

Heritage Assessment: A Desk-Based Impact Assessment

**For a proposed ground floor rear extension at 20 Lydon Road, Lambeth,
London, SW4 0HW**

Report Date: 19 February 2024

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We disclaim any responsibility to the client and others in respect of any matters outside the scope of the above.

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No responsibility is accepted to others.

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1 INTRODUCTION

1.1 INSTRUCTION

1.1.1 Cursus Archaeology Ltd was commissioned by Armstrong Simmonds Architects Ltd on behalf of the property owner, to undertake this Heritage Statement prior to undertaking the proposed works to erect a ground floor single storey rear extension, and alterations to the side and rear fenestration, following demolition of the existing rear extension; application No 24/00189/FUL, at (NGR) TQ 29114 75700.

1.2 SITE LOCATION AND TOPOGRAPHY

1.2.1 The building lies at a height of approximately 17m AOD, is situated at the S side of the Thames, Lambeth South London, within the Clapham Town Ward, with Clapham Common nearby to the S. The building is on the N side of Lydon Rd. The ground is flat.

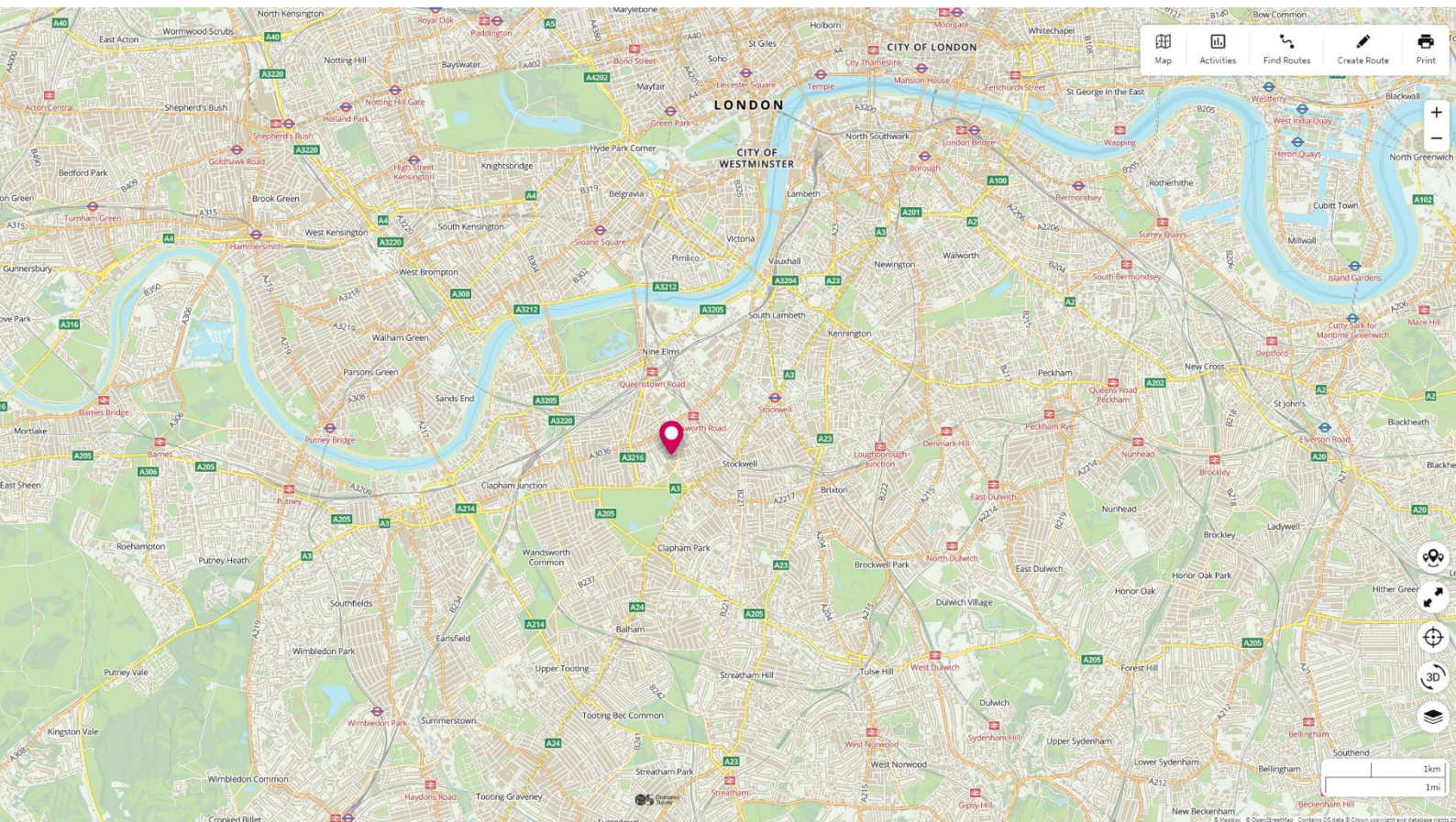
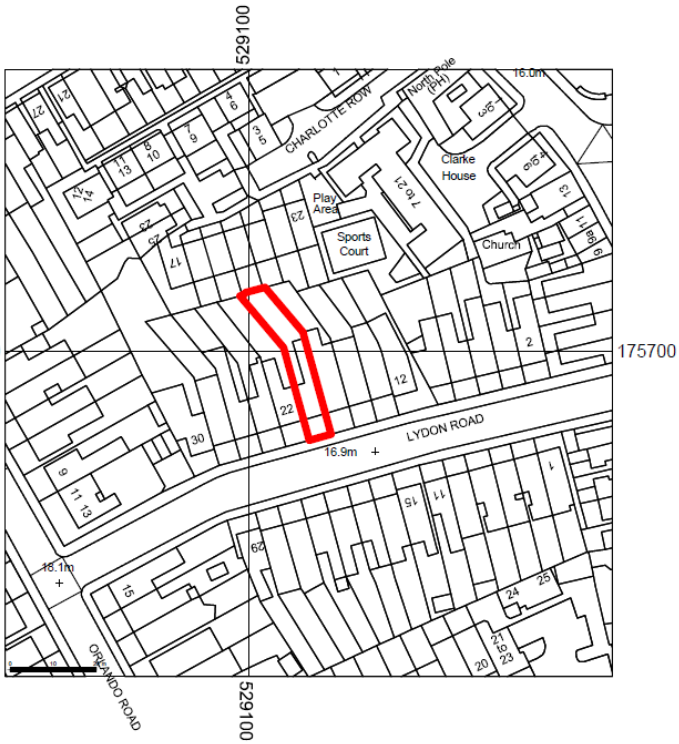
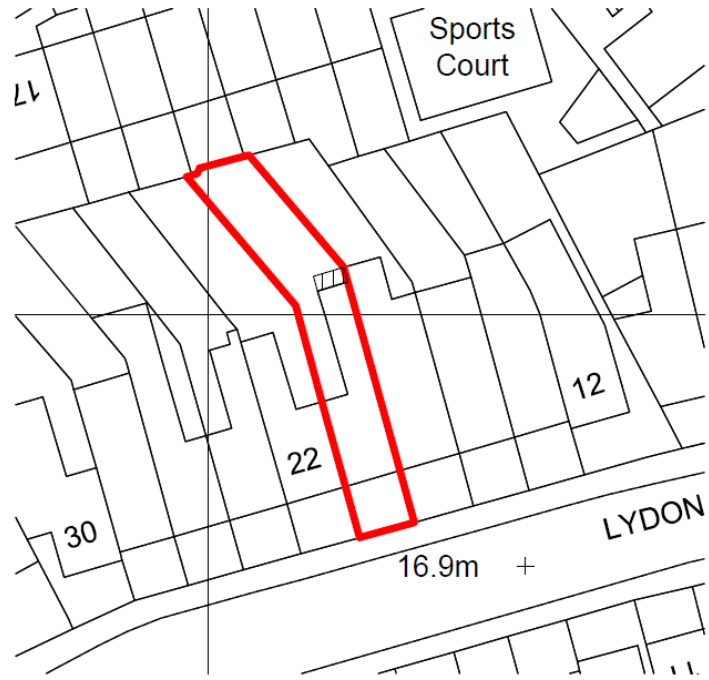


Figure 1 Site location



Existing Location Plan (1:1250)



Proposed Block Plan (1:500)

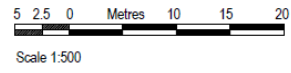


Figure 2 Site red line block plans PDA

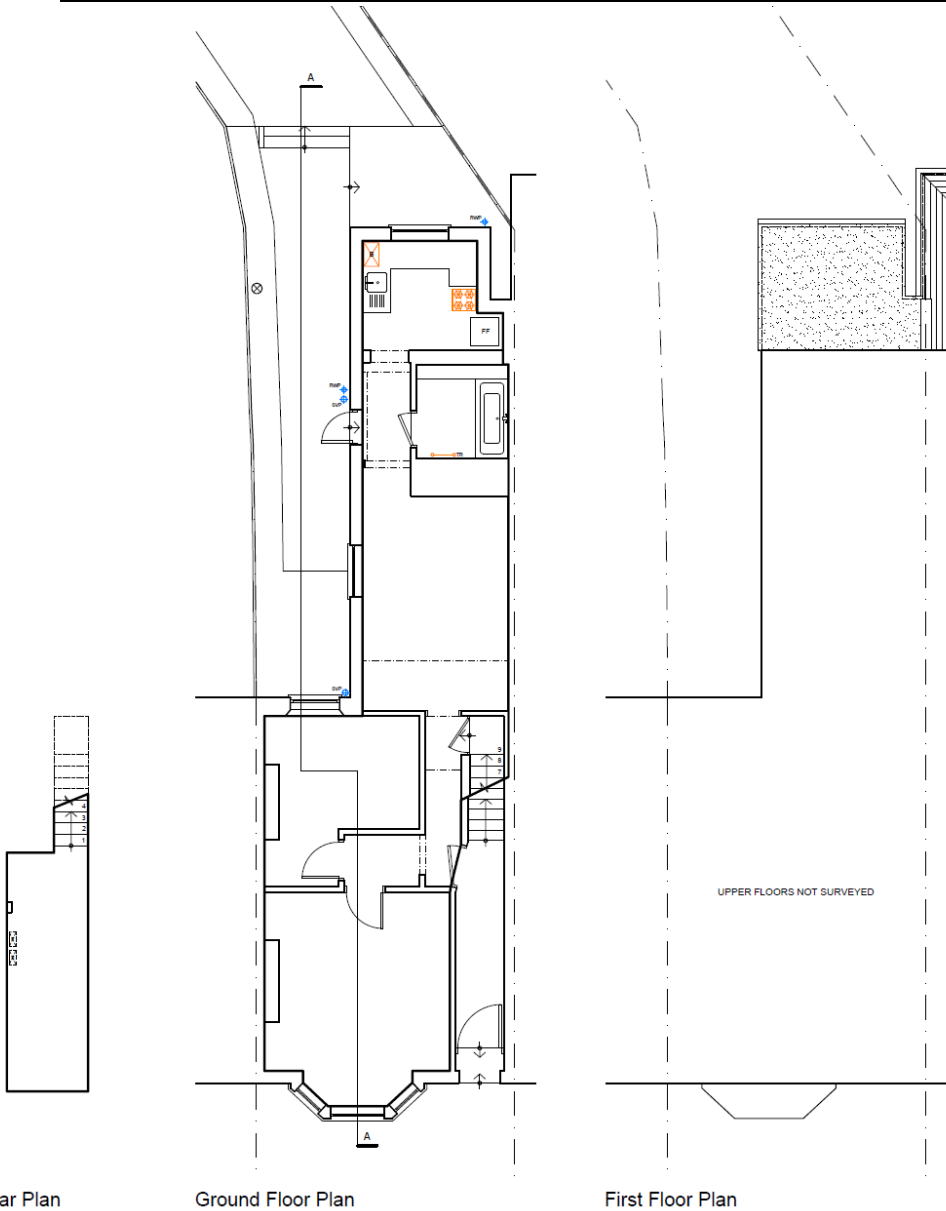
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NB. Any dims provided in brackets are indicative only - setting out is likely to be determined by other criteria.



NOT FOR CONSTRUCTION



Rev	Date	Revision
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Client:
Mr Lloyd-seed

Project:
20a Lydon Road
SW4 0HW

Drawing:
Cellar, Ground, First Floor Plans
EXISTING

Armstrong Simmonds Architects

Unit 23, Battersea Business Centre, 99-109
Lavender Hill, London, SW11 5QL

t: 0207 228 1324
e: projects@as-architects.co.uk

Drawing Number:
1106_20aLR_X001

Revision:
*

Scale:
1:100 @A3

Date:
Mar 2023

Drawn:
AM

Cellar Plan

Ground Floor Plan

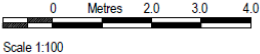
First Floor Plan

Figure 3 Existing floor plans

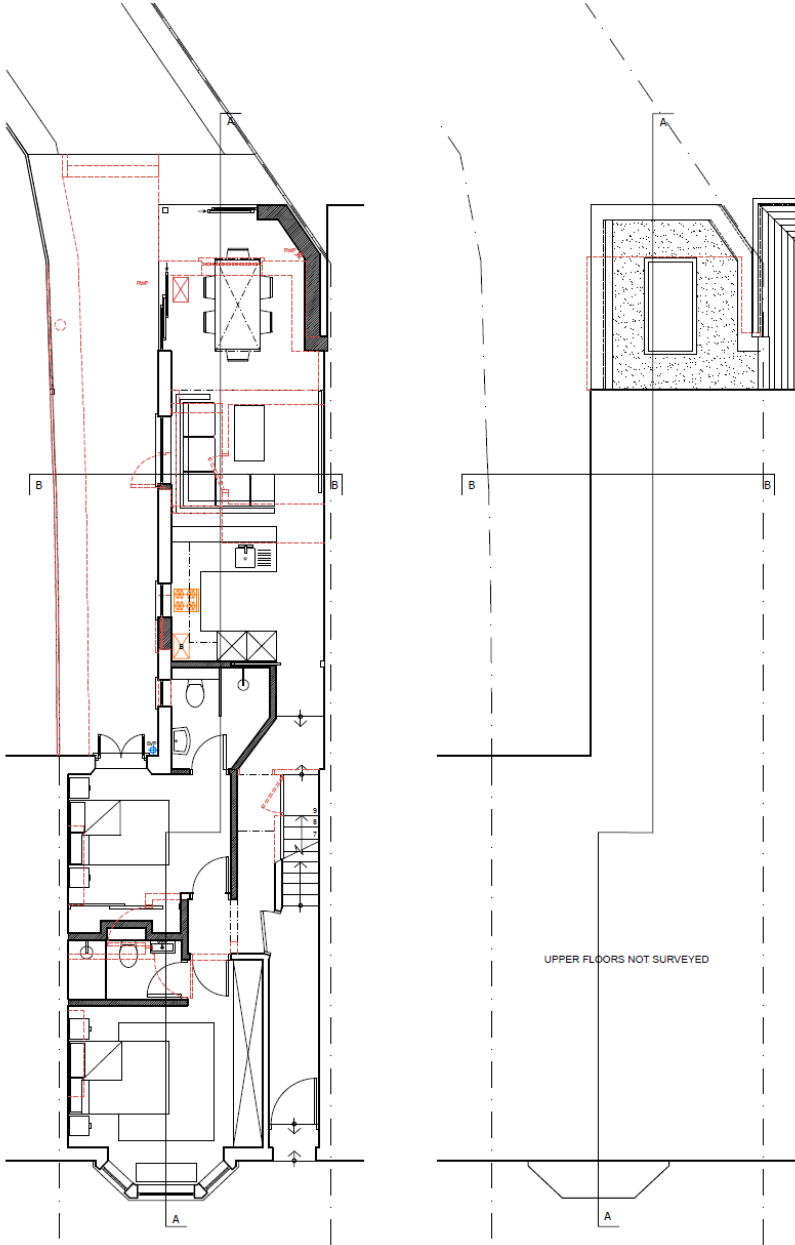
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Ground Floor Plan

First Floor Plan

Rev	Date	Revision
Client: Mr Lloyd-seed		
Project: 20a Lydon Road SW4 0HW		
Drawing: Ground Floor & First Floor Plans PROPOSED		
Armstrong Simmonds Architects		
Unit 23, Battersea Business Centre, 99-109 Lavender Hill, London, SW11 5QL		
t: 0207 228 1324 e: projects@as-architects.co.uk		
Drawing Number: 1106_20aLR_D101		Revision: 1
Scale: 1:100 @A3	Date: Jan 2024	Drawn: LD

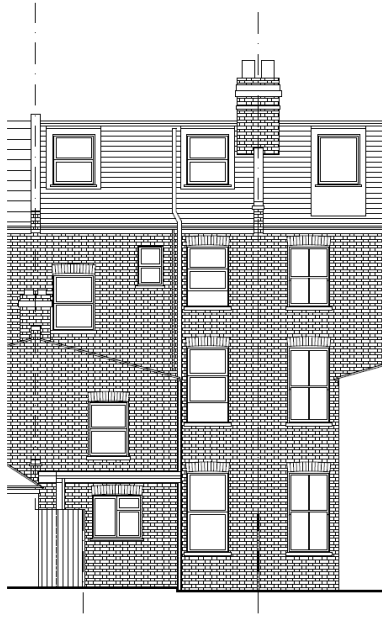
Figure 4 Proposed floor plans

verified on site and contractors / sub-contractors who follow them do so at their own risk.

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Rear Elevation



Section AA

Rev	Date	Revision

Client: Mr Lloyd-seed

Project: 20a Lydon Road SW4 0HW

Drawing: Rear Elevation & Section AA EXISTING

Armstrong Simmonds Architects

Unit 23, Battersea Business Centre, 99-109 Lavender Hill, London, SW11 5QL

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e: projects@as-architects.co.uk

Drawing Number: 1106_20aLR_X001

Revision: 1

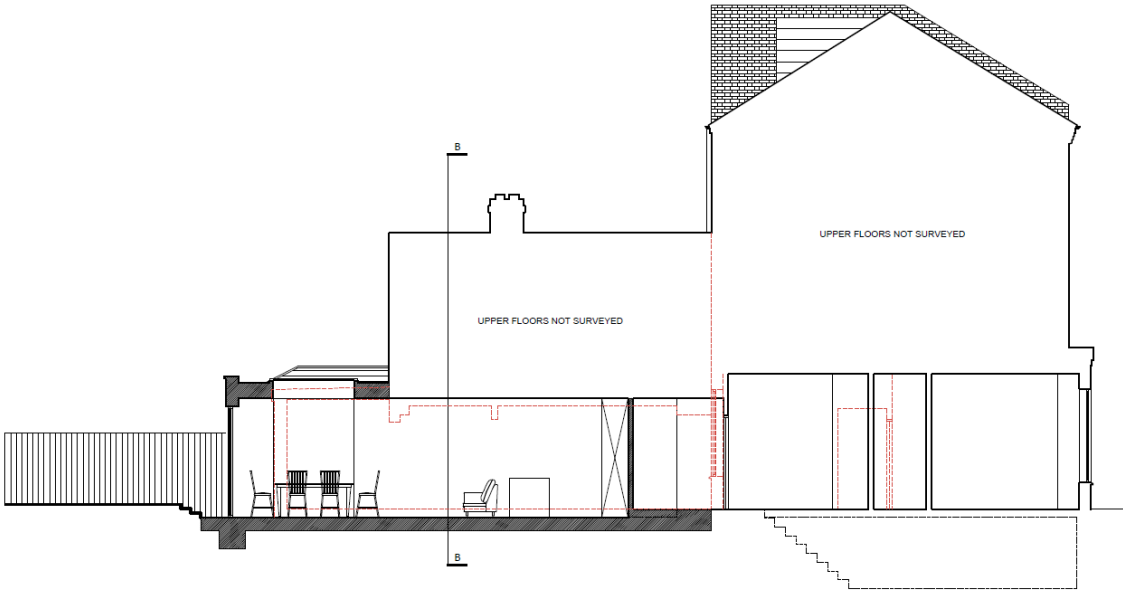
Scale: 1:100 @A3 Date: Mar 2023 Drawn: AM

Figure 5 Existing rear elevation and side elevation/section looking E

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Section AA

Figure 6 Section of proposed, looking E

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Client: Mr Lloyd-seed		
Project: 20a Lydon Road SW4 0HW		
Drawing: Section AA PROPOSED		
Armstrong Simmonds Architects		
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t: 0207 228 1524 e: projects@as-architects.co.uk		

Drawing Number: 1106_20aLR_D102	Revision: 1
Scale: 1:100 @A3	Date: Jan 2024
	Drawn: LD

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consent of Armstrong Simmonds Architects

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NB. Any dims provided in brackets are indicative only - setting out is likely to be determined by other criteria.



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Section BB

Rear Elevation

Rev	Date	Revision
Client: Mr Lloyd-seed		
Project: 20a Lydon Road SW4 0HW		
Drawing: Section BB & Rear Elevation PROPOSED		
Armstrong Simmonds Architects		
Unit 23, Battersea Business Centre, 99-109 Lavender Hill, London, SW11 5QL		
t: 0207 228 1324 e: projects@as-architects.co.uk		

Drawing Number: 1106_20aLR_D103	Revision: *
Scale: 1:100 @A3	Date: Jan 2024
	Drawn: LD

Figure 7 Proposed rear elevation



Figure 8 APA in which site exists, which is the site of the medieval village centre



Figure 9 Nearby heritage assets identified in the HER search

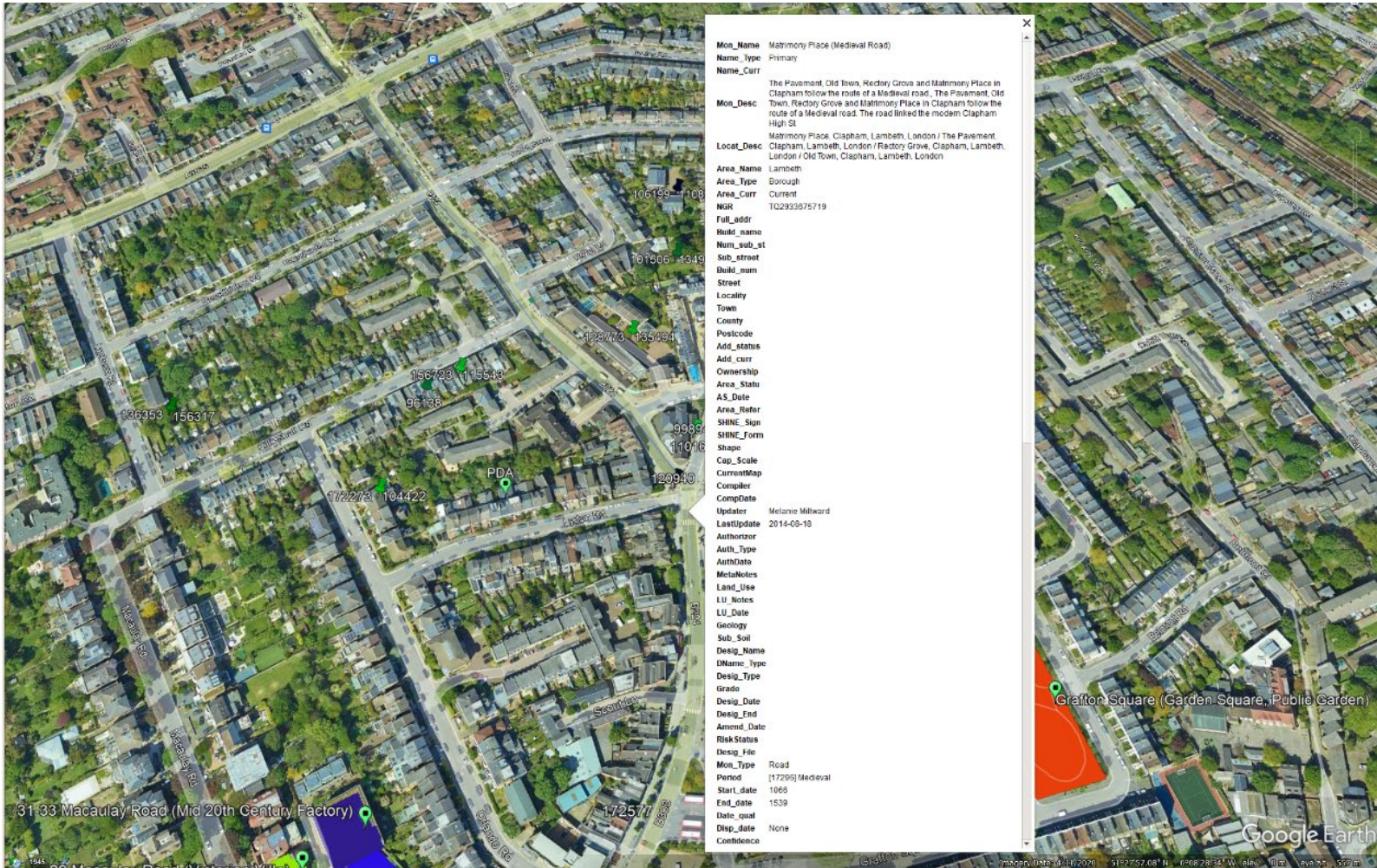


Figure 10 Medieval road (Matrimony Place) now B224

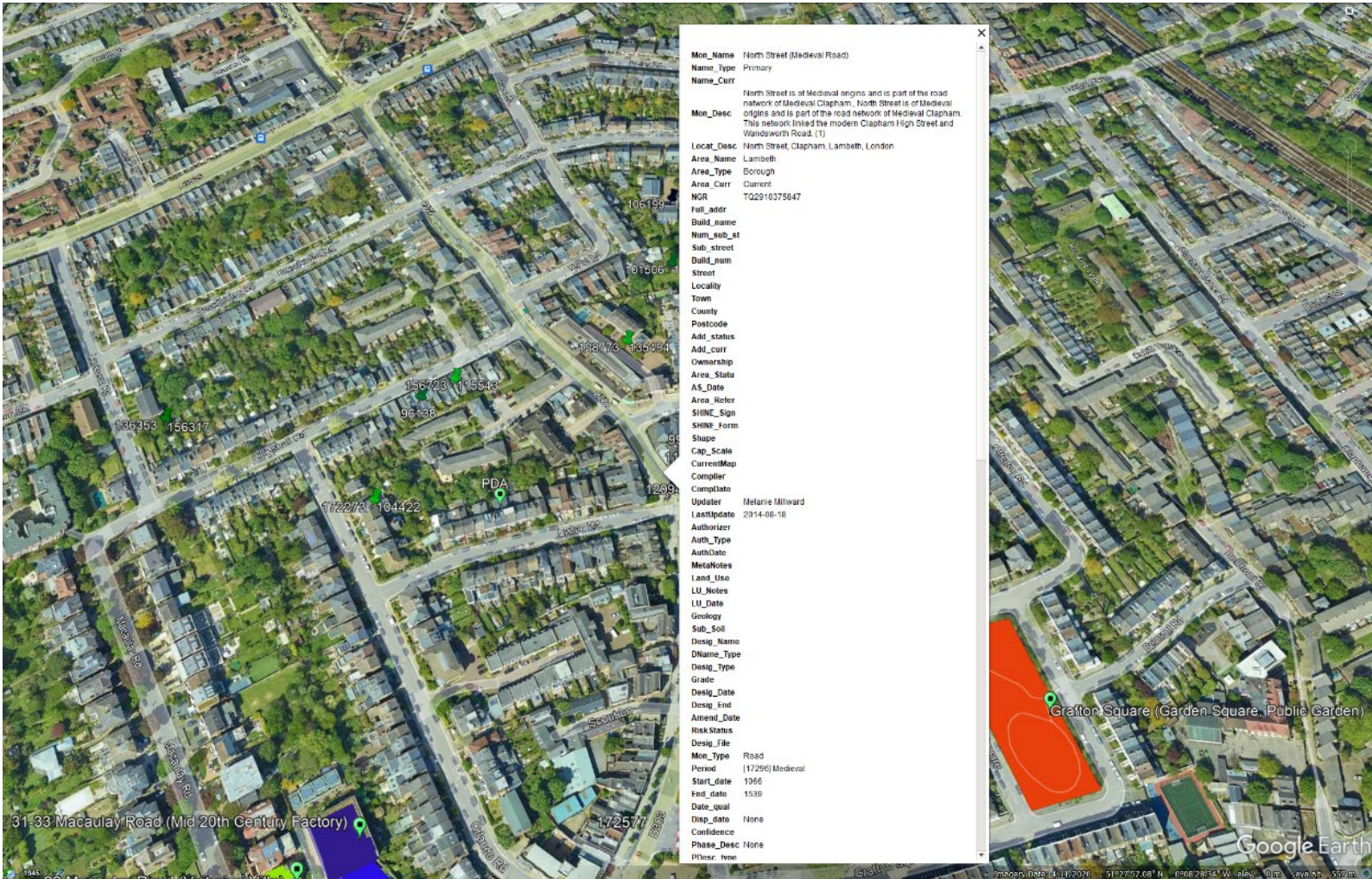
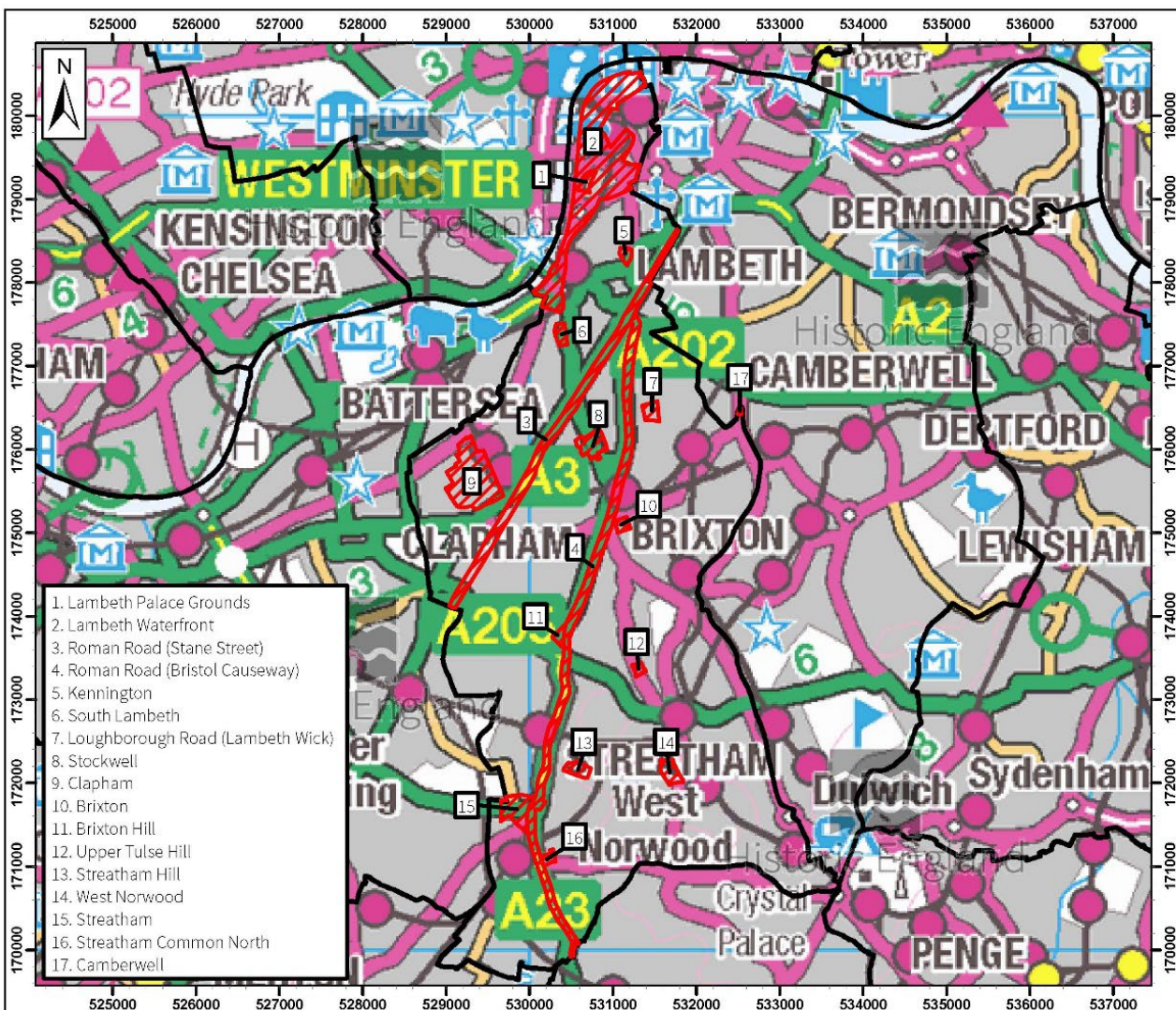



Figure 11 Medieval Rd North St



1. Lambeth Palace Grounds
2. Lambeth Waterfront
3. Roman Road (Stane Street)
4. Roman Road (Bristol Causeway)
5. Kennington
6. South Lambeth
7. Loughborough Road (Lambeth Wick)
8. Stockwell
9. Clapham
10. Brixton
11. Brixton Hill
12. Upper Tulse Hill
13. Streatham Hill
14. West Norwood
15. Streatham
16. Streatham Common North
17. Camberwell


Archaeological Priority Areas in Lambeth

 Archaeological Priority Area

Scale (at A4): 1:60,000

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Note: Any listed building information shown on this map extract is provided solely to indicate the location of the listed building; it does not attempt to indicate the curage or the full extent of the listing(s). Any archaeological or listed building information shown on this map is for illustrative purposes only and should not be used for any other purpose without the permission of Historic England.

 Historic England

1 Waterhouse Square, 138-142 Holborn,
London EC1N 2ST
Tel: 020 7973 3000 Fax: 020 7973 3061
www.historicengland.org.uk

Figure 12 APAs in Lambeth Borough

1.3 PURPOSE AND SCOPE

- 1.3.1 The purpose of this desk-based study is to provide sufficient understanding for the Local Planning Authority to validate the planning application and assess the Proposed Development in relation to the likely effects on any designated and non-designated heritage assets within the setting, or views of the heritage asset in question, including the property itself, to the extent that is proportionate to the potential magnitude of impacts and level of effects of the Proposed Development.
- 1.3.2 The site, although located in Lambeth District, the PDA is located within the of the Archaeological Priority Area (APA) of Clapham. There are 17 APAs in the District in total. The site is within the Conservation Area of Clapham (CA1).
- 1.3.3 The building in question is not on the heritage at risk register, and is neither Listed, nor a Locally Listed NDHA (Non Designated Heritage Asset).
- 1.3.4 A site survey was undertaken (using a combination of Google Earth Pro and photographs) in order to better understand the property/PDA within its setting, and line of site to/from heritage assets.
- 1.3.5 The study has been undertaken adhering to the requirements as set out in the National Planning Policy Framework (NPPF; MCHLG 2019) and following the relevant standards and guidance issued by the Chartered Institute for Archaeologists (CIfA 2019 and 2020) and the Historic England *Historic Environment, Good Practice Advice in Planning Note 3 – The Setting of Heritage Assets*, (HE 2017).
- 1.3.6 The aims of the Assessment are to:
- Assess the significance and settings of heritage assets identified as having the potential to be affected by the Proposed Development and the contribution of setting to each of these heritage assets;
 - Assess the potential for below ground heritage assets to survive within the Site and the importance of known or predicted heritage assets;
 - Assess based on existing evidence, the level of effect of the Proposed Development on the importance of the heritage assets and their setting;

1.4 LEGISLATIVE FRAMEWORK

- 1.4.1 The Ancient Monuments and Archaeological Areas Act of 1979 provide for the investigation, preservation and recording of matters of archaeological or historical interest, both designated Heritage Assets and those of sufficient significance. The Historic Buildings and Ancient Monuments Act 1953 provides for the preservation of buildings of outstanding historic or architectural interest and their contents and related property. The Listed Buildings and Conservation Areas Act 1990 provides for the protection of designated buildings and structures.

1.5 NATIONAL PLANNING POLICY FRAMEWORK

- 1.5.1 The National Planning Policy Framework (NPPF), updated in 2019, replaced PPS5 in March 2012, which in turn replaced Planning Policy Guidance 15 and 16 (PPG 15 and 16) in March 2010. It sets out the governments planning policies for England and how these are expected to be applied. National heritage policy is contained within section 16. It provides national guidance on the preservation, management and investigation of those parts of the historic environment that are of historical, archaeological, architectural or artistic significance and are collectively referred to as Heritage Assets.
- 1.5.2 The framework provides cover to those Heritage Assets that are of sufficient level of interest to warrant designation as well as those that are not presently designated but possess a heritage value and are therefore a material planning consideration. Where Heritage Assets of National Importance are affected by development, then there should be a presumption in favour for their conservation.

1.5.3 Paragraph 189 states:

'In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets importance and no more than is sufficient to understand the potential impact of the proposal on their significance'.

1.5.4 Paragraph 190 states:

'Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise'.

1.5.5 Paragraph 203 states:

'The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset'.

1.6 LOCAL POLICY

1.6.1 The Site (and the Study Area) lies wholly within the London Borough of Lambeth.

1.6.2 The documents containing those policies relevant to this application are listed in The Lambeth Local Plan 2021 Q18 'Historic Environment Strategy' and Q22 'Conservation Areas'.

1.7 SUMMARY OF PROPOSALS

1.7.1 The proposed works are to remove the current ground floor extension, and replace it with a slightly larger ground floor extension, to extend further to the N, as well as alterations to the fenestrations on the remaining section of the rear structure.

1.7.2 Information relating to the proposed form of the development is contained in the drawings supplied by the client as part of the application. The overall scheme of the proposed development will hardly alter the external appearance at the rear, and no changes are proposed to the frontage of the property.

2 METHODOLOGY

2.1 SITE SURVEY

2.1.1 Photographs of the PDA were taken in February 2024 for the purpose of understanding the visibility of the Site within the landscape/townscape, the context and setting, and of other heritage assets in the vicinity, to determine any potential issues relating to inter-visibility between the Proposed Development, and the heritage assets and their setting.

2.1.2 The photographs were undertaken in cloudy, but bright and dry conditions.

2.2 SOURCES CONSULTED

2.2.1 The Greater London Historic Environment Record was consulted to identify documented sites and monuments.

2.2.2 In addition, online sources were consulted for further information, including the National Library of Scotland.

3 HERITAGE ASSET ASSESSMENT

3.1 PREVIOUS ARCHAEOLOGICAL INVESTIGATIONS AND FINDS IN THE SEARCH AREA

- 3.1.1 An evaluation was undertaken at 4-22 North Street (PRN-167116) in 1996 by MoLAS, consisting of 5 No trenches, with 4 within the standing factory, and one to the E of it. In one trench was found a C17 cess pit overlain by another C19 and a C18 ditch another trench, and in a third trench was a C18 wall, probably belonging to the former large building on Fitzwilliam St.
- 3.1.2 Just to the N of that was another evaluation was undertaken by MoLAS in 1995 at 30-30A Rectory Grove (PRN-167038). There was no archaeology present.
- 3.1.3 An excavation was undertaken at 9-67 Rectory Grove (PRN-163274) in 1980 by Southwark and Lambeth Archaeological Excavation Committee, beginning with several evaluation trenches, followed by open area excavation in 1982. Possibly Neolithic struck flint and pottery including an early Neolithic bowl was discovered, suggestive of nearby settlement. There were also some pits containing Roman tile and glass, and five contained grass tempered pot and spindle whorls, of a C5 TPQ date. Medieval agricultural layers were also found, as well as a large C17 brick cellar with an associated metalled forecourt, and a large number of post-medieval features existed including a well and a drain.
- 3.1.4 A watching brief took place at 13-21 Old Town (B224) (PRN-154548) to the E of the site, by Sutton Archaeological Services in 1999, where post-medieval features and structures were found.
- 3.1.5 At the S of the site, a watching brief took place at Sycamore Laundry on Orlando Rd, Sycamore Mews (PRN- 170480) from 1993-1994 by MoLAS, no archaeological features were present. Also, to the immediate S of that another watching brief was undertaken by Archaeological Solutions in 2011 (PRN- 158388), revealing a C19 soakaway, drain and path.
- 3.1.6 Two further evaluations were undertaken off of Old Town/The Pavement and Grafton Square, by MoLAS; in 2005 at 37 Old Town (PRN-163491) found no features, and an evaluation at Grafton Square in 1991 (PRN-161457) found C18 and C19 features mainly apparently associated with Downers Cottages.
- 3.1.7 A Roman findspot to the NW of the site, on Lambourn Rd, was recorded, although they type was not described (PRN-136353).

3.2 Historic Maps

- 3.2.1 The historic maps consulted are OS maps published in order; 1874 (fig.13), 1874 (fig.14), 1879 (fig.15), 1896 (fig.16).
- 3.2.2 Lydon Road, and the terrace which the PDA exists was not present until it was established sometime in the 15 years between 1879 and 1894 (figures 15 and 16). It was formerly a public garden/park with avenues of trees.



Figure 13 London-Surrey XI.42 OS Map, 1870, 1874, copyright NLS 2024

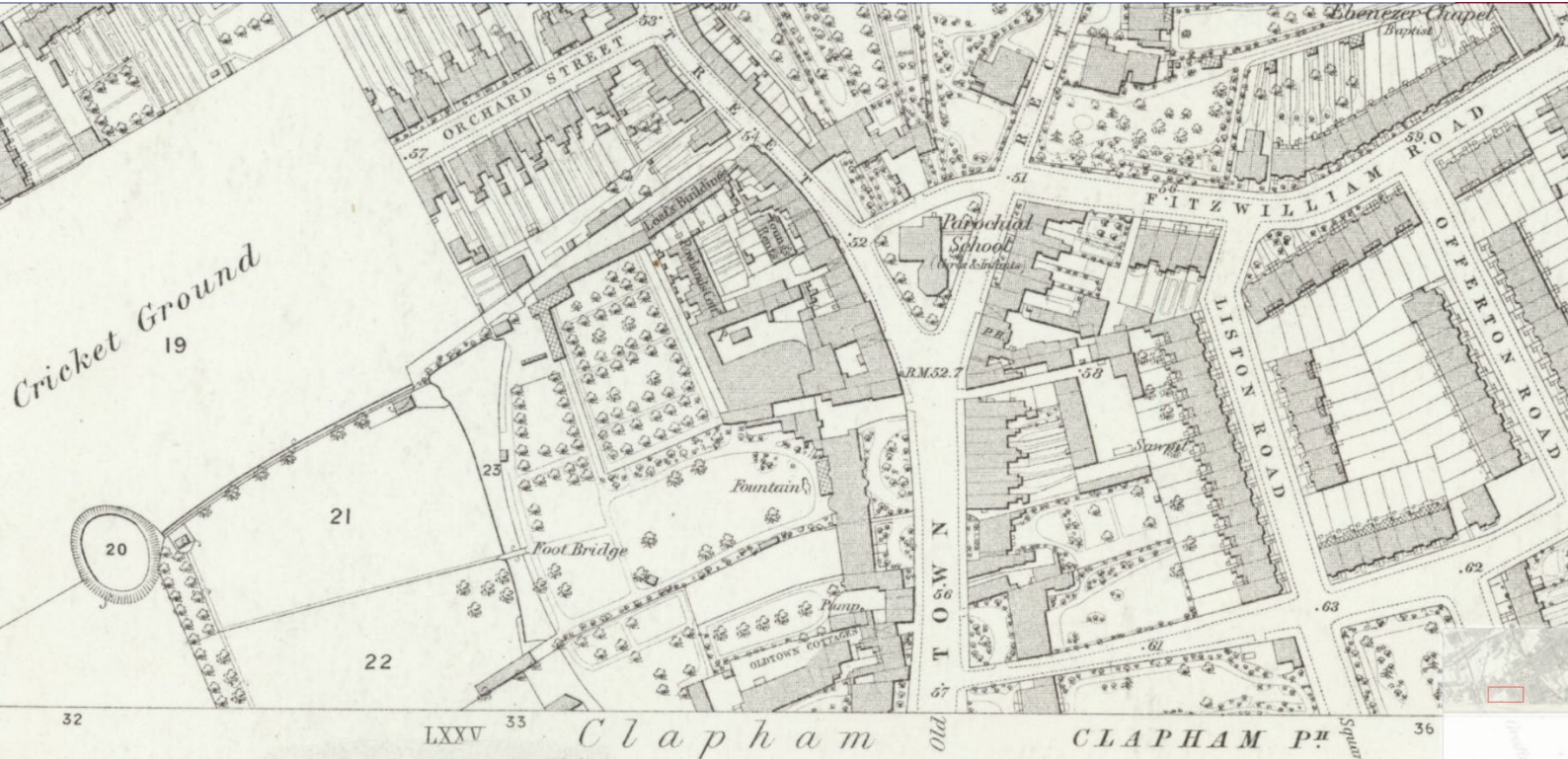


Figure 14 London First Ed LXV OS 1869-1870, 1874, copyright NLS 2024



Figure 15 Middlesex sheet XXII OS 1868-1871, 1879, copyright NLS 2024



Figure 16 London Sheet XI.NW OS 1893-1894, 1896, copyright NLS 2024

4 ASSESSMENT OF IMPACT

4.1 ASSESSMENT CRITERIA

4.1.1 Factors for assessing the importance of heritage assets

Very High	<ul style="list-style-type: none"> World Heritage sites (including nominated sites). Assets of acknowledged international importance.
High	<ul style="list-style-type: none"> Scheduled Monuments (including proposed sites). Grade I and II* Listed Buildings
Medium	<ul style="list-style-type: none"> Grade II Listed Buildings. Historic (unlisted) buildings that can be shown to have exceptional qualities in their fabric or historical associations. Conservation Areas containing buildings which contribute significantly to its historic character. Historic Townscape or built-up areas with important historic integrity in their buildings or built settings (e.g., including street furniture and other structures).
Low	<ul style="list-style-type: none"> Non-listed buildings of minor local historical importance. Historic (unlisted) buildings of modest quality in their fabric or historical association. Historic Townscape or built-up areas of limited historic integrity in their buildings or built settings (e.g., including street furniture and other structures).
Negligible	<ul style="list-style-type: none"> Buildings of no architectural or historical note; buildings of an intrusive character.
Unknown	<ul style="list-style-type: none"> The importance of the built heritage asset has not been ascertained.

4.1.2 Factors for assessing the magnitude of impact on heritage assets

Major	Change to key historic building elements, such that the resource is totally altered. Comprehensive changes to the setting.
Moderate	Change to many key historic building elements, such that the resource is significantly modified. Changes to the setting of an historic building, such that it is significantly modified.
Minor	Change to the key historic building elements, such that the asset is slightly different. Change to setting of an historic building, such that it is noticeably changed.
Negligible	Slight changes to historic building elements or setting that hardly affect it.
No Change	No change in fabric or setting.

4.1.3 Significance of impact = magnitude of impact + importance of heritage asset

Magnitude + Importance	Very High	High	Medium	Low	Negligible
No Change	Neutral	Neutral	Neutral	Neutral	Neutral
Negligible	Slight	Slight	Neutral/Slight	Neutral/Slight	Neutral
Minor	Moderate/Large	Moderate/Slight	Slight	Neutral/Slight	Neutral/Slight
Moderate	Large/Very Large	Moderate/Large	Moderate	Slight	Neutral/Slight
Major	Very Large	Large/Very Large	Moderate/Large	Slight/Moderate	Slight

5 HERITAGE ASSETS

5.1 ASSETS WITHIN THE SETTING OR VISIBILITY OF THE SITE

- 5.1.1 The site is within Old Town Middle Anglo Saxon Village (PRN-120940), the possible centre of settlement in the village of 'Clopeham' included in Domesday, in ownership by the Mandeville family. In the C9 it was called 'Cloppeham', and eolderman Alfred was recorded as bequeathing 30 hides to his wife. In the HER it follows the boundaries of the Archaeological Priority Area of Clapham, and is the reason for its designation.
- 5.1.2 Along North Street extending NW-SE from the E end of Lydon Rd where they both intersect with the B224 (aka Old Town), is the route of the original medieval road (PRN-128572), and it linked with Clapham High St and Wandsworth Rd. Also part of this medieval road network within medieval Clapham was Matrimony Place (PRN-136827), which intersects with North St at the E end of Lydon Rd at the B224 or Old Town, it followed from S to N in order from The Pavement, to Old Town, then Rectory Grove, passing through St Paul's Churchyard Clapham called Matrimony Place, to Wandsworth Rd.
- 5.1.3 Nearby, to the W of the site on Orlando Rd, is the site of a palatial Tudor house, Victoria Rise, demolished c. 1762 (PRN-104422).
- 5.1.4 Nearby top the N of the site are two assets on the S side of Lillieshall Rd; 15-21 is a Georgian terrace Grade II Listed (PRN-96138), and adjacent is a well, observed as a post-medieval domed brick lined pit in 1987, at No 11 (PRN-115543).
- 5.1.5 Also, to the SW is Grafton Square public Garden (PRN-144076) developed in 1851 and went into public ownership in 1853, to the S Clapham Common Earthwork (PRN-140102) possibly an ancient causeway, and properties, some of which are standing, to the SW, formerly owned by the Ross Optics company including 29 Macauley Rd (PRN-102979), a detached villa built between 1874 and 1896 still standing and redeveloped into flats.
- 5.1.6 Clapham Common to the S/SW of the site in question, is commonland and a Victorian Public Park (PRN-214162).

5.2 THE SETTING AND ASSESSMENT OF IMPACT THEREON OF THE PROPOSAL

- 5.2.1 The property in question does exist in the setting of the Conservation Area, which is of *medium importance*, due to the alterations/additions, most of which are not noticeable, due to the small scale of the changes and the lack of visibility to and from the rear of the property, and will be sympathetic and fitting the character of the surrounding buildings; the proposal has *negligible change to the setting*, and the significance of impact will therefore be **neutral**.
- 5.2.2 The proposed structure is not within the view or setting of any standing heritage assets other than those which may exist below ground, with the potential for below ground remains due to its existence within the focus of medieval settlement within the village of the former 'Clopeham' or 'Cloppeham', (PRN-120940) which is also the reason for the designation of Clapham APA, which is essentially one and the same, and is potentially a Tier 1 of archaeological significance which is defined as follows:
- 5.2.3 'This is a defined area which is known, or strongly suspected, to contain a heritage asset of national significance (a scheduled monument or equivalent); or is otherwise of very high archaeological sensitivity. Thus Tier 1 covers heritage assets to which policies for designated heritage assets would apply (NPPF 132 & 139) and a few other sites which are particularly sensitive to small-scale disturbance. They will be clearly focused on a specific known heritage asset and will normally be relatively small, although the historic urban core of London and Westminster is an exception. Scheduled monuments would normally be included within a Tier 1 APA (Pg 6, Greater London Archaeological Priority Area Guidelines, Historic England 2016).'
- 5.2.4 The Clapham APA is potentially of *high* importance, with *slight* potential change to the setting

and/or potential buried remains, and therefore a **slight** significance of impact. According to the Historic England APA Archaeological Risk Model, there is *medium* risk, which is the lowest risk in Tier 1.

5.2.5 The site in question is also within the proximity of a small quantity of Roman and neolithic artefact finds, and therefore with *negligible* potential for finds of these periods.

Archaeological risk model	Outside APA	Archaeological Priority Area		
	Tier 4	Tier 3	Tier 2	Tier 1
4 Large Major Site area 2 hectares or more	Medium* Low	High	High	High
3 Major Site area 0.5 to 2 hectares	Low	Medium	Medium	High
2 Minor Site area less than 0.5 hectares New basements	Negligible	Low	Medium	High
1 Very minor Householder developments** and equivalent minor works	Negligible	Negligible	Negligible	Medium

Figure 17 APA Risk Model, historicengland.org.uk

5.3 SETTING LEVEL OF EFFECTS

LIKELY MAGNITUDE OF IMPACT AND LEVEL OF EFFECT ON SETTING

5.3.1 The Proposed Development will have no impact to the visuals of the townscape, and will have no negative impact on the setting of nearby heritage assets.

5.3.2 Any potential impacts are top below ground remains, mainly relating to the Clapham APA of the Old Town medieval village.

5.4 CONCLUSION AND FURTHER RECOMMENDATIONS

5.4.1 The below ground intrusion of the proposed foundations will require monitoring by an archaeological watching brief, due to the moderate risk of disturbing Saxon and medieval features within the APA, and the existence of finds from this period, and with a low possibility of earlier finds. The proposal otherwise poses no impact on any heritage assets.

6 PLATES



Plate 1 Rear property, looking S toward PDA



Plate 2 Looking SE from PDA at rear of property



Plate 3 Looking SW from PDA at rear of property



Plate 4 Rear garden, looking N



Plate 5 Looking SW from end of garden



Plate 6 Property frontage looking N



Plate 7 Lydon Rd looking E from front of property



Plate 8 Lydon Rd looking E from front of property



Plate 9 Junction between Lydon Rd, North St, Rectory Grove and Old Town

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