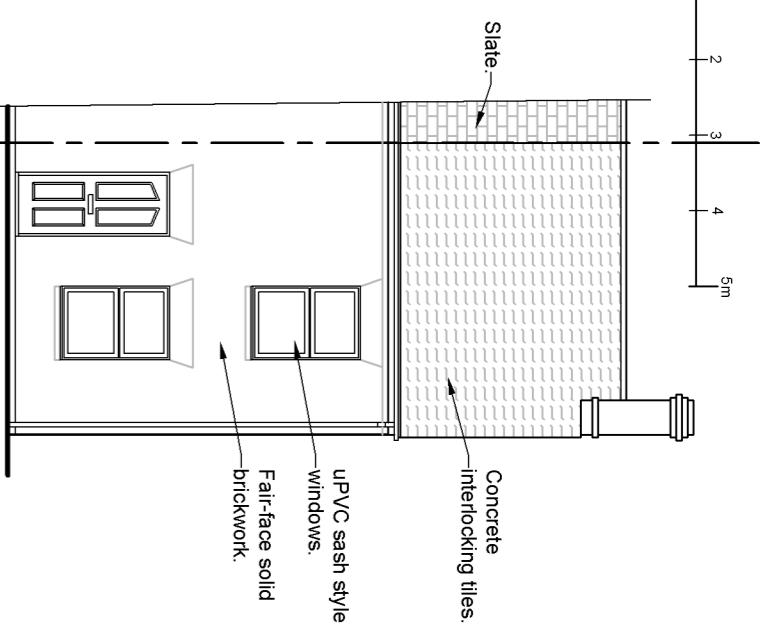
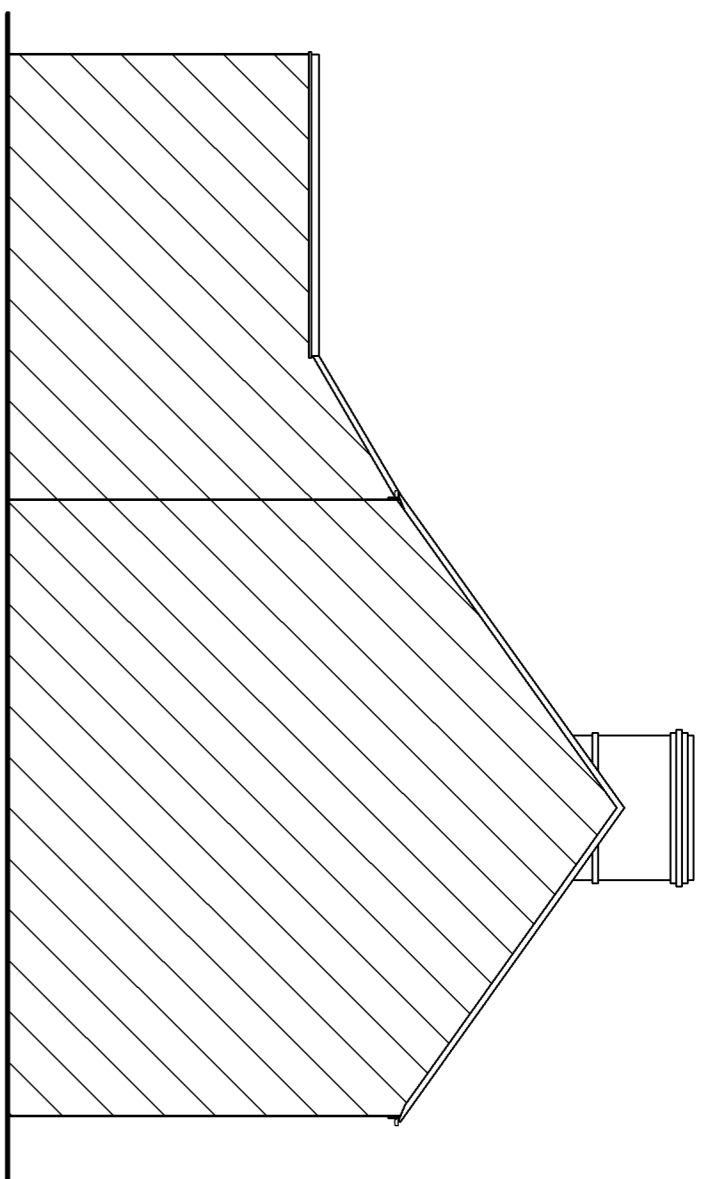


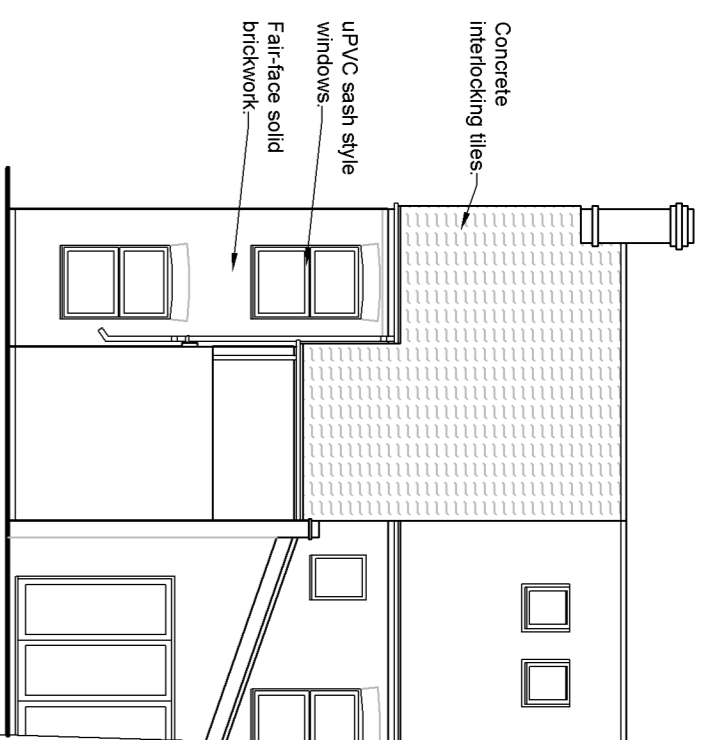
1:100
0 1 2 3 4 5m



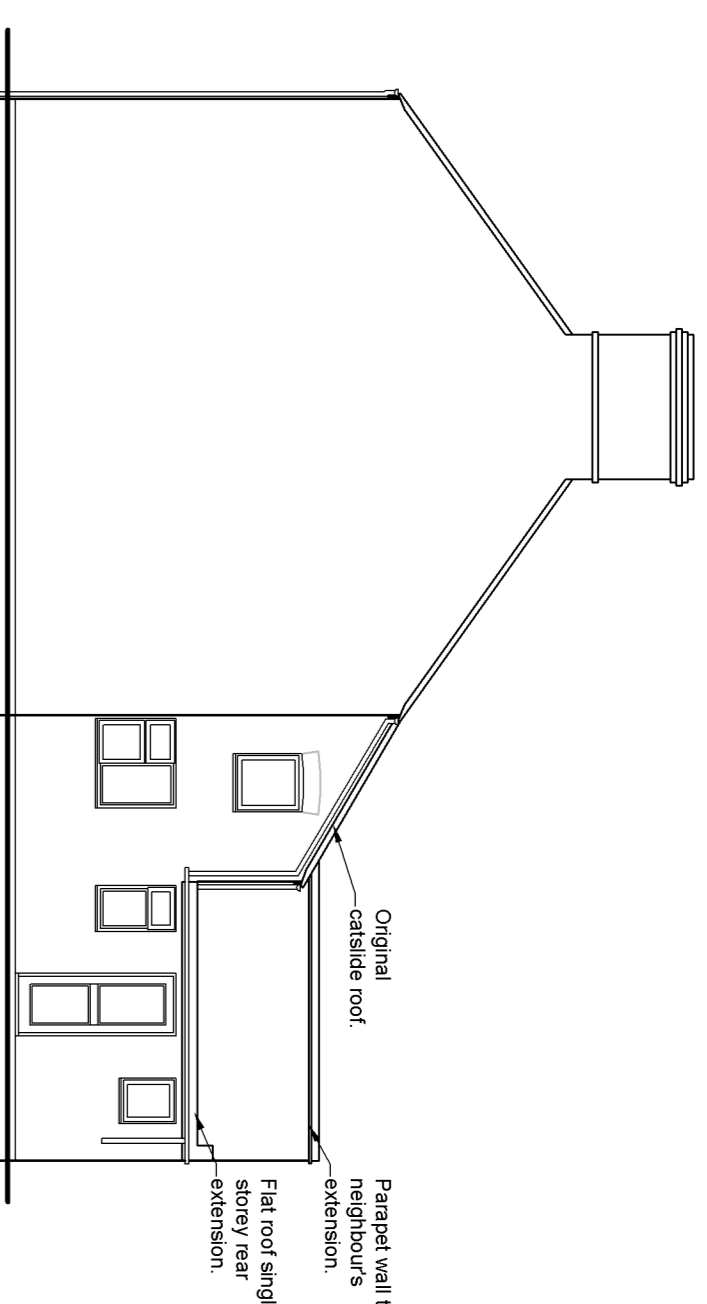
EXISTING FRONT ELEVATION
Scale 1:100



EXISTING LEFT SIDE ELEVATION
Scale 1:100

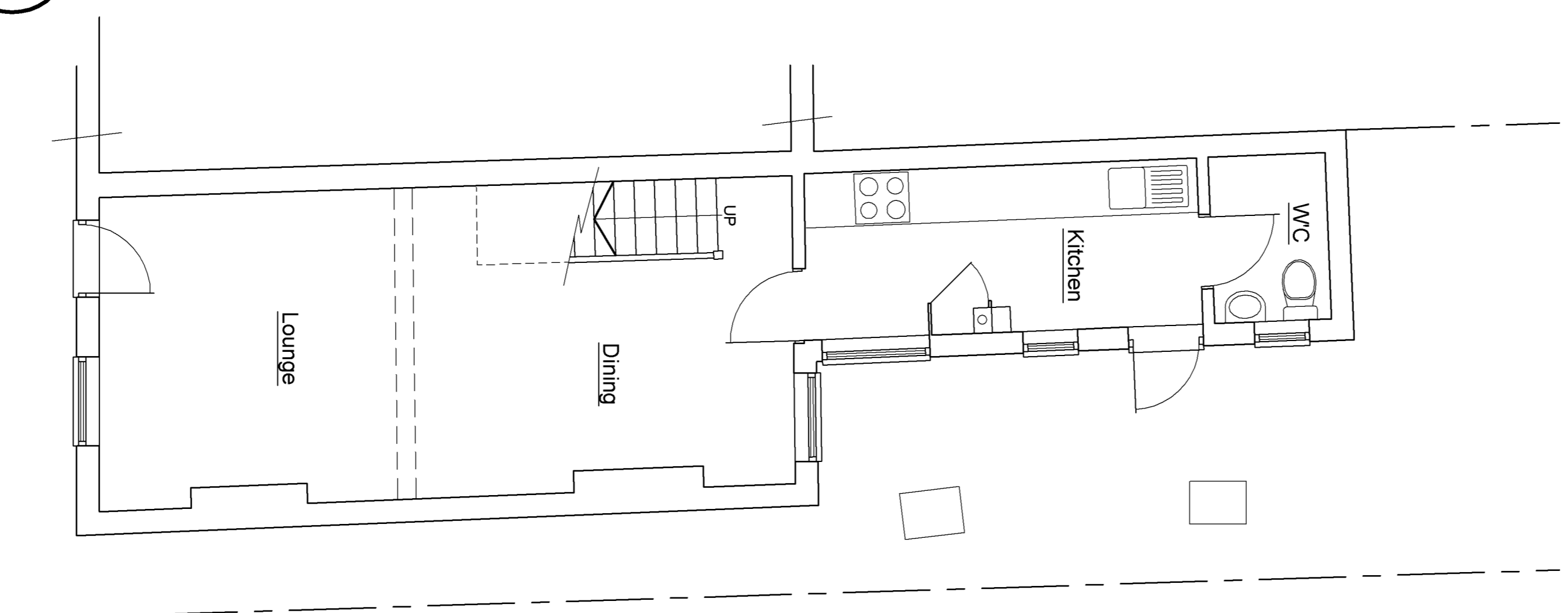


EXISTING REAR ELEVATION
Scale 1:100

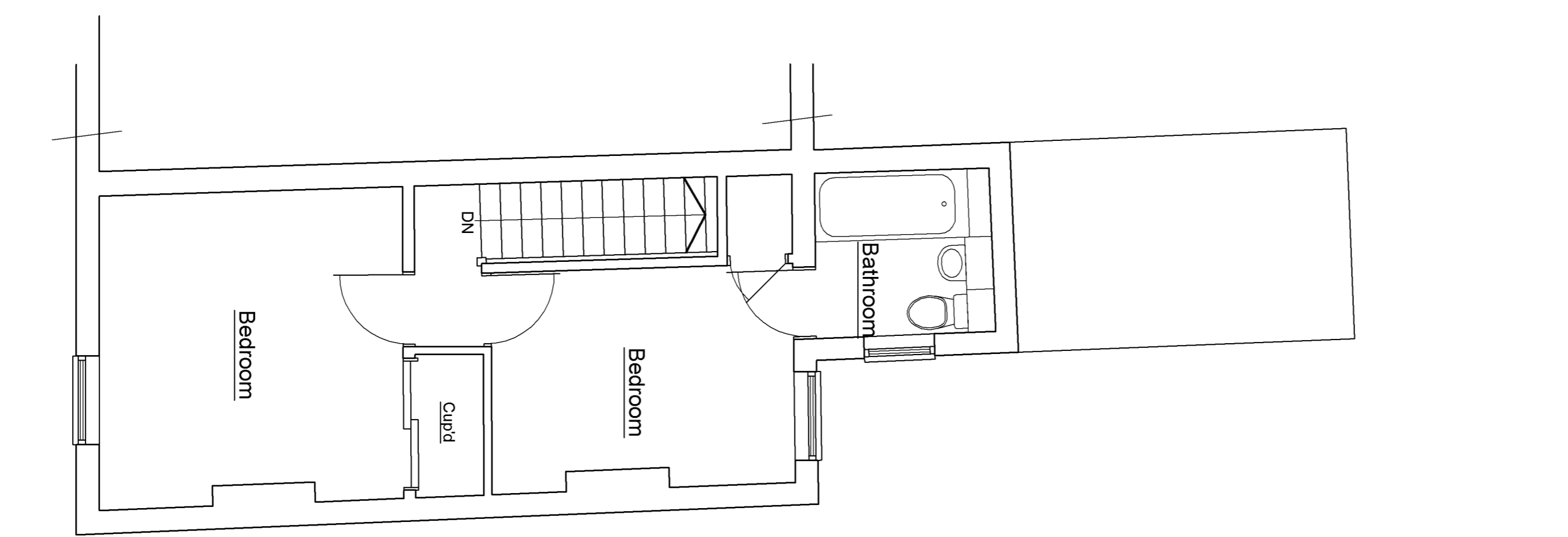


EXISTING RIGHT SIDE ELEVATION
Scale 1:100

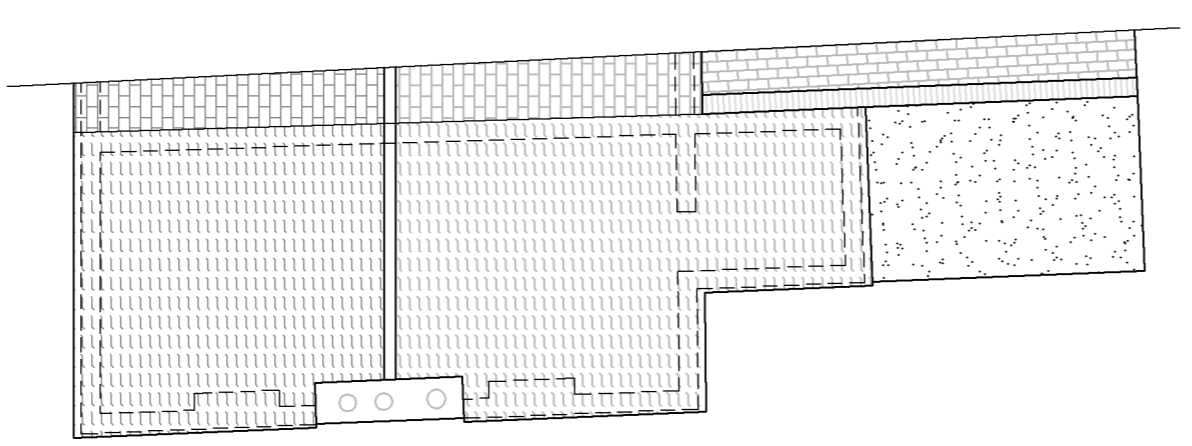
NOTES:
All work including all demolition work and excavation work, to be carried out carefully and safely with all necessary propping, shoring and shoring. All work by contractor to be undertaken in strict accordance with all relevant CDM Regulations and any requirements of statute of the local authority.
All existing beams, inlets etc, where appropriate, to be opened up and necessary to the satisfaction of the building inspector.
Figured dimensions to be read in preference to scaled dimensions at all points.
Where dimensions specified (i.e. d), these are considered critical to the safety of the structure and the contractor is to check conditions/levels etc before and as work proceeds. All items are to be checked and approved by the architect.
All external materials to match existing unless specified otherwise with necessary approvals.
All external materials to match existing unless specified otherwise with necessary approvals.
Planning Permission and Building Regulations approval does not constitute authority to proceed with building works where the Party Wall Act 1999 applies.
No liability is accepted by this company for the failure of the property owner to meet the requirements or provisions contained therein.
Building Safety Act 2022 - Client Legal Duties
The client is responsible for the appointment of a Principal Contractor/Principal Designer to undertake the works.
Our role as the Architectural Designer does not extend beyond the provision of design services for the works, a Planning Permission and Building Regulations approval is required for the works to be undertaken.
Principal Designer as defined under the Building Regulations 2010 (Amended) in Part 2A-1(1) where the client is required to appoint a suitably competent Principal Designer and Principal Contractor to undertake the works which can be the same person/company.
This client is responsible for providing the LABC with the relevant name, address and contact details for the works.
The client is responsible for providing the LABC with the relevant name, address and contact details for the works.
If the client is not a LABC member, please ensure that the works are carried out in accordance with the relevant regulations and standards and will be liable in both capacities and will be liable on these legal duties.



EXISTING GROUND FLOOR PLAN
Scale 1:50



EXISTING FIRST FLOOR PLAN
Scale 1:50



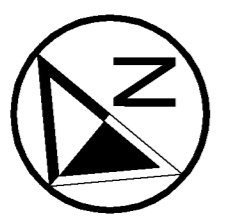
EXISTING ROOF PLAN
Scale 1:100



SITE PLAN
Scale 1:500



LOCATION PLAN
Scale 1:1250



0 1 2 3 4 5m

Project: 23 George Street Wing LUT ONP			A1 Drawing
Title: Location Plan, Site Plan, Existing Floor Plans, Roof Plan & Elevations			
Scale: 1:50 1:500	Date: Feb 2024	Drawn: MD	
Job No: MD 1985			
Drawing No: 01 PL		Rev:	
Miramar Design Ltd 8 Short Hale Pitstone Bucks LU7 9FF office@miramardesignltd.co.uk 01296 663888 / 07852 278756			