



25B MANOR ROAD, BARNET

DESIGN AND ACCESS STATEMENT

January 2024

CONTENTS

- 1.0 INTRODUCTION
- 2.0 THE SITE CONTEXT
- 3.0 USE
- 4.0 AMOUNT
- 5.0 APPEARANCE
- 6.0 LAYOUT AND ACCESSIBILITY
- 7.0 MASSING AND SCALE
- 8.0 LANDSCAPING
- 9.0 SUSTAINABILITY

1.0 INTRODUCTION

The following report has been prepared on behalf of Abbeytown Ltd, the purpose of this report is to support a full planning application for a single house residential development at 25b Manor Road, Barnet.



Street view showing the existing garage at No.25b. Looking East.

2.0 THE SITE - CONTEXT

LOCATION

25 Manor Road is situated in the London Borough Barnet. The site is within walking distance of the local high street (0.5 miles). The site's proximity also benefits from convenient access to nearby Barnet Park (0.4 miles). The site is not statutorily listed or within a local Conservation Area.



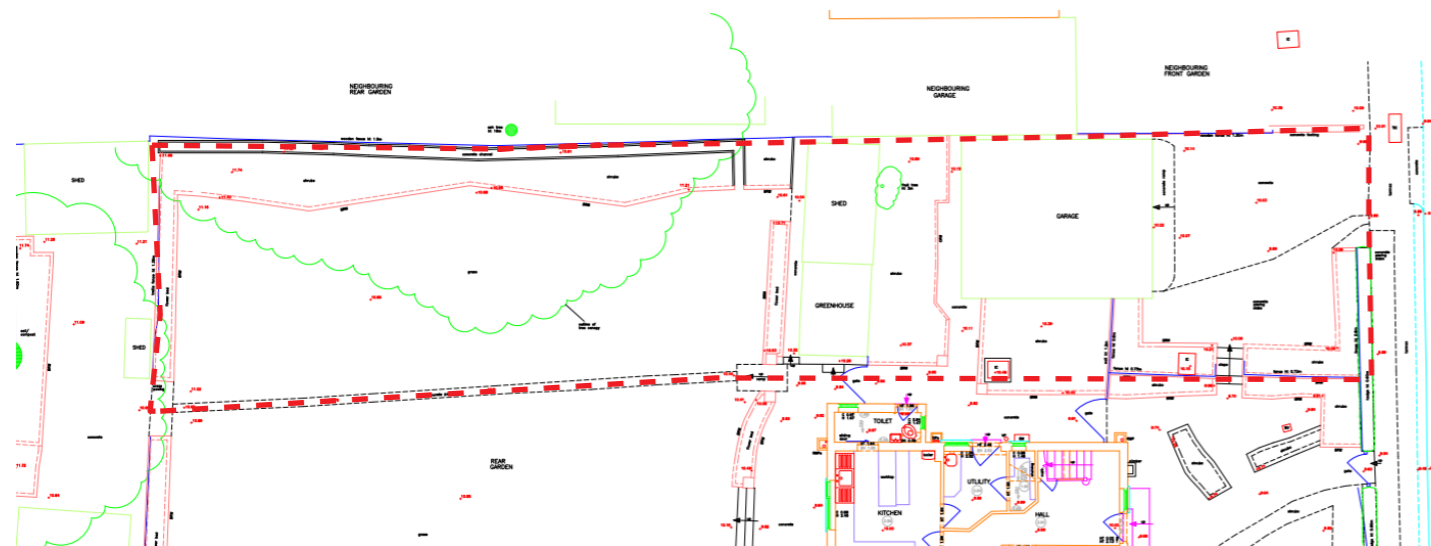
2.0 THE SITE - CONTEXT

NO.25B AND THE SURROUNDINGS

The site is situated between semi-detached dwellings No.25 and 26. The site is currently occupied by an existing garage (proposed No.25b) previously serving No.25. As a detached building, the proposed scheme has independence from it's adjacent neighbours but remains in keeping with the immediate context.

The existing garage, along with its neighbouring dwelling houses, are defined by the landscaping and changes in level which serve as clear indicators of ownership. The existing garage and its adjacent properties are considerably set back from the road, with hardstanding frontage and low level foliage. The rear of the site has an enclosed soft landscaped garden. The exiting front elevation faces East.

The surrounding area is predominately 2-3 storey mixed residential buildings. The local architectural vernacular is an eclectic mix of styles and eras with facing brick acting as the common denominator between the varying styles.



Existing site topographical survey



Aerial view showing the existing garage at 25b Manor Road at the front of the site. Looking North/East



Aerial view showing the existing garage at 25b Manor Road at the rear of the site. Looking South/West

3.0 USE

In order to assess the suitability of the development to the rear of 25b Manor Road.
The proposed areas exceed the London Plan requirements and comfortably meet the local plan requirements.

Current:
The existing garage on site is to be demolished.

Proposed:
25b Manor Road is to be classified as C3(a) – Dwelling house
Single dwelling 4 bedroom residence
Gross Internal Area 195m²

Please refer to the planning statement that accompanies this Design and Access Statement.

LONDON PLAN REQUIREMENT

Table 1 - Minimum gross internal floor areas and storage (m²)

Number of bedrooms(b)	Number of bed spaces (persons)	1 storey dwellings	2 storey dwellings	3 storey dwellings	Built-in storage
1b	1p	39 (37) *			1.0
	2p	50	58		1.5
2b	3p	61	70		2.0
	4p	70	79		
3b	4p	74	84	90	2.5
	5p	86	93	99	
	6p	95	102	108	
4b	5p	90	97	103	3.0
	6p	99	106	112	
	7p	108	115	121	
	8p	117	124	130	
5b	6p	103	110	116	3.5
	7p	112	119	125	
	8p	121	128	134	
6b	7p	116	123	129	4.0
	8p	125	132	138	

4.0 AMOUNT

The proposed scheme seeks to provide one single occupancy new build dwelling with 4 bedrooms and 2 reception rooms.

The proposal footprint is considered similar to the neighbouring properties and the dwelling is arranged over three stories with a single master bedroom at the top storey set into the roof with a rear dormer. Due consideration has been given to neighbours rights to light - please refer to Herrington’s daylight report.

The dwelling has off road parking at the front of the house and space for bin storage within to the front private garden entrance.

Due to the low number of occupants in a single house, this is not considered a threat towards existing public infrastructure or local amenities. We believe that the presented design will be a positive addition to a well established and flourishing local community.

The dwelling exceeds the following design guidance: Emerging London Plan, Nationally Prescribed Space Standards, London Housing Design Guide.

Table 2.3: Outdoor Amenity Space Requirements	Development Scale
For Flats: • 5 m ² of space per habitable room.	Minor, Major and Large scale
For Houses: • 40 m ² of space for up to four habitable rooms • 55 m ² of space for up to five habitable rooms • 70 m ² of space for up to six habitable rooms • 85 m ² of space for up to seven or more habitable rooms	Minor, Major and Large scale

5.0 APPEARANCE

The street facing front elevation has an expressed bay window informed by the local vernacular, such as the adjacent properties at no.24 & no.25. The roof form is also designed to reference the architectural language to neighbouring properties in the immediate surroundings. The pitched roof mirrors that of its immediate neighbour, and demonstrates a subtle increase in ridge height, highlighting the natural sloped progression of the topography. The street elevation is in sympathy with the other properties along Manor Road. Window proportion and fenestration will allow ample daylight and will be complementary to the adjacent buildings.

The front elevation is predominantly brick with slate tile roof, as demonstrated by many of the properties along Manor Road. This material language also wraps round the building to the southern elevation. The rear elevation includes facing brick and roof slate. The rear elevation features similar glazing but with more generous openings due to a more private outlook.

Daylight levels and neighbour overlooking concerns have been considered throughout design. For healthy levels of daylight a provision of taller glazing along the rear facade has been included to optimise natural afternoon light and the views over the garden. Whilst terraces have been limited in width and overbearing to reduce undue overlooking. Windows on the side elevation are frosted to protect against overlooking with no.25, this obscured glazing offers natural light to the communal stair.

The proposed design includes a high number of contemporary design gestures. Such as: high performance PPC aluminium windows and generous brick wall openings to open up the elevation and provide healthy levels of internal lighting.

6.0 LAYOUT AND ACCESSIBILITY

Dwelling Orientation:

The site is orientated along an East / West axis. The property's primary / street facing elevation is located on the east face of the building and is set back from the adjacent semi detached house in order appear less prominent.

Layout

The layout of the house is conventional, in that a reception lounge position is arranged adjacent to the entrance and hall, leading to an open plan kitchen and living area to the rear opening out onto a private patio. A utility, store and accessible toilet are accessed off the hallway. Stairs are positioned parallel to the hall and lead up to the first floor bedrooms and bathroom, two of which having ensuite and dressing areas. The floor above benefits from a large master bedroom, ensuite and storage area under a pitched roof to the front and a dormer to the rear. The size and position of the dormer has been arranged to negate impact to the neighbouring properties.

Accessibility:

Given the small scale of this 3 storey property we foresee no requirement to install a lift. Instead it is anticipated that a prospective wheelchair visitor would have access to the ground floor area and accessible toilet. Level thresholds and a provision for easy-open doors will be provided withing the main entrance, with further level thresholds and wheelchair compliant door widths being provided across the entire ground floor.

Circulation and Vertical Access:

The stair will provide vertical circulation to first and second floors as described in AD Part K - this ensures that the stair pitch, rise and goings are moderate and easy to climb.

Security:

The property is substantially set back from the pavement and road, in-line with its neighbouring properties no.25 & no.27. Despite this position in its boundary, the property has a clear line of sight to the road and as a result will be

passively well protected. There are no rites of access for the general public across the site which significantly reduces any risk of loitering. Where the property shares its boundary with no.25 both residents will use this path for their respective garden / bike store access. Access to the garden space is provided by a gap between the properties.

Emergency services:

Emergency services will have access to the building directly from Manor Road. The proposed development has an accessible perimeter in excess of the minimum 15%. Dwelling entrance doors will be in compliance with Part M, meaning that the door width will be greater than 750mm, the minimum required by the Fire Brigade. As the proposed building is well below 18m tall, firefighting shafts or firefighting stairs are not required. For other emergency vehicles such as Ambulance and Police, Loading / Parking is located within 2m of the building.

6.0 LAYOUT

BLOCK PLAN

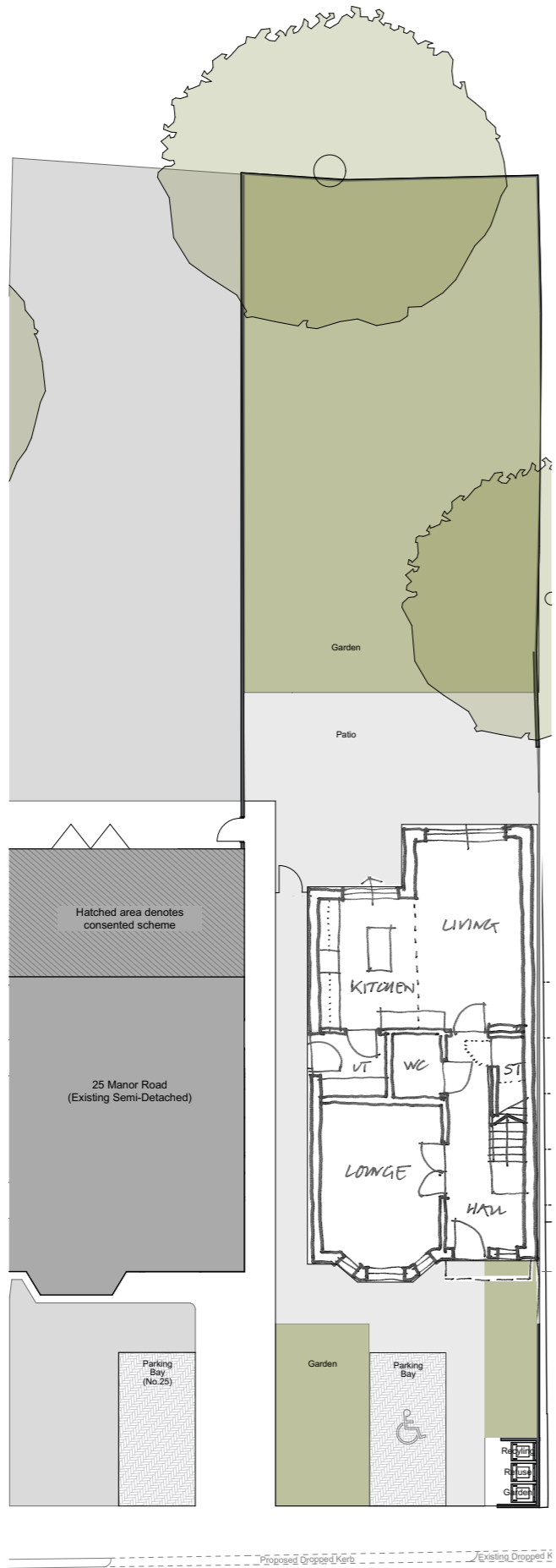


Existing Block Plan

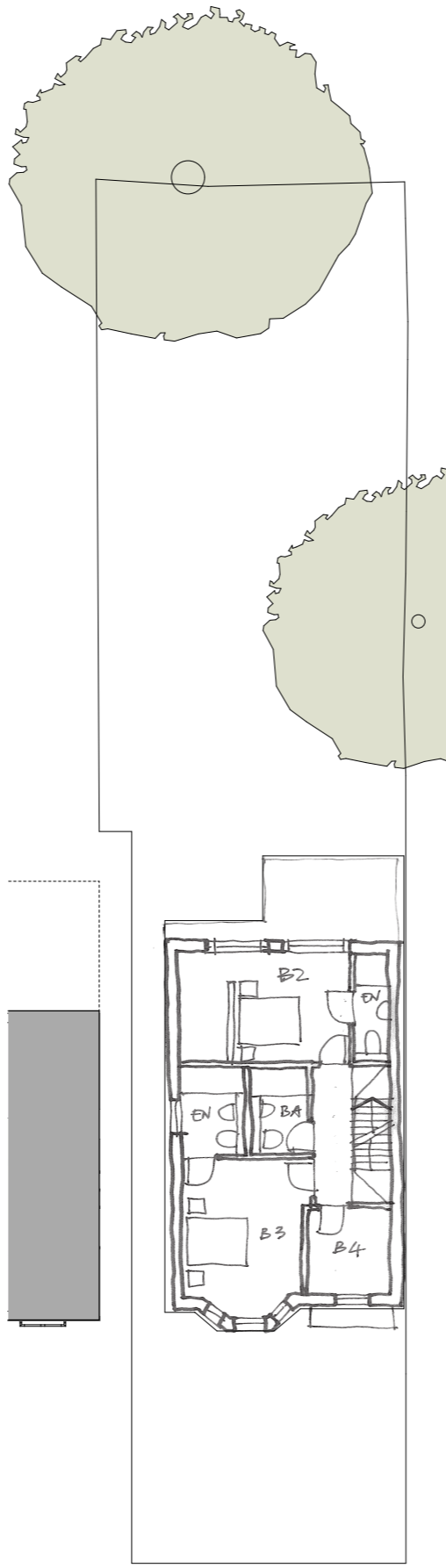


Proposed Block Plan

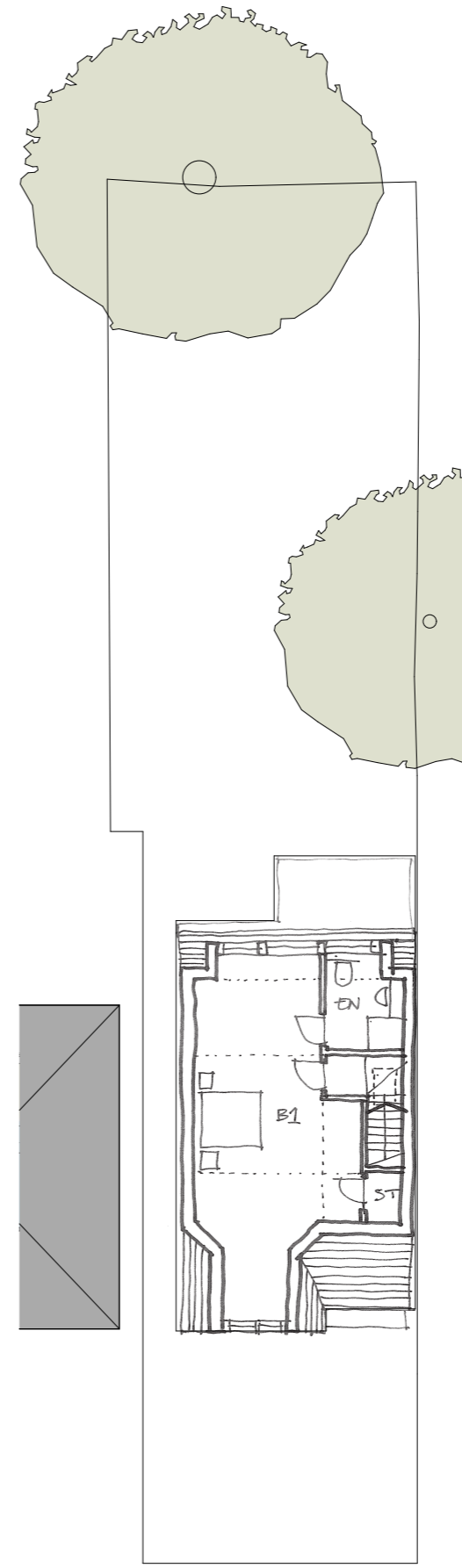
6.0 LAYOUT
PROPOSED FLOOR PLANS



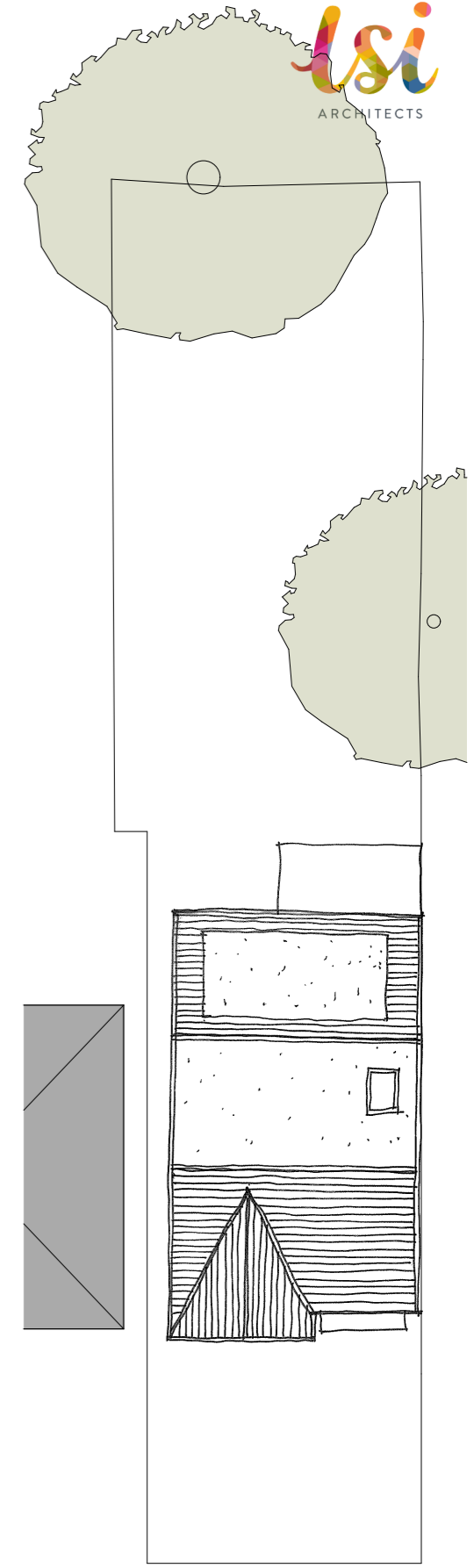
Proposed Ground Floor Layout



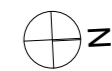
Proposed First Floor Layout



Proposed Second Floor Layout



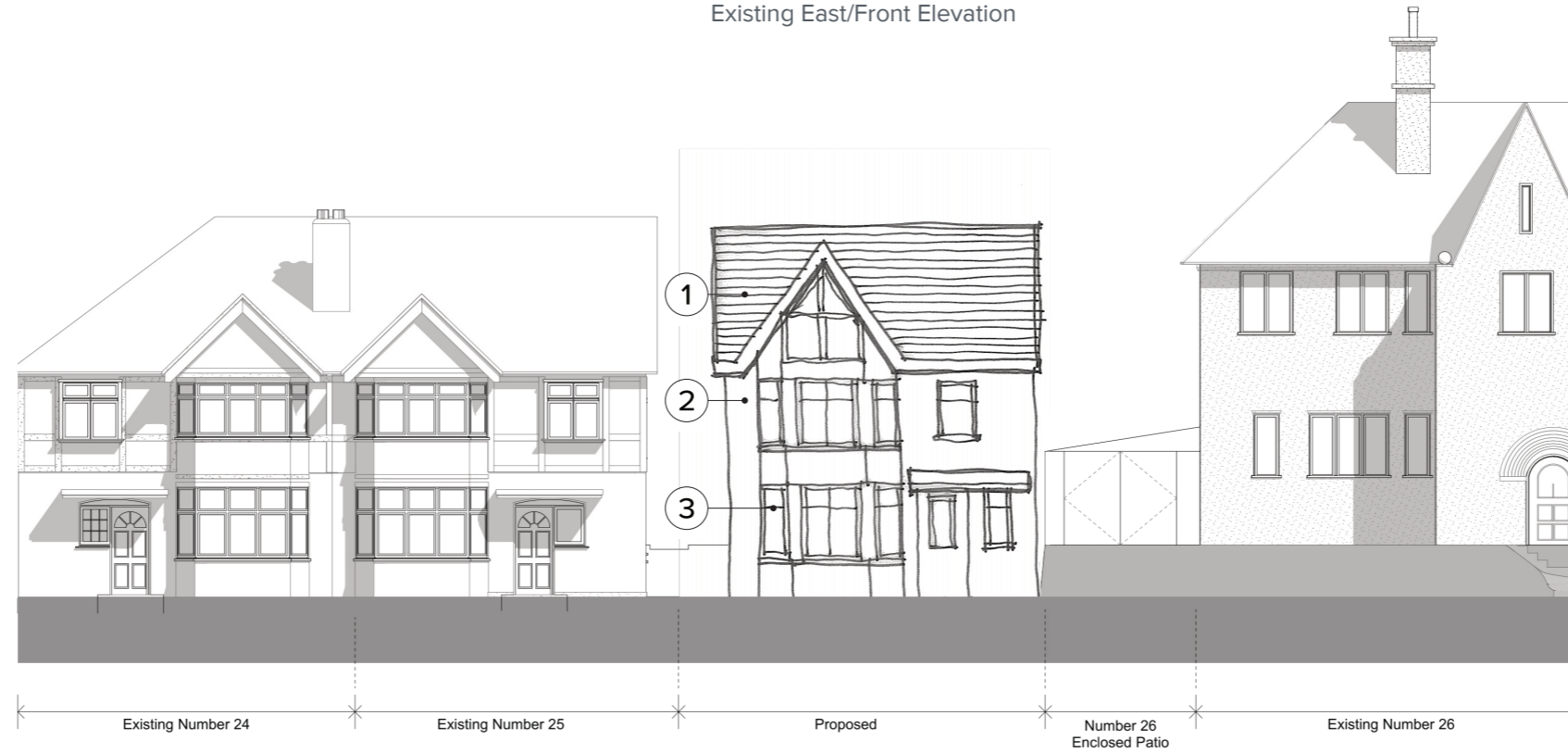
Proposed Roof Plan



7.0 MASSING AND SCALE
EXISTING AND PROPOSED ELEVATIONS



Existing East/Front Elevation



Proposed East/Front Elevation

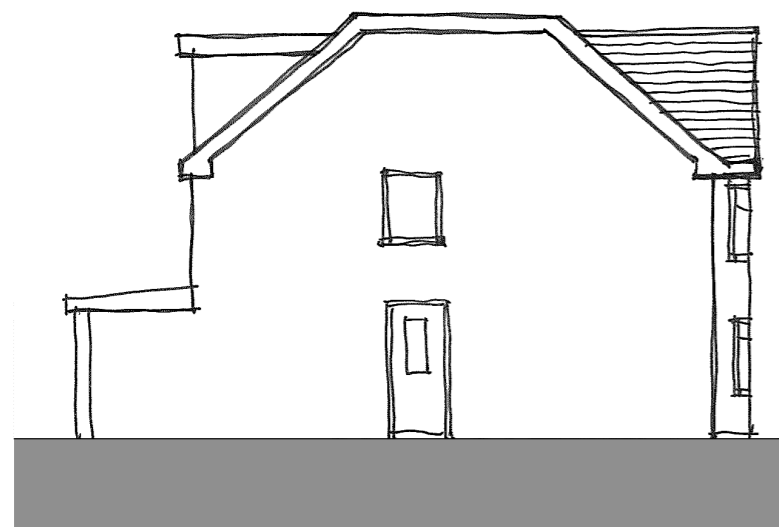
7.0 MASSING AND SCALE

PROPOSED ELEVATIONS



- ① Roof Slate
- ② Facing Brick
- ③ White Window Frame

Proposed East/Front Elevation



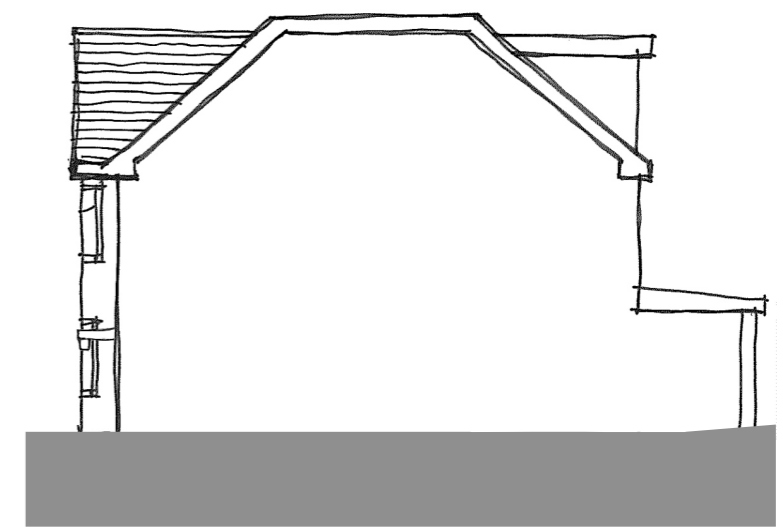
Elevation E-02

Proposed South Elevation



Elevation E-03

Proposed West/Rear Elevation



Elevation E-04

Proposed North Elevation

7.0 MASSING AND SCALE
PROPOSED SECTION



Section S-01

Proposed South/Side Section

8.0 LANDSCAPING

PRIVATE AND COMMUNAL EXTERNAL SPACE AND PLANTING

The existing plot has a small amount of overgrown shrubbery lining the pavement to the east elevation. The proposed property includes a provision of greenery but will be relocated closer to the face of the building. Soft landscaping and low level shrubs will be used to frame the entrance of the property.

The front of the site will have one parking space on permeable-hardstanding. This hardstanding will extend across the front of the property to the bin store. Any permeable surfaces will act as water attenuation and reduce surface water run-off.

The rear of the property is mainly soft landscaped with a patio area accessed from the ground floor. The garden has provision for raised planters, encouraging enjoyment of the green space whilst once again maximising water attenuation.



9.0 SUSTAINABILITY

MEASURES AND STRATEGIES TO LOWER CARBON EMISSIONS

Despite the proposed development being small in scale, the design addresses various means by which its carbon footprint can be minimised as much as possible.

As the level of detail develops towards construction, the design team will aid the contractor and client in delivering an ethically and sustainability sourced building by reviewing manufactures information and QA procedures.

During the construction process the main contractor will have strategies in place in order to reduce waste as much as possible. Materials will be locally sourced where possible.

To date, the design has focused on the following high-level strategies that all contribute towards a lowering of carbon emissions:

- Reduced heat loss via enhanced air leakage standards
- High levels of insulation
- Low energy light fittings
- Reduced flow rate water fixtures
- Recycling and Waste management

