

9th February 2024

By electronic submission only

Planning Registration
New Forest District Council
Appletree Court
Lyndhurst
Hampshire
SO23 7PA

Edward Heron MRICS Limited
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My Ref: PC/23/018

Dear Sir/Madam,

Location: 1 The Old Granary, King's Yard, Salisbury Street, Fordingbridge, SP6 1AB.
Proposal: Change of use from Office (Use Class E) to 1-bedroom flat (Use Class C3).

I write in support of the submitted application seeking a determination as to whether prior approval is required for the above proposed development in accordance with Class MA permitted development and, should it be determined that prior approval is required, that it be given.

The application site consists of the ground floor of a three storey building, the floors above being within established residential use, consisting of 2no. 2-bedroom flats. The ground floor was granted planning permission for use as an office on the 19th June 2006 (application no. 06/88292) and has been utilised as such until the 31st October 2023.

Paragraph MA, Part 2, Schedule 2 of The Town & Country Planning (General Permitted Development) (England) Order 2015 (as amended) permits development consisting of a change of use of a building and any land within its curtilage from a use falling within Class E to a use falling within Class C3 provided that (para MA.1 (1)):

(a) The building has been vacant for a continuous period of at least 3 months immediately prior to the date of application.

The application site has been vacant since the 1st November 2023, being a period of more than 3 months prior to the date of submission of this application.

(b) That the building fell within one or more of the classes specified for a continuous period of at least 2 years prior to the date of application.

The application site was granted planning permission for use as an office in June 2003 (then Use Class B1, Class E from 1st September 2020) and has been in use as such until the 31st October 2023, being a period in excess of 2 years prior to the date of application.

(c) The cumulative floor space of the existing building changing use under Class MA does not exceed 1,500m².

The GIA of the proposed ground floor flat is 47m². (The total GIA of the building is approximately 198m²)

None of the provisions of sub-paragraphs (e) to (g) apply in respect of the application site.

Cont./...

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Paragraph MA.2 (2) stipulates those matters that may be considered by the LPA in its determination as to whether prior approval is required:

(a) Transport impacts of the development, particularly to ensure safe site access.

The application site is located within a courtyard area (King's Yard), with pedestrian and vehicular access from Salisbury Street. Public car parking is available within a short (approx. 100m) level walk (Fordingbridge Car Park). Public transport can be accessed utilising the Post Office Bus Stop, which is served by the X3 bus travelling between Salisbury and Bournemouth, both of which provide onward access to mainline railway services.

(b) Contamination risks in relation to the building.

No contamination risks have been identified, The upper floors of the building are within established existing residential use.

(c) Flooding risks in relation to the building.

The building is located within an area identified by the Environment Agency as 'flood risk zone 1, an area with a low probability of flooding'. (EA Flood map for planning provided)

(d) Impacts of noise from commercial premises on the intended occupiers of the development.

The application site is located within a courtyard area (King's Yard), set back from the principle shopping and business area, Salisbury Street. Premises within King's Yard are either within residential use, or uses that are unlikely to have an adverse impact due to noise, being a Museum, Information Centre and Council Offices.

(e) Where (i) the building is located in a conservation area, and (ii) the development involves a change of use of the whole or part of the ground floor, the impact of that change of use on the character or sustainability of the conservation area.

The application site is located within the Fordingbridge Conservation Area. The proposed development does not propose any alteration to the external appearance of the building. The building is not identified within the Fordingbridge Conservation Area Appraisal (June 2001) as a key or important unlisted building.

(f) The provision of adequate natural light in all habitable rooms.

All habitable rooms will benefit from external southeast facing windows.

Sub-paragraphs (g) to (i) are either not of relevance or not applicable to the submitted application.

Impact on European sites (Recreation & Phosphates)

It is acknowledged that the proposed development is likely to have a significant impact on one or more European sites. The applicant confirms that they are willing to enter into a Unilateral Undertaking with the LPA in respect of Habitats Mitigation (Access Management & Monitoring, Bird Aware Solent, Infrastructure, and Air Quality Monitoring).

The existing waste water sewer connection is understood to be with the Fordingbridge WwTW. It is anticipated that mitigation for phosphates will be via an offset agreement with Pennyfarthing Homes (Bickton Scheme).

Supporting Documents

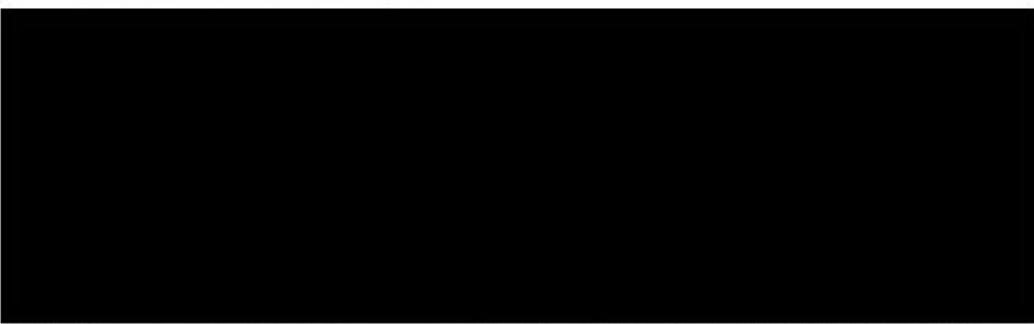
The following documents are submitted with the application (via the Planning Portal):

Existing Location, Block, Roof & Floor Plans	(KA/2024/J06/A100)
Proposed Location, Block, Roof & Floor Plans	(KA/2024/J06/A101)
Existing Elevations	(KA/2024/J06/A200)
Proposed Elevations (no alteration from existing)	(KA/2024/J06/A201)
EA Flood map for planning	

The application is submitted electronically via the Planning Portal, through which the application fee of £125.00 (plus service charge) has been paid.

Should you require any additional information to enable you to consider the submitted Prior Approval application, please do not hesitate to contact me.

Yours faithfully,



Edward J. Heron BSc MRAC MRICS
On behalf of Edward Heron MRICS Limited