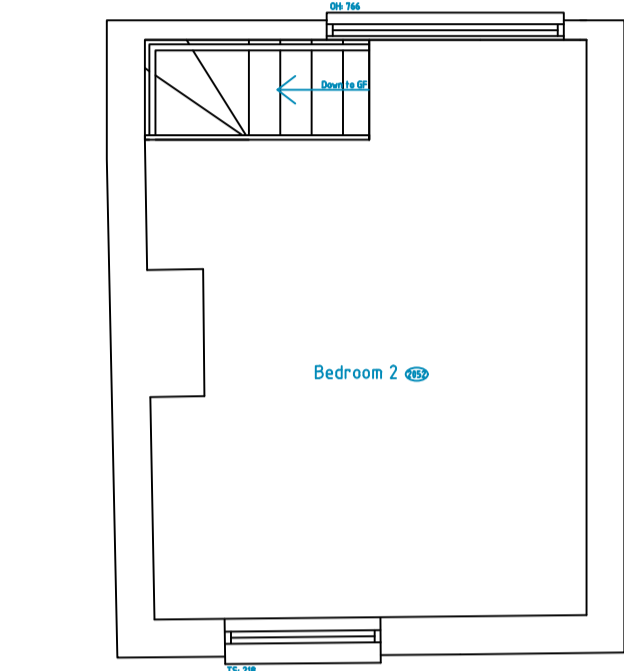
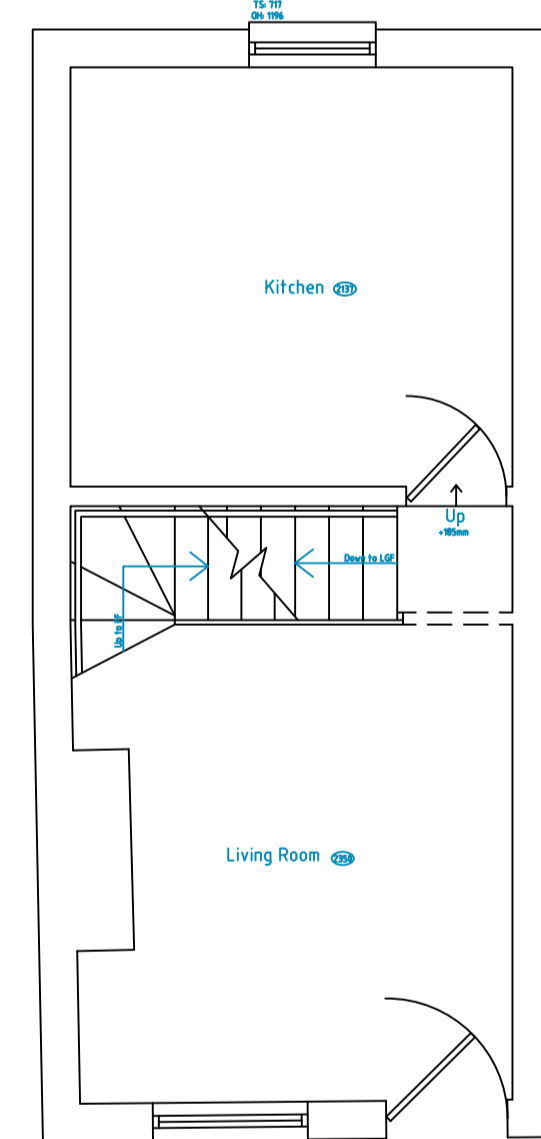


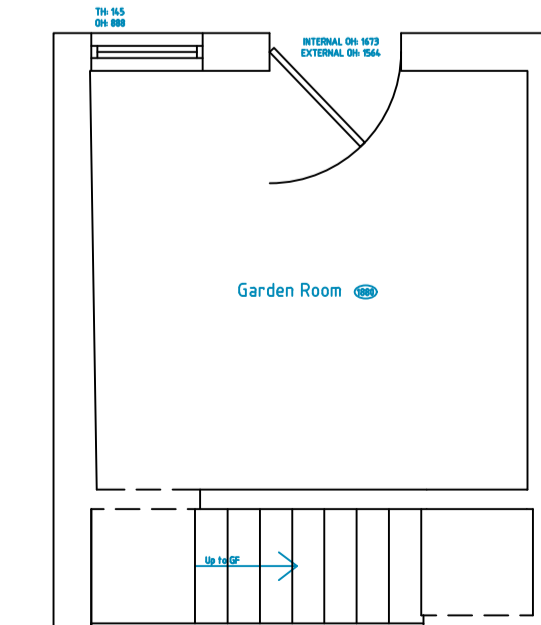
Existing First Floor Plan
Scale 1:50@ A1



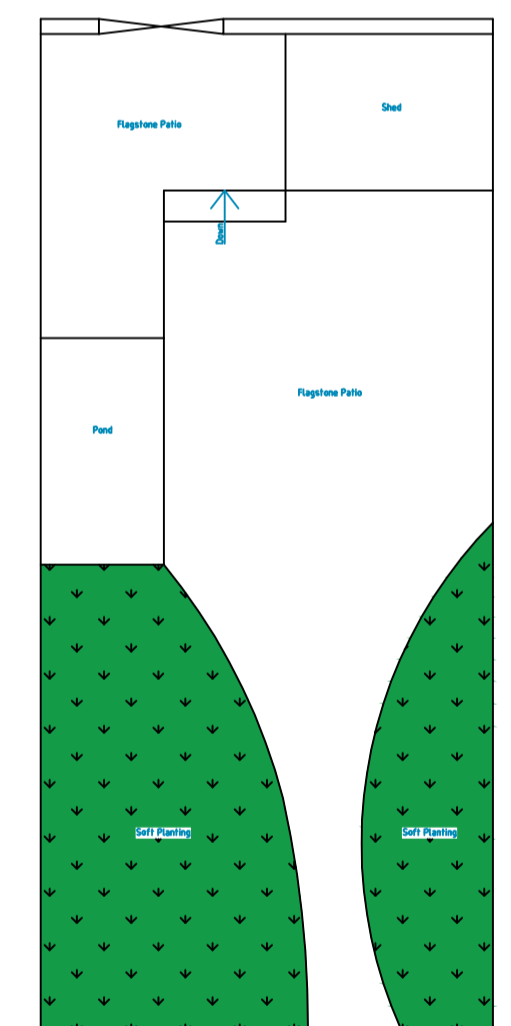
Existing Second Floor Plan
Scale 1:50@ A1



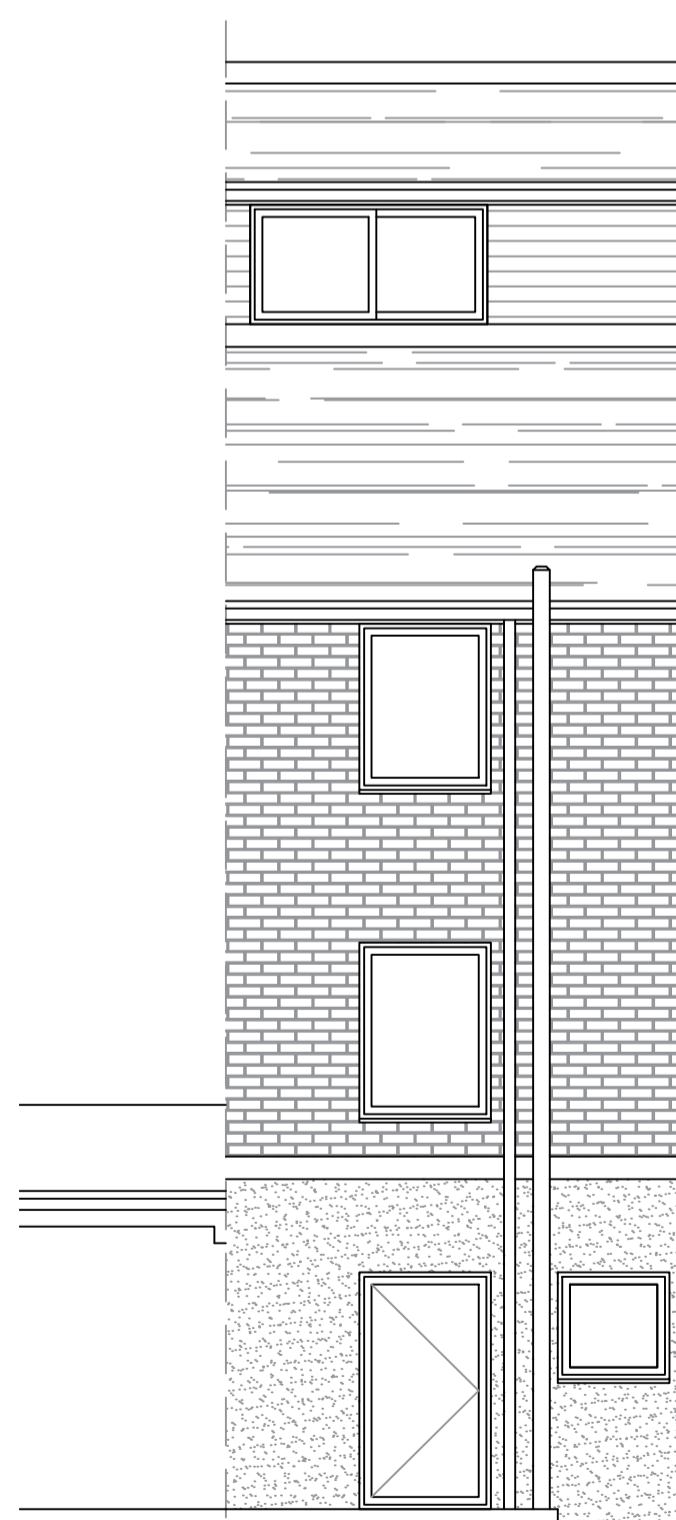
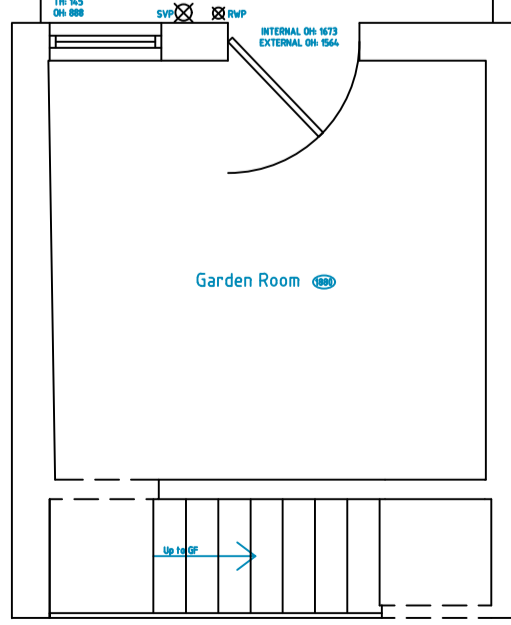
Existing Ground Floor Plan
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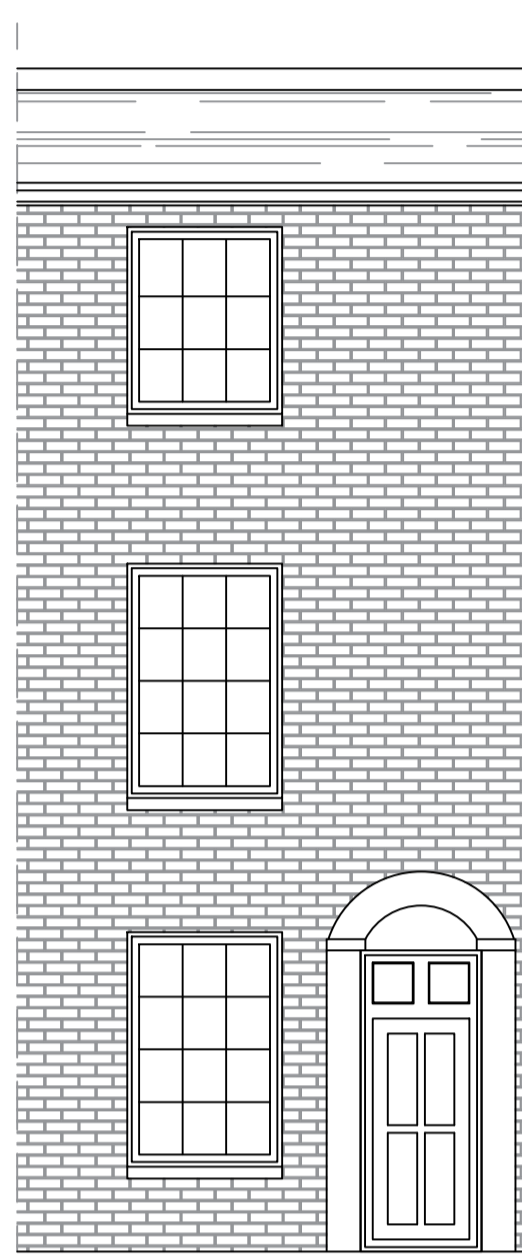
Existing Lower Ground Floor Plan
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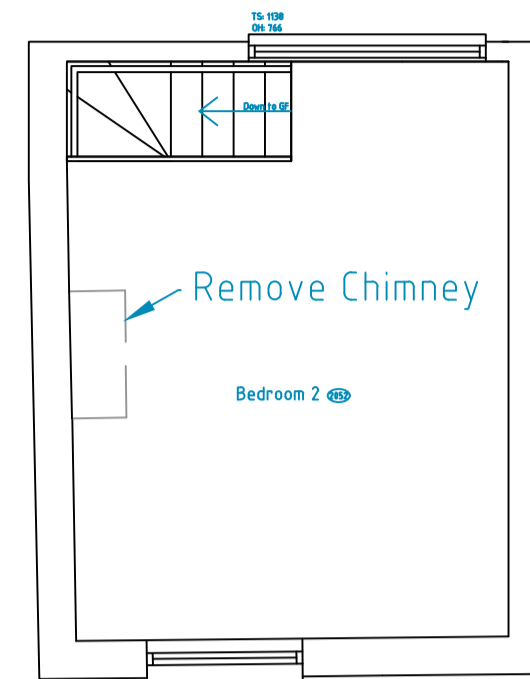
Existing Site Plan
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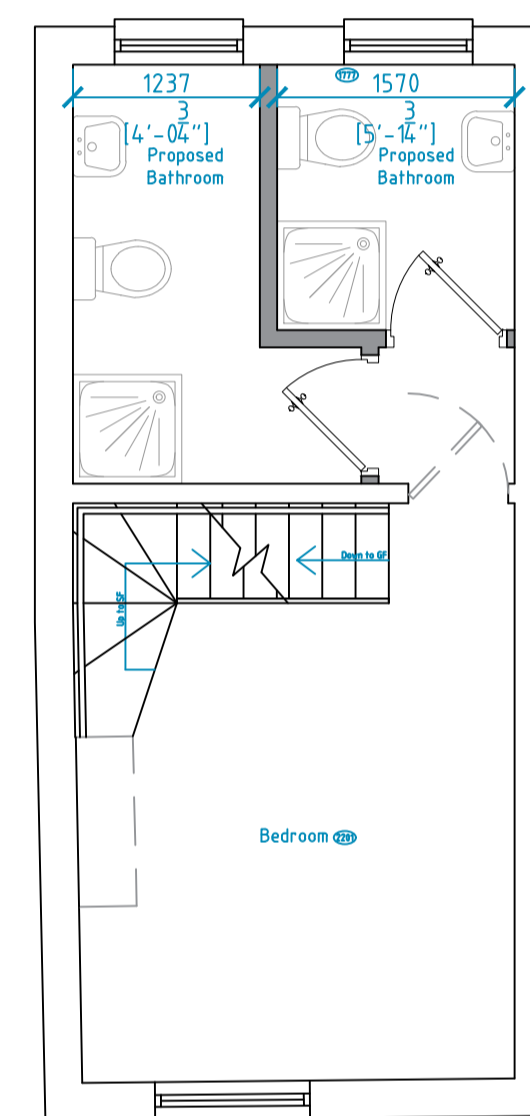
Existing Rear Elevation
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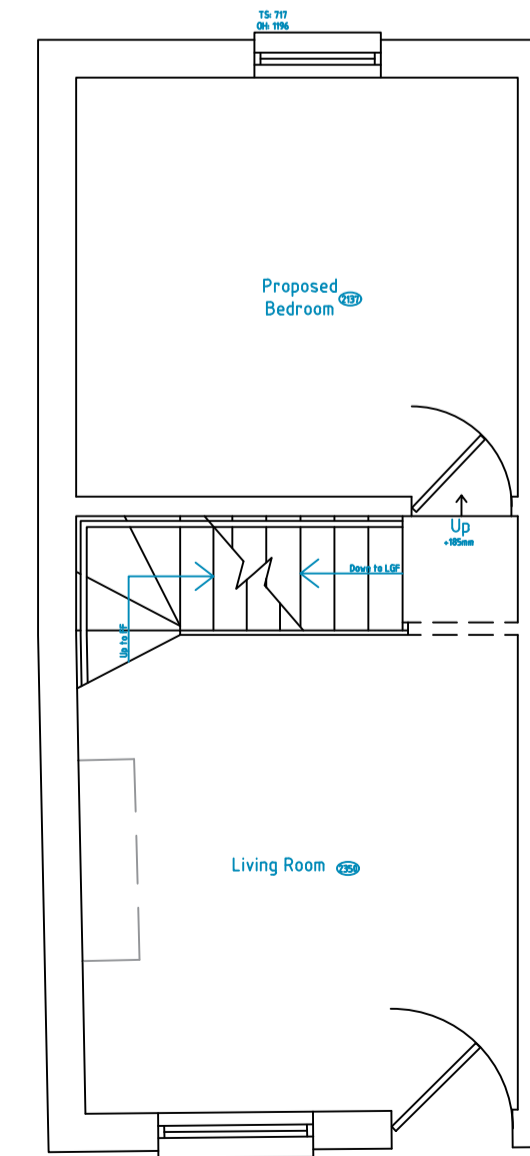
Existing Front Elevation
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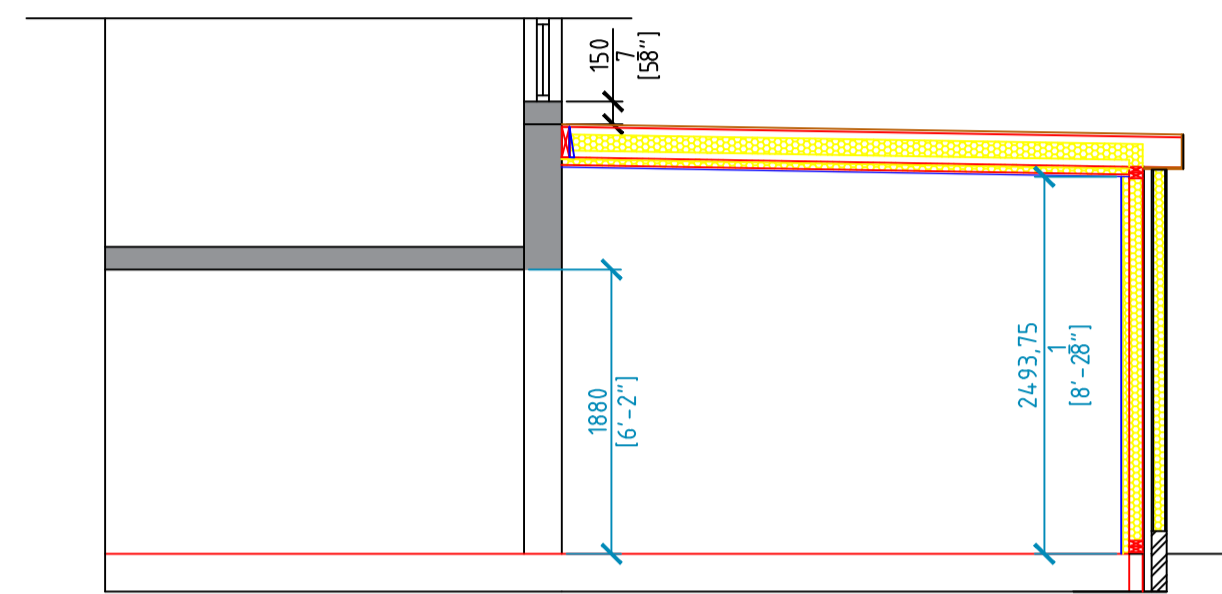
Proposed Second Floor Plan
Scale 1:50@ A1



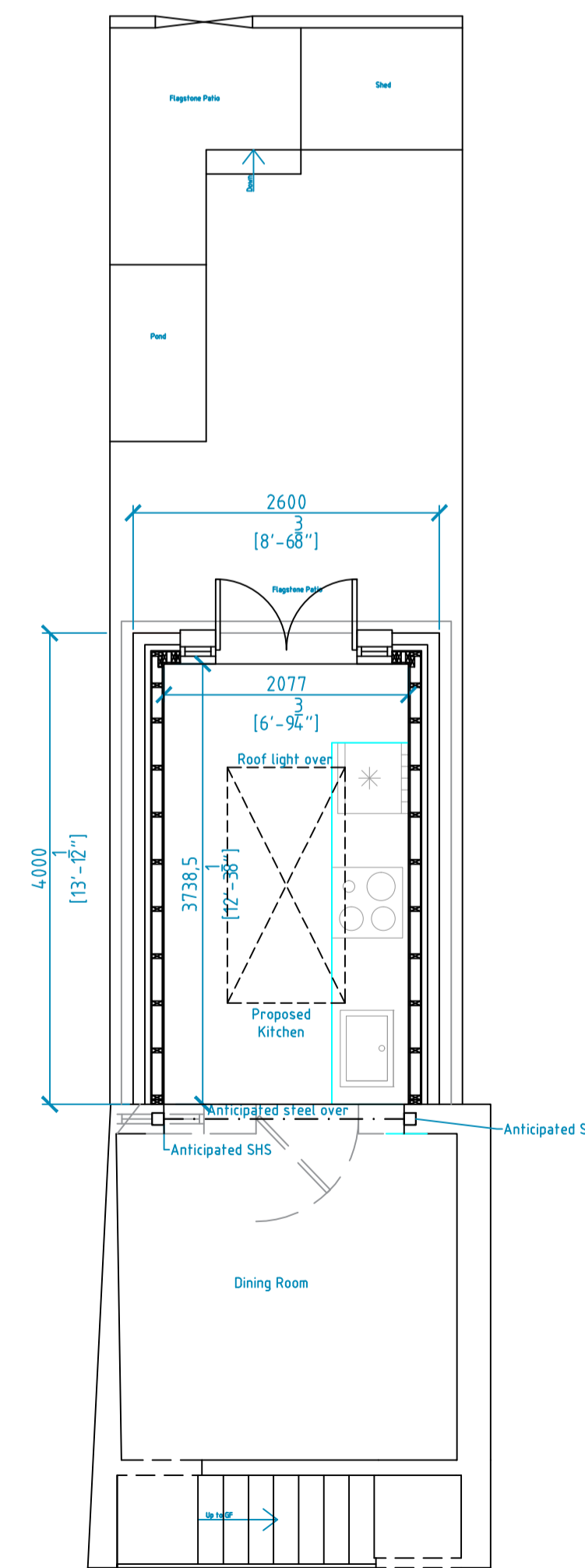
Proposed First Floor Plan
Scale 1:50@ A1



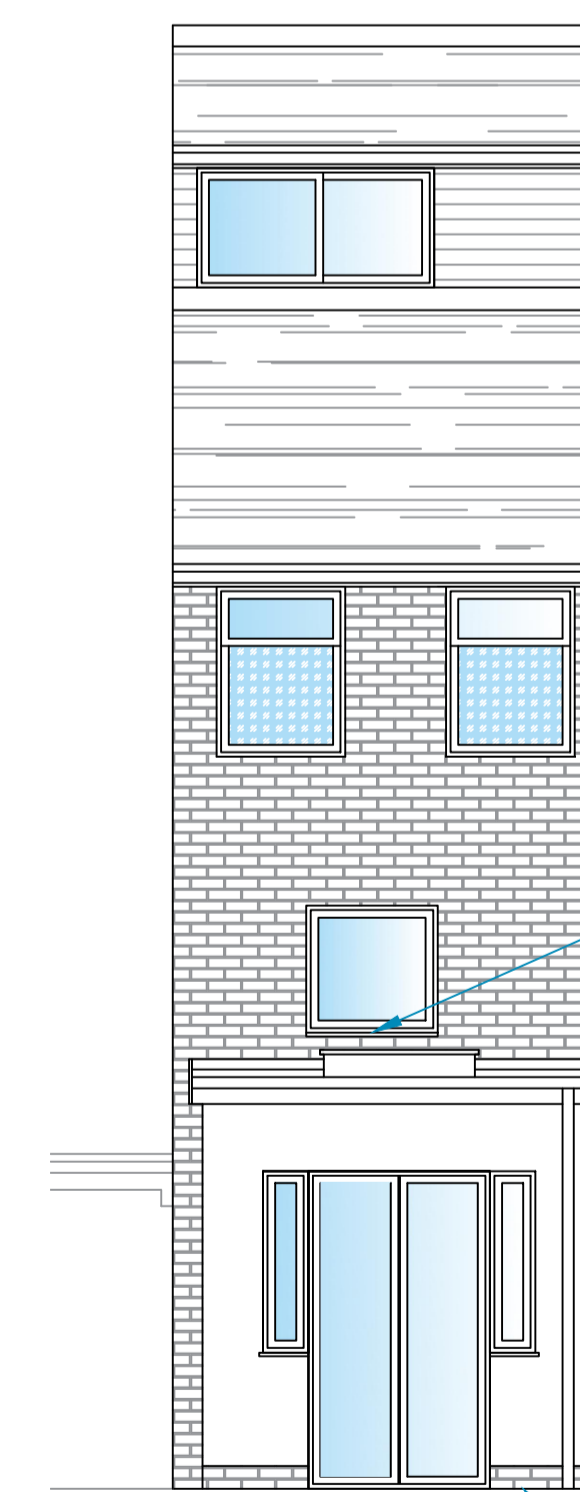
Proposed Ground Floor Plan
Scale 1:50@ A1



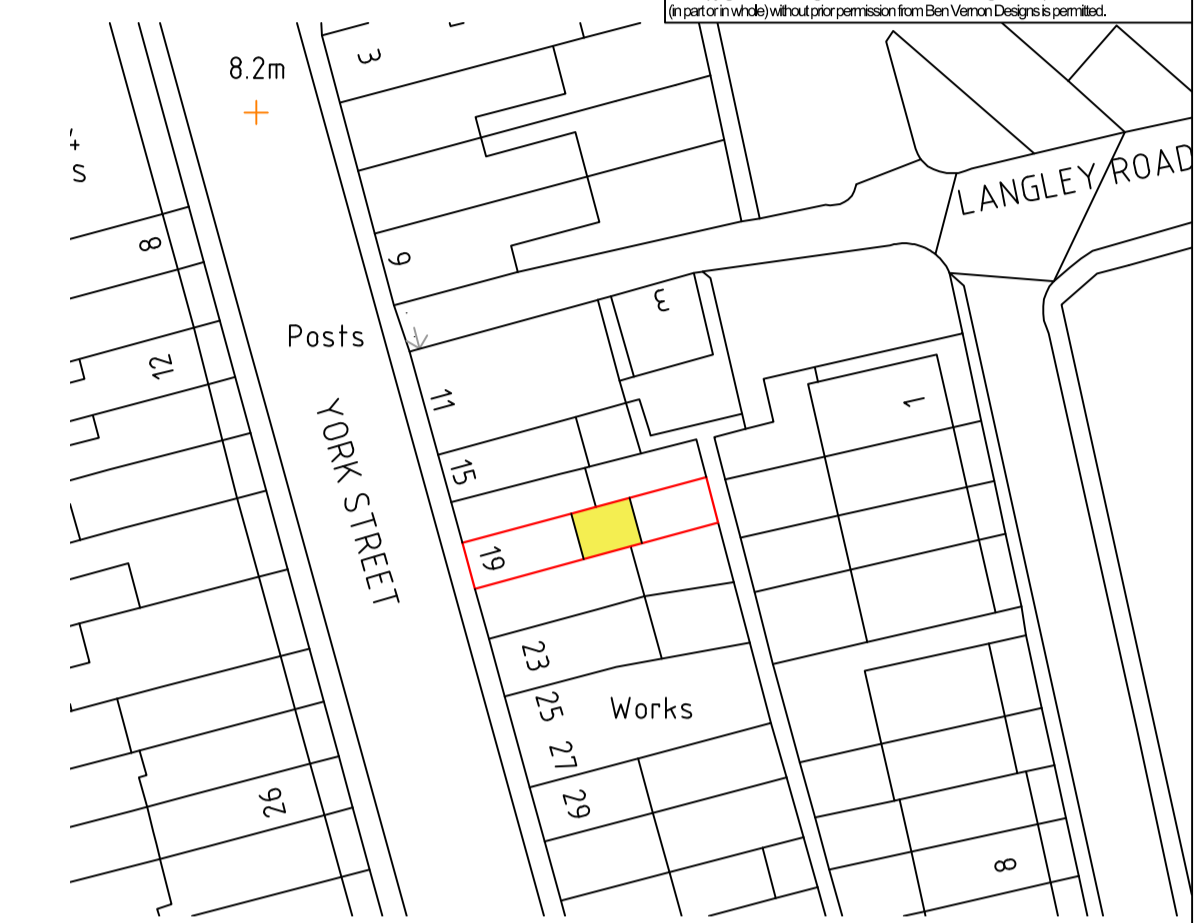
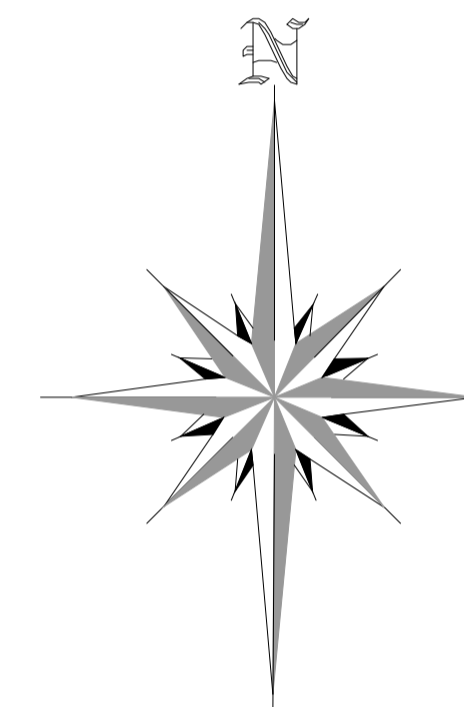
Proposed Indicative Section
Scale 1:50@ A1



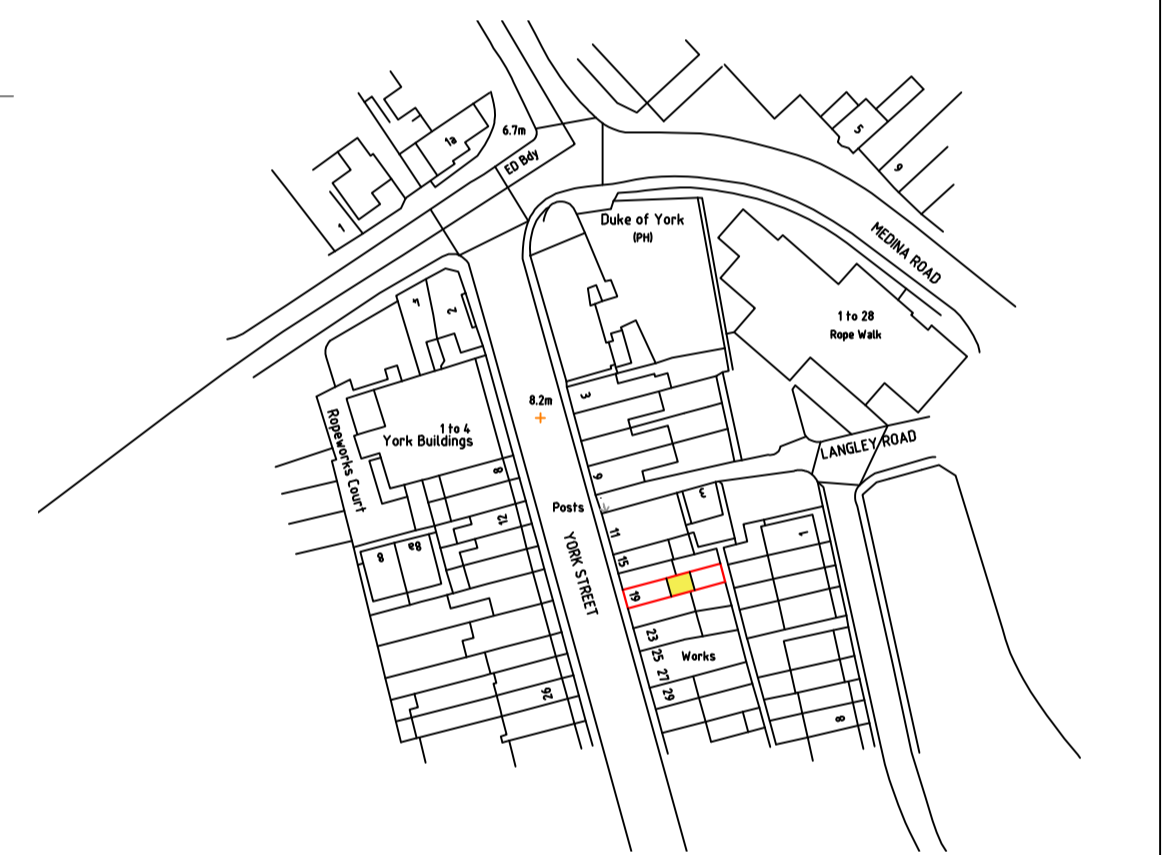
Proposed Site Plan
Scale 1:50@ A1



Proposed Rear Elevation
Scale 1:50@ A1



Block Plan
Scale 1:500@ A1



Location Plan
Scale 1:1250@ A1

Notes:
 1. The Client is responsible for verifying all dimensions and details on site before commencing work.
 2. All dimensions are to be taken in preference to any scaled dimensions.
 3. Any dimensions shown are subject to the Client's approval and are not to be used for construction purposes without the Client's approval.
 4. All work is to be carried out in accordance with the Building Regulations, Code of Practice, Party Wall Act and the principle of preservation and conservation in line with the requirements of the CDM Regulations.
 5. All proposed work is to be checked and approved by Building Control prior to commencing work.
 The Client's Design and Management Plan (D&M) is to be submitted to the Client for their necessary approval.
 1. To comply with the CDM Regulations, the Designer has a statutory responsibility to inform the Client of their necessary obligations.
 2. The Designer has a statutory responsibility to support the Planning Supervisor and to provide a Certificate for the proposed work.
 3. The Designer has a statutory responsibility to ensure that the proposed work is carried out in accordance with the Building Regulations.
 4. The CDM Regulations are a statutory requirement and failure to comply with the regulations is a criminal offence.
 The Party Wall Act 1996:
 1. If you intend to carry out building work which involves one of the following categories:
 * work on an existing wall or structure which is shared with a neighbour;
 * building a new wall on the boundary with a neighbour;
 * excavating near or under a neighbour's building.
 Then you must give notice to your neighbour at least one month before the work starts. You must also give notice to the local authority.
 If you do not do this, you may be liable for criminal penalties and you may also be liable for civil penalties.
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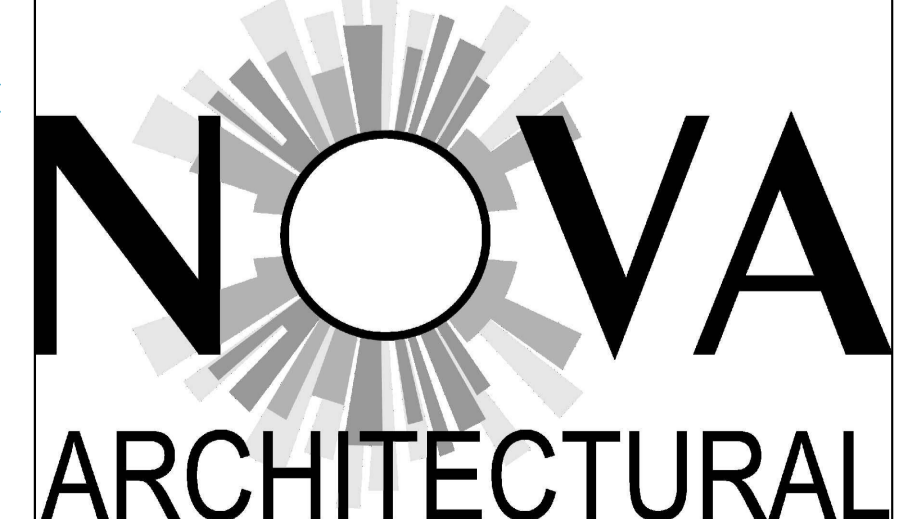
CLIENT
James Fulford

Drawing Title
As Surveyed & Proposal

Rev. No.	Description	Rev.	Date	Drawn by
1	NA 23 / 134 / 01	F	Jan 2024	Robbie North
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Minor Material Amendment
19 York Street
Coves

ISLE OF WIGHT Tel: 07894 061505



ensure 150mm below cill - to be ascertained on site
 EPDM
 UPVC Panelling
 Face brick up to DPC