

Design and Access Statement

**Householder Planning Application for
22A Wayside Avenue Bushey,
Hertfordshire, WD23 4SQ**

Following Planning Approval ref 21/1503/FUL
(Demolition of Nos 22 & 24 Wayside Avenue and
construction of 4 x 2 Storey, 5 bed detached dwellings to
include detached garages for plots 3 & 4.)

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Overview

Applicant: Mr Atul Shringarpure, 22A Wayside Avenue, Bushey, Hertfordshire, WD23 4SQ

Application Site: 22A Wayside Avenue, Bushey, Hertfordshire, WD23 4SQ

Architect/ Agent: Mark Bell Architects, Bloxham Mill, Barford Road, Bloxham, Oxfordshire, OX15 4FF.

Introduction

This design and access statement is submitted on behalf of Mr Shringarpure 'the Applicant'. A Householders Application has been submitted to Hertsmere Borough Council 'the Council' in relation to the proposed residential dwelling, 22A Wayside Avenue, Bushey, Hertfordshire, WD23 4SQ 'the Application Site' following the Approval 21/1503/FUL.

The purpose of this document provides written support for a householder's application in connection with the approved application referenced as 21/1503/FUL.

Scope of Supporting Information

This application is accompanied by the following drawings and supporting documents:

Planning Application Form

Design and Access Statement

AA070_1.0.300-Location Plan

AA070_1.1.301-As Approved Site Plan

AA070_1.1.302-Proposed Site Plan

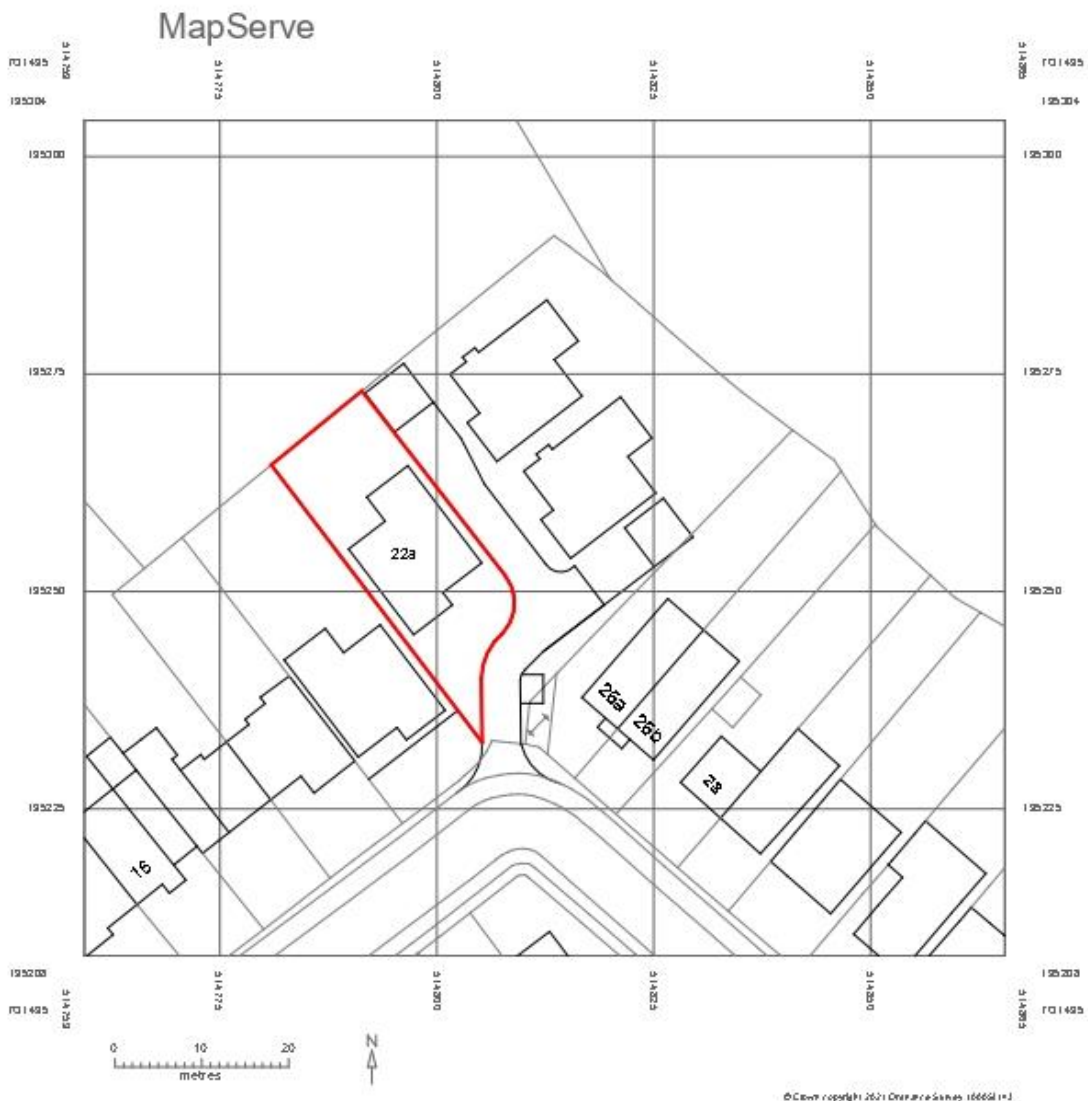
AA070_1.1.303-As Approved Plans and Elevations

AA070_1.1.304-Proposed Plans and Elevations

The Site

Wayside Avenue is a road, which loops off Little Bushey Lane, and is located on the southeastern fringe of Bushey, north of Bushey Heath. Bushey lies in the southwest of Hertfordshire adjacent to north London. The site is not within a conservation area, nor is it in an area of defined flood risk, and there are no listed buildings on or in the vicinity of the site.

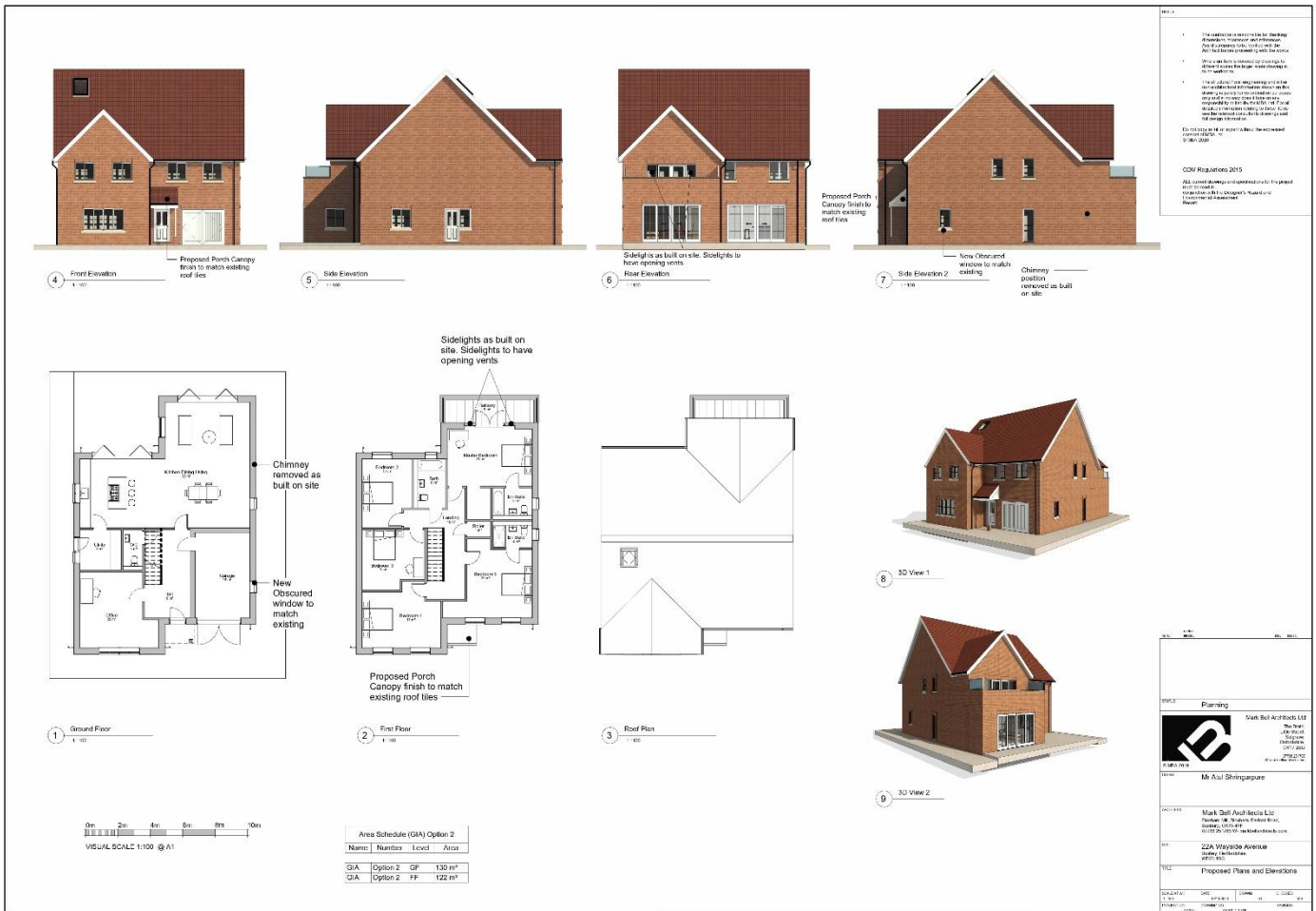
No.22A is situated on the northern corner of Wayside Avenue. There is open farmland to the rear boundary, which is currently Metropolitan Green Belt, but has been identified in the Hertsmere Plan as a potential site for housing and employment. The land slopes down the hill along Wayside Avenue from Little Bushey Lane to the site at the bottom corner of the road, and the slope continues down into the corner of the site to the east as well as to the north.



Location Plan.

The Proposal

Following the Approval of 21/1503/FUL and 23/0273/VOC our client would like to amend the approved drawings to reflect that which has been built on site and obtain approval for a new window and canopy porch.



The as built changes include the removal of the chimney and the addition of the sidelights to the patio doors on the first floor.

The proposal seeks to add a new lean-to canopy porch to the main entrance along with an obscure openable window to the garage.

Conclusion

This householder's planning application seeks to supersede plot specific house type details on approved drawings and replace this specific plot with the new proposed drawings. Following the Approval of 21/1503/FUL and 23/0273/VOC our client would like to amend the approved drawings to reflect that which has been built on site and obtain approval for a new window and canopy porch.

End.