

## Revised plan for extension: 27 Sheraton Drive Kidderminster DY103QR

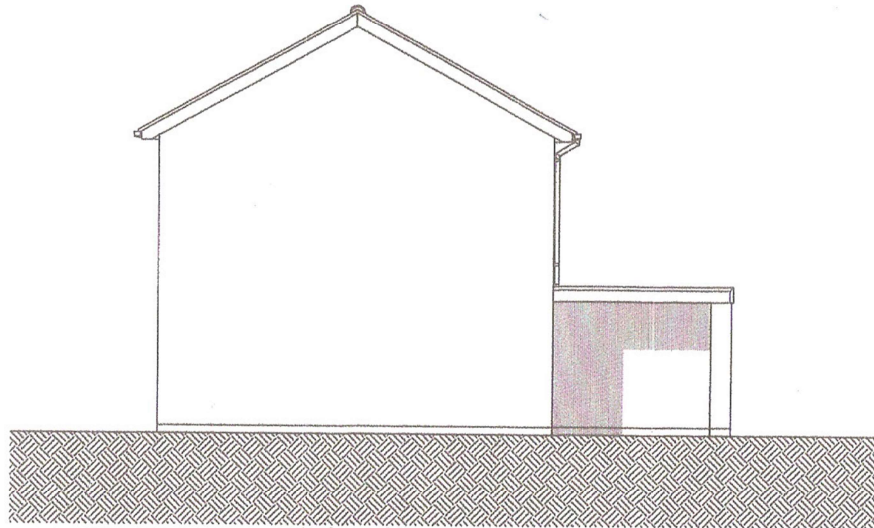
Submitted by C F Hancox. February 16<sup>th</sup> 2024. Address as above. Tel: 01562 753905.

Email: [chrishancox714@btinternet.com](mailto:chrishancox714@btinternet.com)

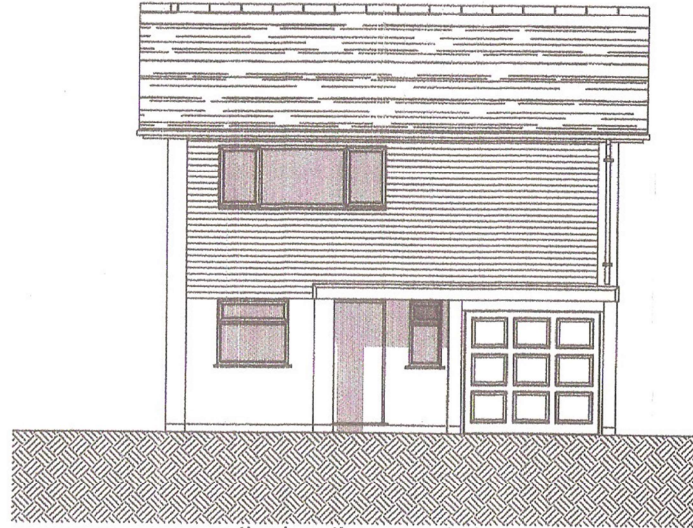
The first drawing, taken from drawing 06/2021/05a, and the second, taken from 06/2021/05d, show the house as existing.

The third drawing, taken from 06/2021/05a shows the front elevation, and the fifth drawing, being the extension plan, were taken from 06/2021/05c which was approved (Ref: 21/0698/HOU).

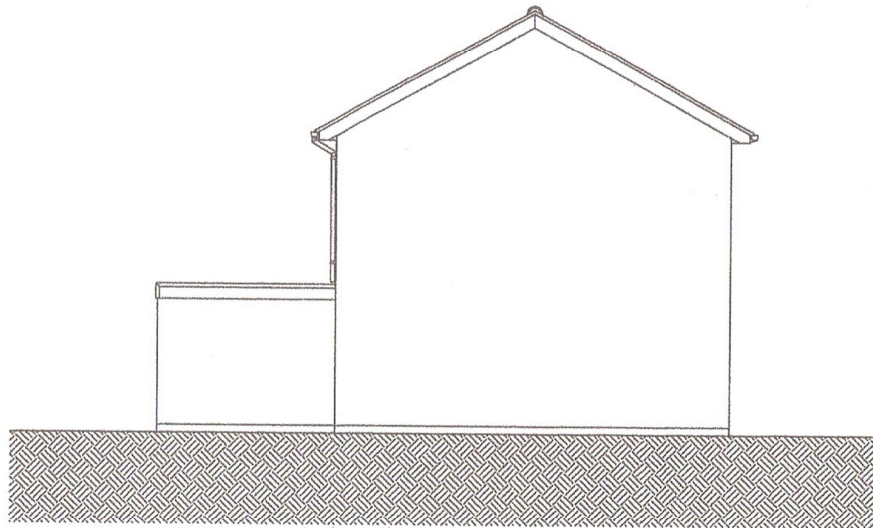
The fourth, (Drawing No. 02/24/a) shows the proposed amended front elevation, the sixth (Drawing No 02/24/b) shows the proposed amended extension plan, the seventh (Drawing No. 02/24/c) the proposed amended roof plan and the eighth (Drawing No. 02/24/d) the proposed amended foundation layout.



east elevation as existing 1:100



south elevation as existing 1:100



west elevation as existing 1:100

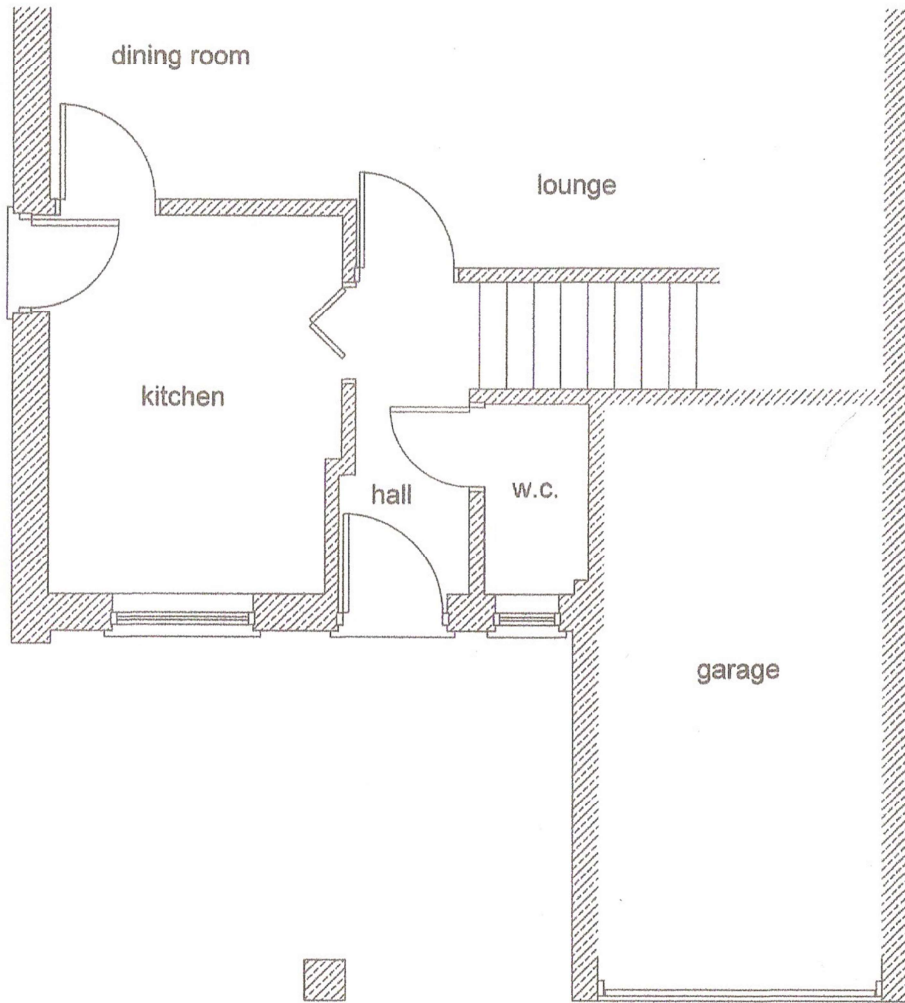
C. F. Hancox  
27 Sheraton Drive Kidderminster  
DY10 3QR. Tel: 01562 753905.

6th February 2024.

Taken from drawing 06/2021/05a  
dated Jun 21

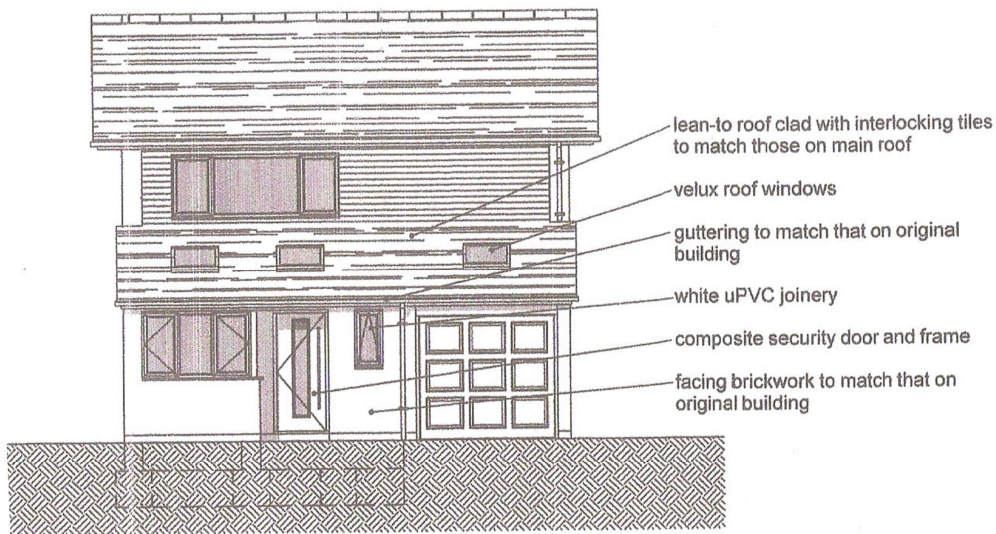
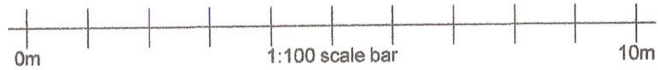
Scale 1:100

Approved Ref: 21/0698/HOU



As existing 1:50

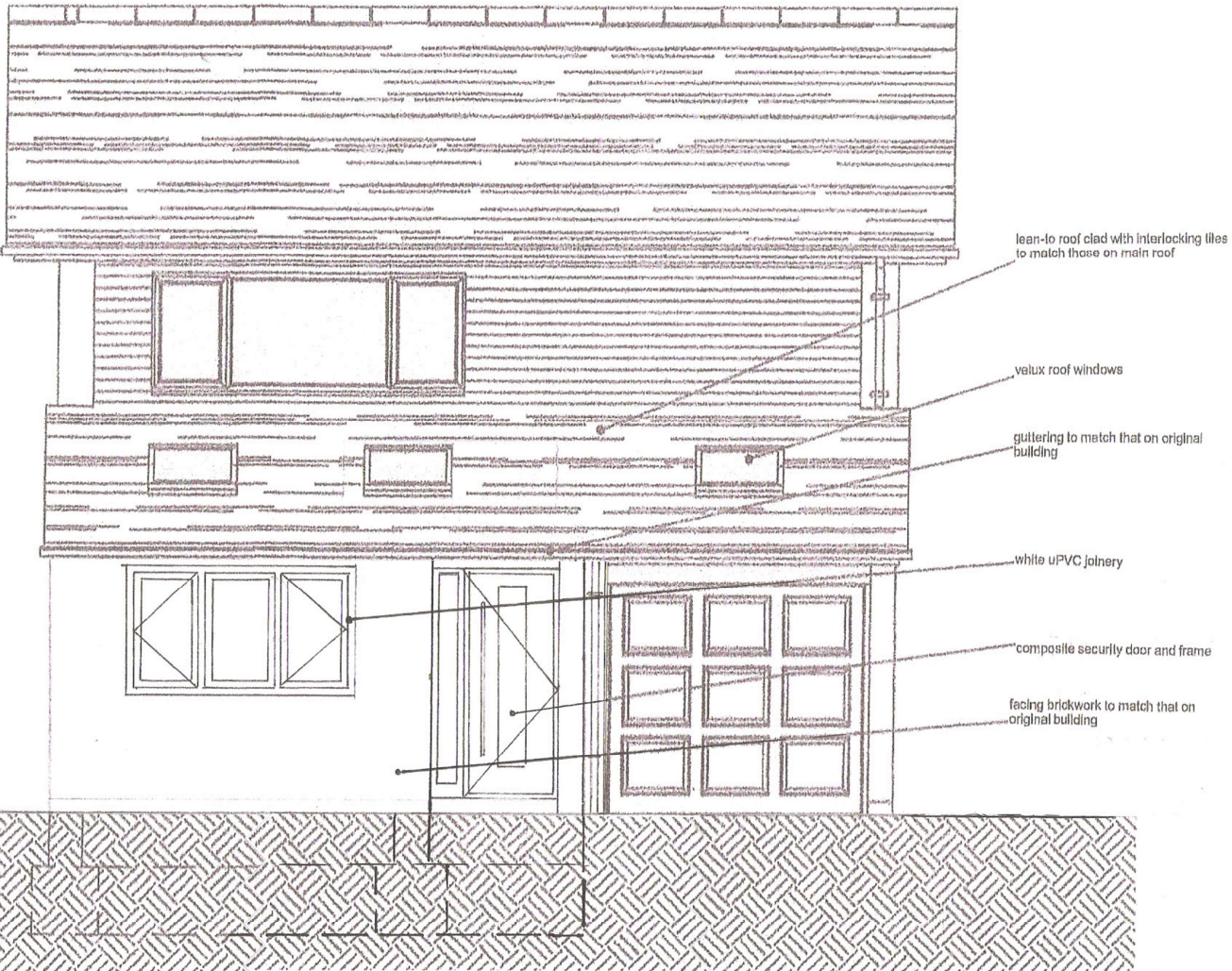
Taken from drawing 06/2021/05d  
Dated June 2021      Scale 1:50  
Approved Ref: 21/0698/HOU



south elevation as proposed 1:100

As per planning permission  
Application ref: 21/0698/HOU  
7th September 2021.

Taken from drawing 06/2021/05a  
Dated June 2021      Scale 1:100  
Approved Ref: 21/0698/HOU



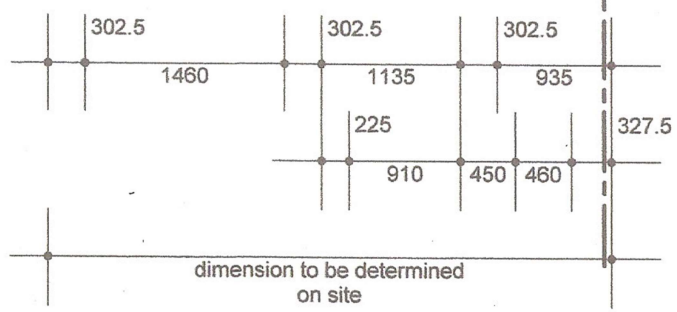
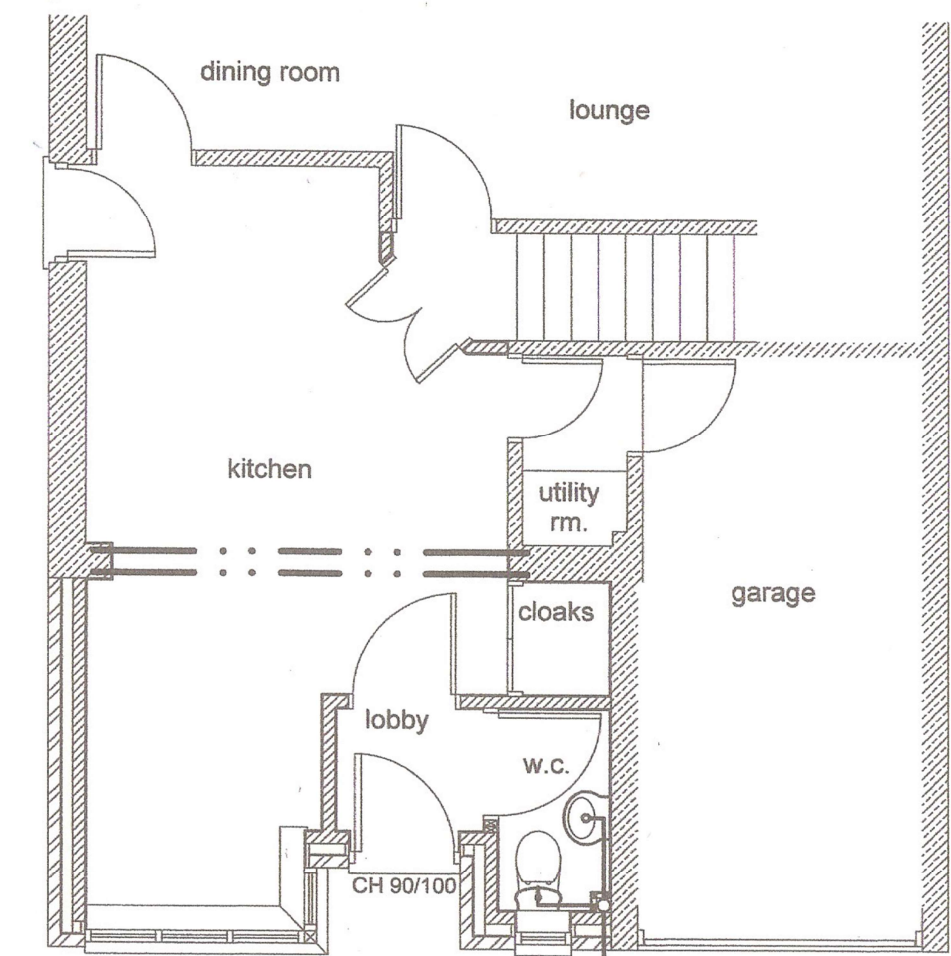
Proposed amended front elevation 1:50

February 6th 2024

**Proposed south elevation amendment.**

Scale 1:50

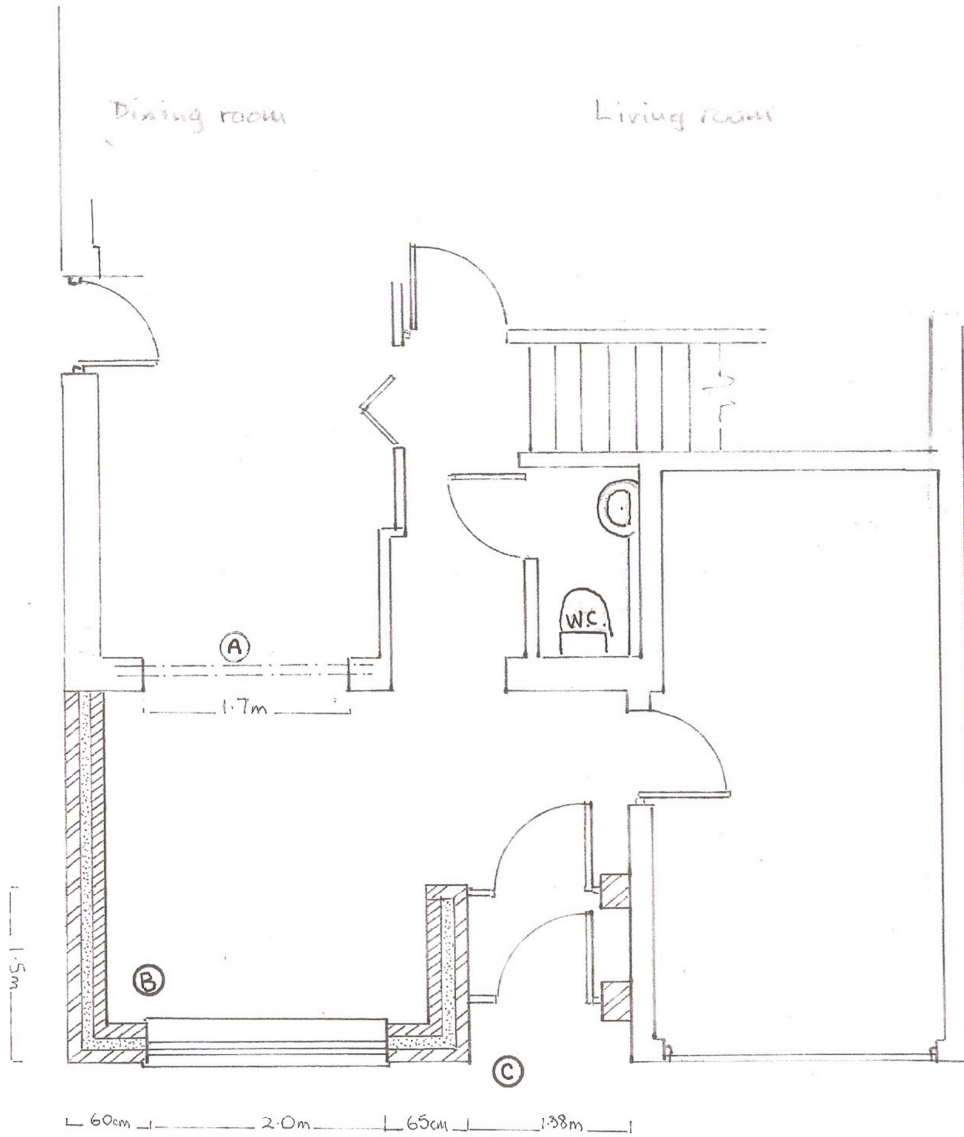
Drawing No. 02/24/a



1:50

Plan as approved  
 on 7th Sept 2021  
 App: 21/0698/HOU  
 See revised proposal.

Plan as approved Ref: 21/0698/HOU  
 Scale: 1:50  
 Taken from drawing 06/2021/05c



Proposed revised plan 1:50

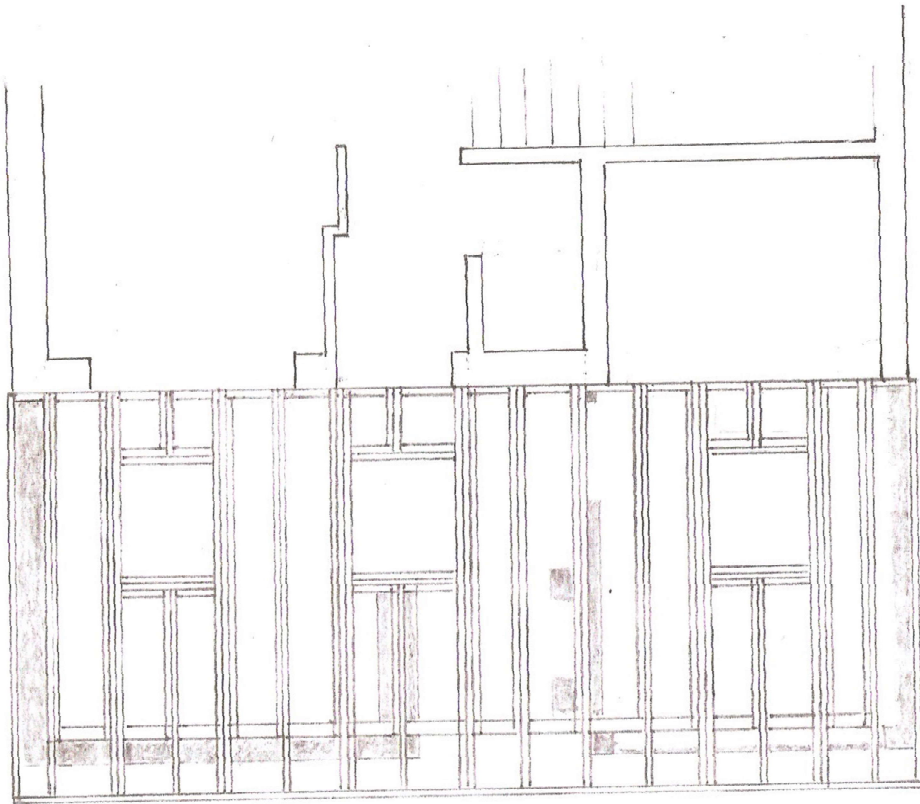
February 6th 2024

**Proposed amended plan. Scale 1:50**  
 Drawing No 02/24/b

The revised plan remains on exactly the same footprint as at that of 7<sup>th</sup> Sept 2021. However no structural alterations other than the opening in place of the kitchen window would be carried out to the existing house.

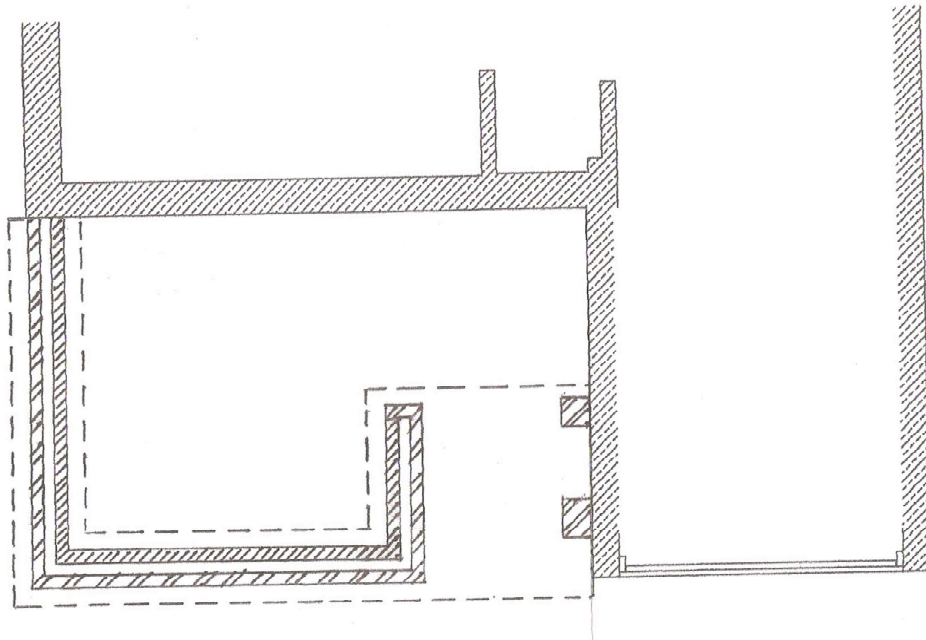
At point (A) the existing window aperture is opened out by 25cm on each side to provide a 1.7m walk through. At point (B) the window does not start immediately at the side wall. This provides 0.6m of wall at the front of the house on the west side of the window, providing strength and avoiding the need for a wind post. At point (C) the front door is positioned around 1.0m to the right of that shown on the south elevation of that approved on Sept 7<sup>th</sup> 2021. This also provides supporting wall between the window and the doorway.





Revised roof layout proposal 6th February 2024.

**Proposed amended roof plan.** Scale 1:50  
Drawing No. 02/24/c



proposed foundation layout 1:50

6th February 2024.

**Proposed amended foundation layout.**

Scale 1:50

Drawing No. 02/24/d