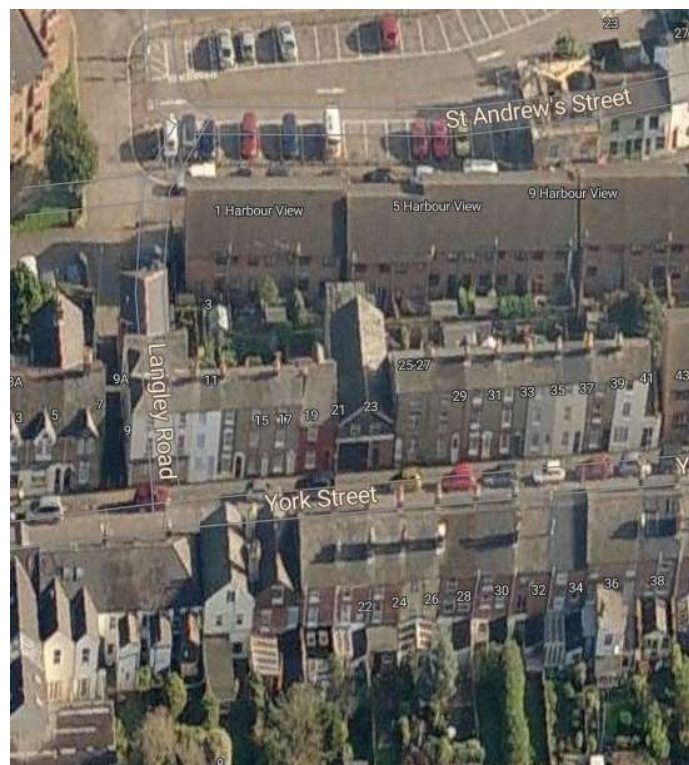




DESIGN & ACCESS & PLANNING STATEMENT

- for -

*Proposed Variation of Condition for Single Storey Rear Extension to 19 York Street,
Cowes, Isle of Wight*



February 2024

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1.0 PREFACE AND INTRODUCTION

- 1.1 The following statement has been prepared in support of a variation of condition application for a single storey rear extension to house a kitchen at 19 York Street, Cowes Isle of Wight.
- 1.2 This Statement provides an overview and supports this proposal, detailing the appropriate local and national policies, and the reasons why planning approval should be given.

2.0 SITE DESCRIPTION & BACKGROUND HISTORY

2.0 The site is located at OS grid reference SZ 49775 95712, measuring approximately 51.77m².

2.1 The plot as it stands houses an terraced 4 storey dwelling. The external materials consist of yellow face brick to the front external wall with red brick banding placed vertically between the openings. To the rear of the site the dwelling has been painted white with rendered elements to the basement floor. The garden consists of mixed soft planting & flagstone patio which reduces in ground level to the rear gate.

2.2 The site is not within any designated areas, but is within the Key Regeneration Area Settlement Boundary: Cowes and East Cowes

2.3 The site is located within an area with attributes of similar architectural styles of terraced plots constructed from yellow face brick but also includes mixture of two storey infill developments with various external finishes. To the rear of 19 York Street, there is a consistent vernacular of UPVC constructed extensions ranging from single storey to two storey elements within immediate vicinity of the proposed development site as shown in the figures below.









2.4 A previously approved application referenced 23/00887/HOU was submitted back in 18th May 2023, where approval was granted on Thursday 13th July 2023. The previously approved application was for a modest single storey extension. The approved design (NA 23 / 134 / 01 – rev B) utilised White K-rend to the external walls with bifold doors centrally located. The proposal also sought to reduce the internal ground level by 250mm to increase the overall ceiling height internally to the proposed kitchen space.

3.0 DESIGN & ACCESS

3.0 The Variation of condition has been submitted to address concerns raised during the build of the previously approved development. It was addressed by the engineer that as it stands, the building does not have any foundations, and as such, with the proposed internal reduction of finished floor level the basement the development would require underpinning, which would not be achievable due to financial constraints.

3.1 Other considerations which were brought forward by the developer is due to the proximity of the neighbouring properties extension, where there would be minimal area to carry out the erection of the timber frame & to render the side elevations.

3.2 To follow on from points 3.0 & 3.1, material costs have risen exponentially resulting in the client seeking more economical, ergonomically durable & better insulated practical alternative.

3.3 As noted in paragraph 2.3, within immediate vicinity of the proposed development lies extensions to the neighbouring properties of which are constructed from white UPVC external materials.

3.4 The new proposal which has been submitted alongside this application (NA 23 134 - 19 York Street Cowes - Combined plans rev F) has reduced the overall width of the proposed extension to 2.6m externally to allow for sufficient room either side of the proposed extension to carry out the works, whilst keeping the same depth of 4m. The proposal has updated the wall build up to consist of white UPVC framing to the external skin, with 89mm x 38mm timber frame internally. The proposal has replaced the bi-fold doors with a more cost-effective option of white UPVC French doors & side lights. It will also consist of a roof light over to provide sufficient light to the proposed dining room.

3.4 Due to the points raised in paragraph 3.0, the proposed revision looks to increase the overall roof height by 500mm to allow for sufficient & habitable head height within the new proposed extension. This will negate the requirement for under-pinning as the proposed development will now keep the existing floor level rather than reducing.

Access/ parking

3.5 To remain as existing

Highways

3.6 Remains as existing.

Landscaping

3.7 to remain as existing

Size

3.8 The proposed extension is broadly in line with the existing dwelling & to the dwellings to the surrounding areas of the site and is not over dominant in its scale/ mass

4.0 PLANNING STATEMENT

Policy Framework

4.1 For decision making purposes, the NPPF is a material consideration. The document states that proposed developments which accord with an up-to-date development plan should be approved without delay.

At the heart of the document is the presumption in favour of sustainable development. It states that the achievement of sustainable development includes three mutually dependant elements, namely; economic, social and environmental. All three of these are pertinent to this application and the provision of units to meet local housing need in a sustainable location, which this undoubtedly is.

4.2 The NPPF specifically states;

'For decision taking this means

Where the development plan is absent, silent or relevant policies are out-of-date, granting permission unless;

Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this framework taken as a whole; or

Specific policies in this framework indicate development should be restricted

4.3 The Island Plan Core Strategy

There are a number of key policies in the Island Plan Core Strategy that are pertinent in the consideration of this application. These are as follows;

SP1 Spatial Strategy – This sets the Councils main objective which supports development of appropriate land within and immediately adjacent to settlement boundaries of the Key Regeneration Areas. It prioritises the redevelopment of previously developed land where available. The proposal is the epitome of this policy.

Policy DM2 Design Quality for New Development – This states that the Council will support proposals for high quality and inclusive design to protect, conserve and enhance our existing environment whilst allowing change to take place. The proposal is clearly an enhancement of the existing site and is making use of an area which at present, is surplus to requirements for the existing dwelling and could easily become an eye-sore.

5.0 Planning Consideration

Location

5.1 The location of the site IS sustainable.

5.2 We are aware that an element of the term 'sustainability' is the ease in which any residents can access local amenities.

5.5 The scale of the proposed dwelling's extension is wholly commensurate with the style's found in York Street, and can only be seen by the neighbouring properties to the rear of York Street.

5.6 The proposed extension has been designed so as to not detract from the private amenity of the existing dwelling or create any circumstance where the host dwellings amenity would be compromised.

6. CONCLUSION

- 6.1 Considering all of the above information, reflection and analysis, we feel it is extremely difficult to dispute the merits of the proposal in policy terms.

If there is any further information that is required, I trust that you will contact the agent.

Robbie North