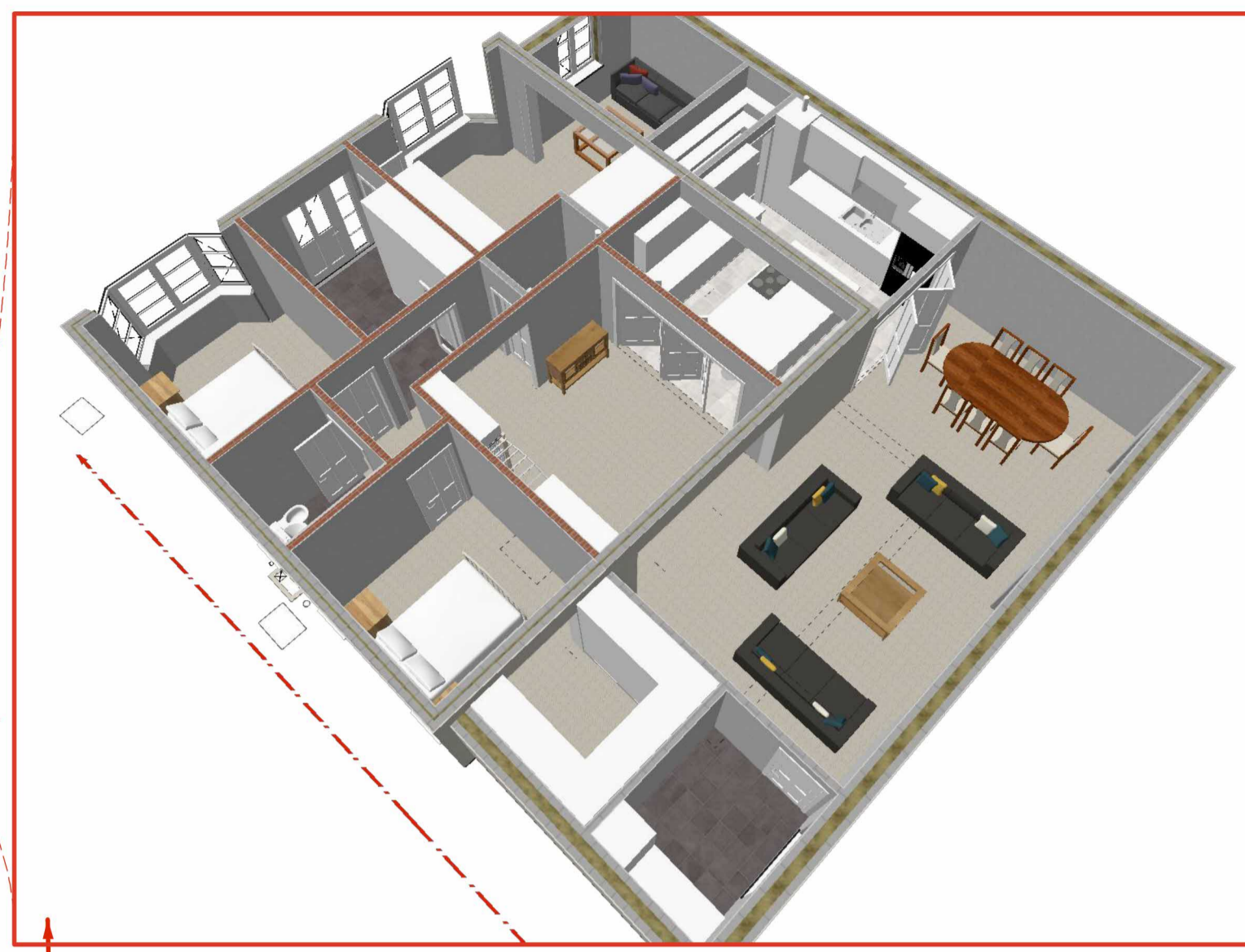


Do not scale dimensions off drawings. Use written or calculated dimensions. This drawing has been produced for the client for the project on the site shown.

All dimensions given are a guide only, especially when referring back to any existing buildings. The Contractor is responsible for checking all dimensions before ordering or starting on site. Any critical dimensions should be checked on site by the Contractor prior to works starting or before any items are fabricated / ordered. These drawings are also not an "As Built" record. This drawing is not intended for use by any other person or for any other purpose than that specified here. DMAC Architects Ltd accept no liability whatsoever if this drawing is used by any other person or for any other purpose.

**NOTES**



**Wall Key**

- = Existing
- = Proposed
- = Demolition

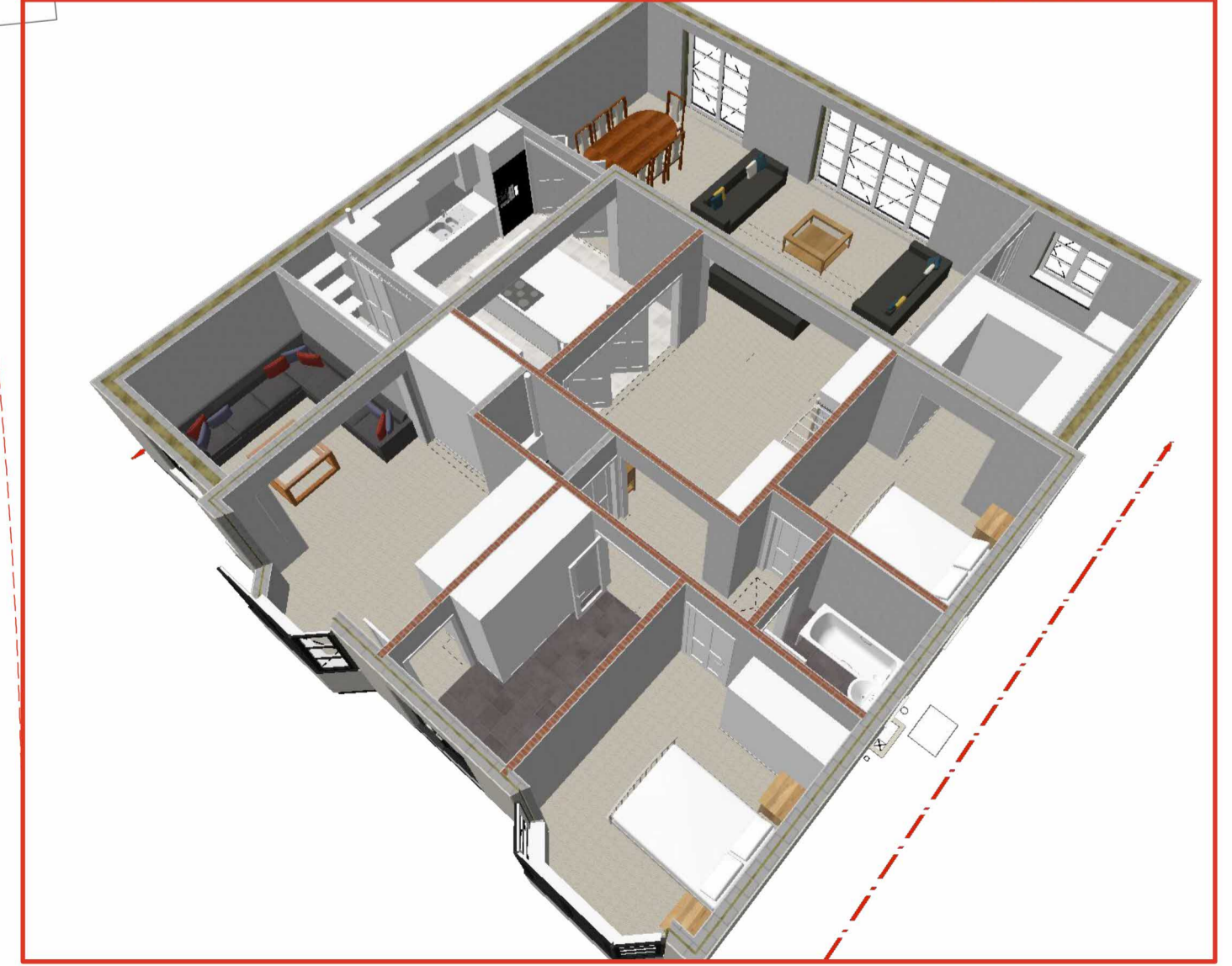
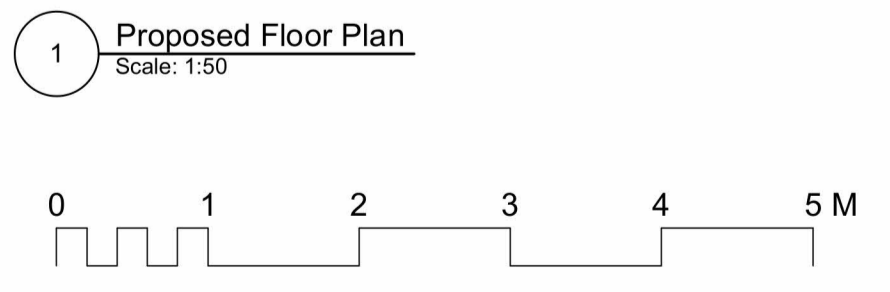
Bi-folding internal doors so that the kitchen can be closed off or opened up to the main social space as required

Roof lantern above to let 'top down' natural light into the room below

Gas meter relocated to front of property

New windows to bring natural light and daylight into the bedroom

Existing Floor GIA = 97.1 sqm  
 Proposed Extension GIA = 79.6 sqm  
 Total New Proposed GIA = 163.4 sqm



Rev	Date	Revision	Drawn By
P03	07/02/24	Additional dimensions added	DM



**DMAC Architects Ltd**  
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Drawing Status  
**PLANNING**

Project  
 Proposed Extension & Alterations for  
 48 Coppins Rd, Clacton. CO15 3JG

Client  
 Mrs R. Patel

Scale 1:50@A1  
 Drawn By / Date DM/01/24  
 Checked By / Date DM/01/24

Title  
 Proposed Floor Plan

Drawing No. 2320-DMAC-00-GF-DR-A-10-S1-P03  
 Rev No.

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