

Roof Height raised locally to allow for Haberoom and insulation to new en-suite. Maximum height above F.C.L is 2990. New Roof covering to be pro-toech black capsheet with fascia's painted reddish brown to match existing stone corners.

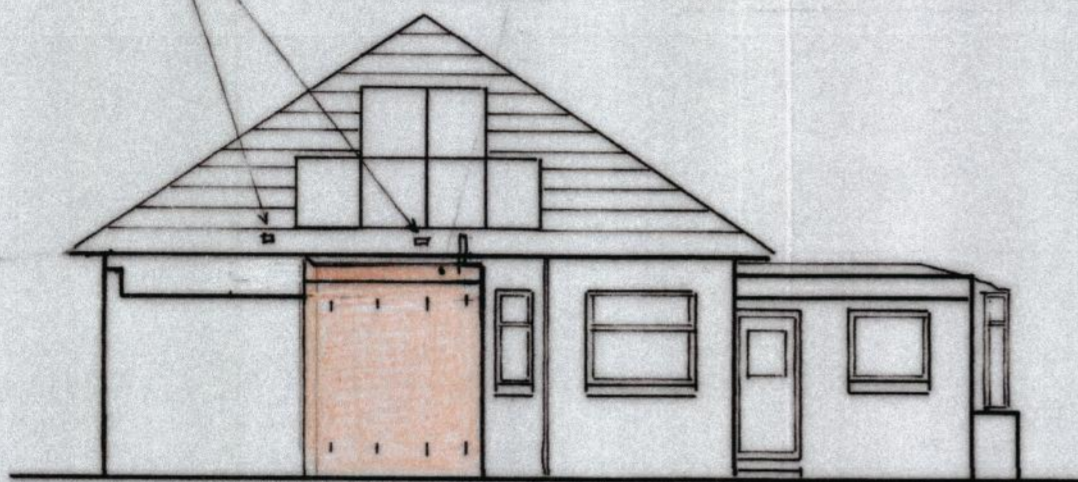
Existing rear wall of garage removed and replaced with new timber frame wall with external blockwork with a render finish to match existing walls. 300m² fac's indicated as shown.

New 110mm Half Round gutter lead to fall into extended existing RWP with handhole access.

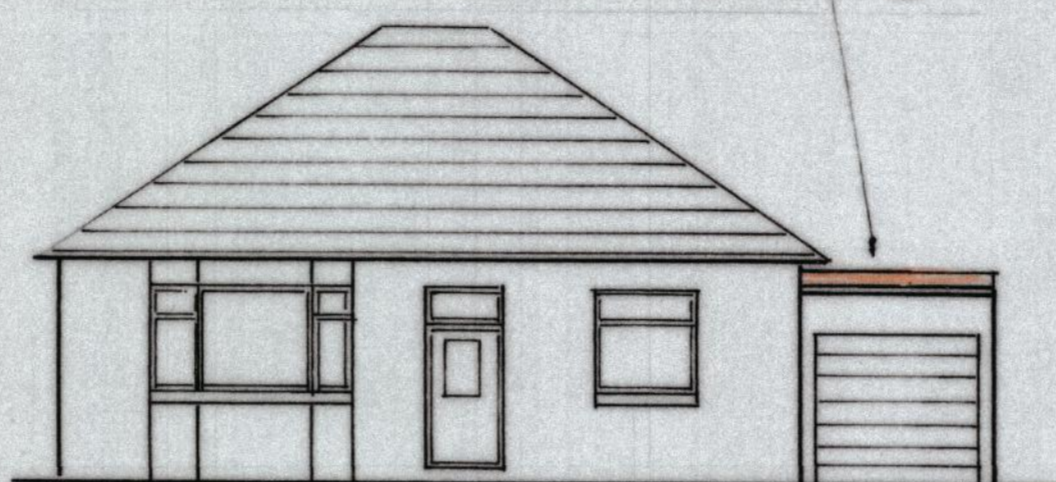
Care to be taken to avoid disruption to existing solar panels on west and rear elevations.

Roof vents installed to compensate for blocked off gable ventilation.

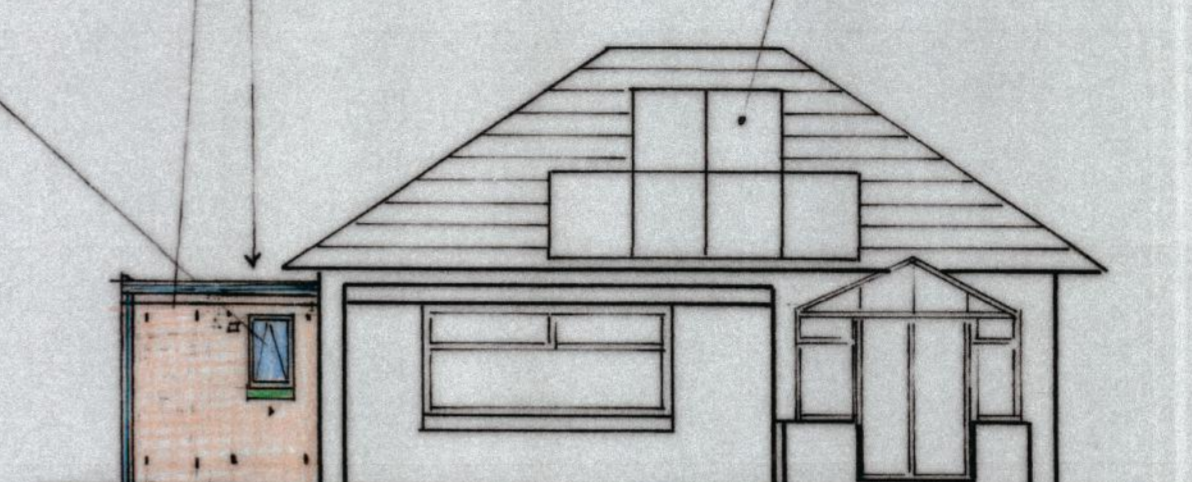
New double glazed white uPVC framed window with a U-value of 1.4 U/3k or better. External pane to be obscurely glazed laminate glass. Frame fitted with 1000mm² manually controlled trickle ventilation. Window to be provided with a locking mechanism with removable key and be in accordance with secured by design literature. Installed in accordance with BS 823-4-2007.



Proposed South Elevation (1:100)



Proposed Front Elevation (1:100)

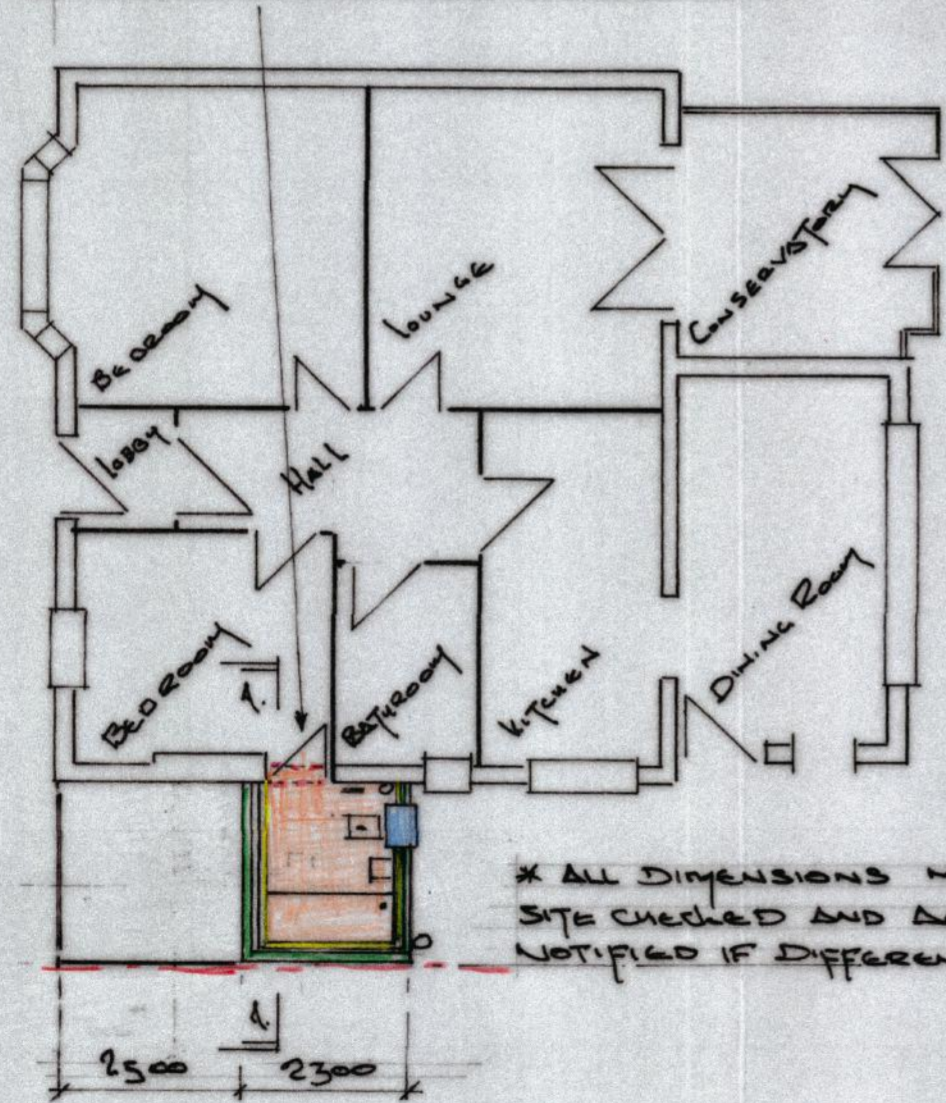


Proposed Rear Elevation (1:100)

Slapping formed in existing bedroom to accept new door and framing. Door to achieve 800 minimum clear openings. All door takings to be made good. Lintel and propping details to be in strict accordance with engineers drawings.

No changes required to gutter run or roof profile. 'Flat' roof construction.

Timber runner on new wall to take cut ends of existing roof joists.



Proposed Floor Plan (1:100)

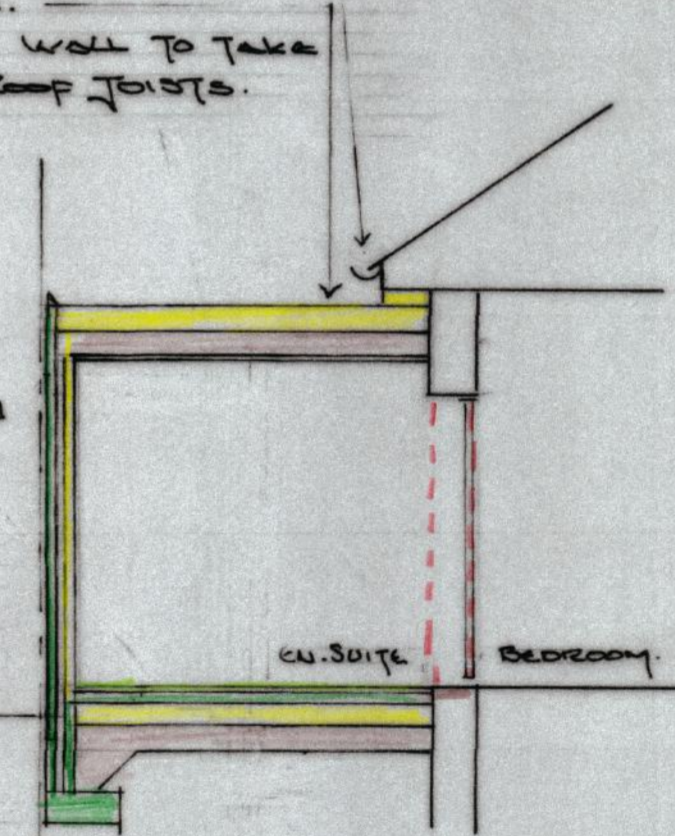
* All dimensions must be site checked and agent notified if different.

Existing garage roof re-decked with delevity pieces draining it to a new hopper at the N/E corner which is connected into the existing RWP.

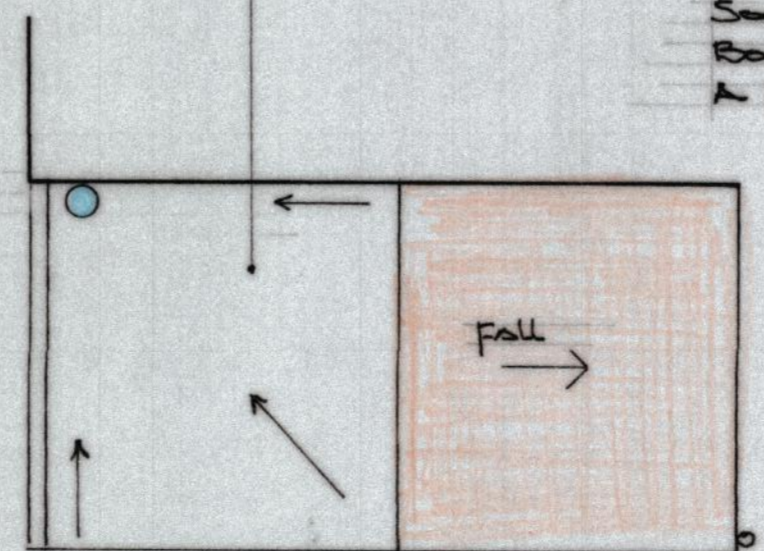
Due to the style and age of the garage the integrity of the existing slab cannot be ascertained so it is to be cut back to allow installation of new foundations under new walls and a new insulated slab in the en-suite.

For reinstatement details refer to 187 KRN dng 03.

New wall set out 50mm from boundary to allow for formwork and fascia's. South wall can be coloured to neighbours preference. If access is restricted a fully weatherproof black is to be used.



SECTION A-A (1:50)



Roof Plan (1:50)

Proposed ensuite built within garage at 187 Kingsknowe Road North, Edinburgh.

Proposed Plan and Elevations.

