

Electrical Notes.

* DENOTES NEW LIGHT SWITCH 1100 ABOVE FFL AND 350 FROM CORNERS AND OBSTRUCTIONS.

o DENOTES NEW CEILING LIGHT WITH BRITISH STANDARD KITE MARK TO SHOW SUITABILITY FOR BATHROOM / SHOWER ROOM USE. 75% OF ALL LIGHTING THROUGHOUT THE HOUSE TO BE THE ENERGY SAVING TYPE.

MEF DENOTES MECHANICAL EXTRACTOR FAN CAPABLE OF 15L/S AND PROVIDED WITH AN ISOLATION SWITCH.

FIRE DETECTION THROUGHOUT THE HOUSE TO BE FULLY COMPLIANT WITH THE SCOTTISH GOVERNMENT LEGISLATION.

ALL ELECTRICAL WORK TO BE CARRIED OUT BY SKILLED TECHNICIANS IN ACCORDANCE WITH BS 7671:2018 AND CERTIFIED BY A SELECT AUTHORISED ENGINEER PRIOR TO APPLYING FOR COMPLETION.

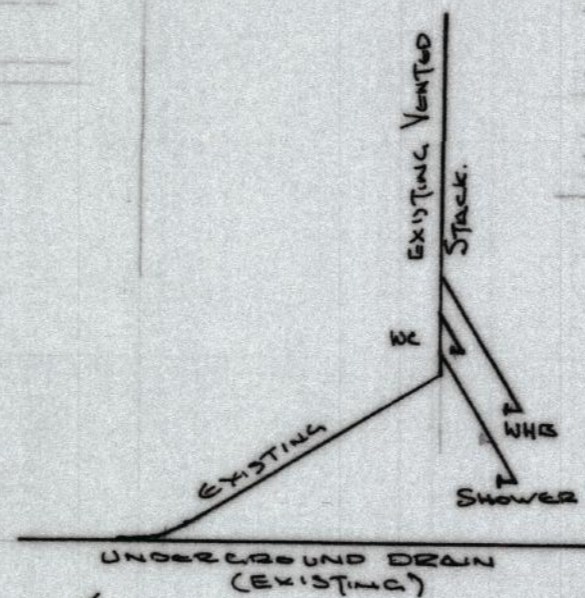
R DENOTES CHEMISED POWEL RADIATOR FITTED WITH A TRV. IT IS TO BE CONNECTED TO THE EXISTING SYSTEM FOR THE HOUSE WITH IS TO BE CAPABLE OF MAINTAINING 21°C IN THE MAIN ROOM AND 18°C THROUGHOUT THE REST OF THE HOUSE AT AN EXTERNAL TEMP OF -1°C.

WALL HUNG WASH HAND BASIN WITH 40mm ABS WASTE WITH DEEP SEAL TRAP ACCESSIBLE FOR CLEANING AND CONNECTED INTO EXISTING SUP. IT IS TO HAVE A MAXIMUM TOP FLOW RATE OF 6L/M.

WC TO HAVE TRAPPED 100mm ABS WASTE CONNECTED INTO EXISTING SUP. IT IS A SINGLE FLUSH SYSTEM WITH A MAXIMUM FLUSH NOT MORE THAN 6.5L.

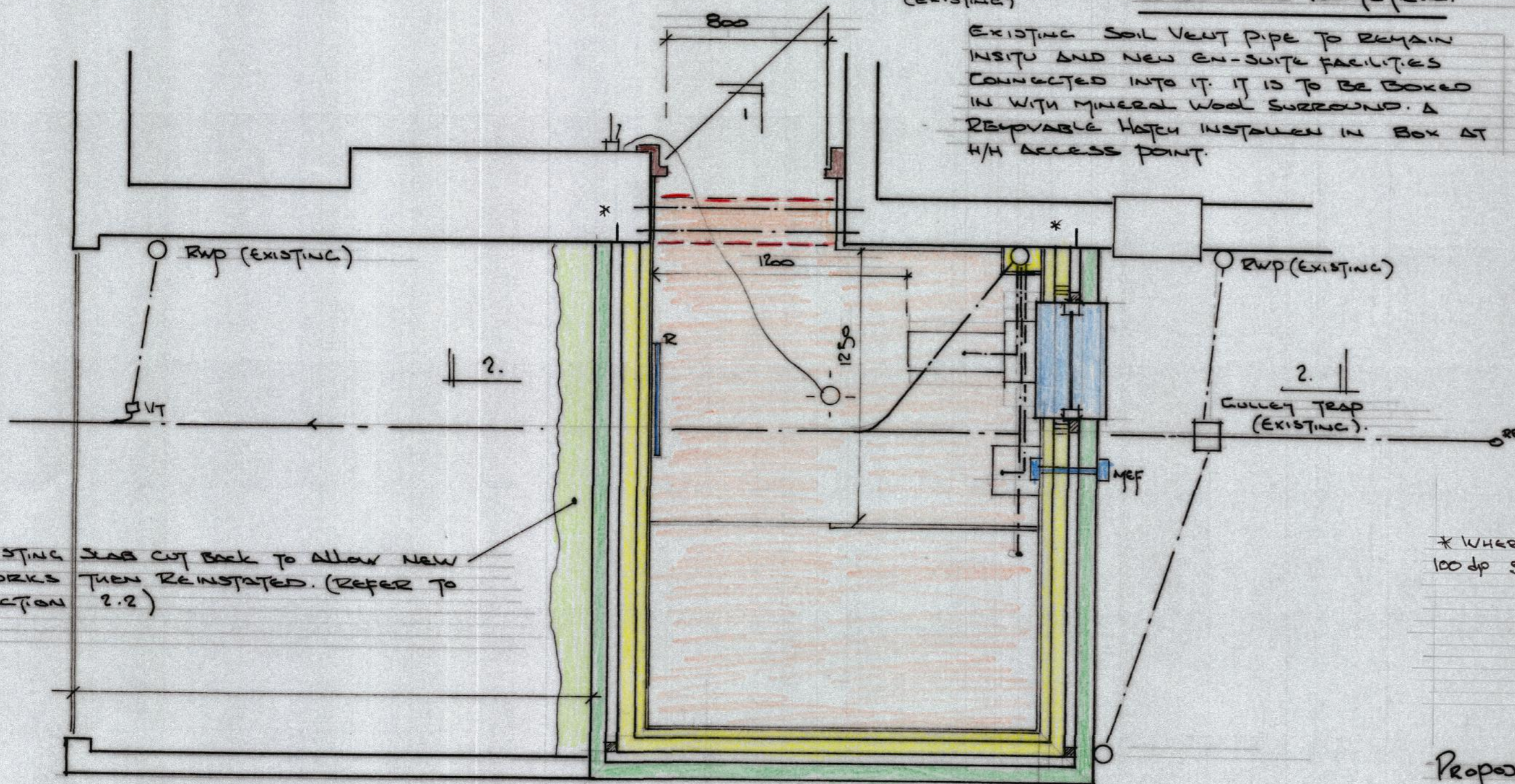
IMPERMEABLE SHOWER CUBICLE WITH 40mm ABS WASTE WITH DEEP SEAL TRAP ACCESSIBLE FOR CLEANING.

ALL HOT WATER PROVIDED THROUGH THERMOSTATIC MIXER VALVES TO PREVENT SCALDING.



DRAINAGE ISOMETRIC.

EXISTING SOIL VENT PIPE TO REMAIN INSITU AND NEW EN-SUITE FACILITIES CONNECTED INTO IT. IT IS TO BE BOXED IN WITH MINERAL WOOL SURROUND. A REMOVABLE HATCH INSTALLED IN BOX AT H/H ACCESS POINT.



EXISTING SLAB CUT BACK TO ALLOW NEW WORKS THEN REINSTATED. (REFER TO SECTION 2.2)

* WHERE NEW WALLS ARE CONNECTED TO EXISTING A FULL HEIGHT 100dp SAW CUT TO BE MADE AND INSULATED PASTERBOARD INSERTED.

DETAILED PLAN (1:20)

PROPOSED EN-SUITE BUILT WITHIN GARAGE AT 187 KINGSKNOVE ROAD NORTH, EDINBURGH
DETAILED PLAN AND SECTIONS.

02 04 06 08 10 12 14 METRES @ 1:20