

Our Reference: 30042/WOB/Rev-01

17<sup>th</sup> February 2023

For attenuation of H. Linford & J. Harris.

**RE: Residential Living Development - LAND TO REAR OF 132 SCARBOROUGH ROAD, BRIDLINGTON, EAST YORKSHIRE - Maintenance Plan**

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The following management and maintenance plan has been prepared by GGP Consult on behalf of H. Linford & J. Harris. for the residential living development at Land to rear of 132 Scarborough Road, Bridlington, East Yorkshire

The construction of the drainage and SuDS systems are to be undertaken by a competent civil engineering contractor in accordance with their method statements.

The drainage will be implemented inline with the programme of works. All external drainage, including the surface water outfall, will be installed prior to the road/car park construction. Dewatering solutions and sedimentation prevention to be utilised where appropriate.

This maintenance plan will address the maintenance requirement mentioned within the above condition. It will detail how site drainage is to be managed and maintained. This plan should be read in conjunction with the development drainage design, found within appendix I.

McCarthy & Stone will remain under ownership of the development, and consequently, will be responsible for the ongoing upkeep and maintenance of the site, including drainage and SuDS systems.

McCarthy & Stone Maintenance Services should undertake a thorough site inspection on a biannual basis, and as a minimum, the following maintenance items should be undertaken.

1. Lifting manhole lids to check undisturbed flows,
2. Catchpits to be emptied,
3. Rodding of external pipework.

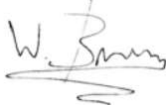
Where defects have been encountered, relevant maintenance should be undertaken in accordance with the maintenance schedule overleaf.

Additionally, a CCTV survey of the entire external drainage system is to be undertaken on a 5 year basis to check for defects not visible from ground level.

Where defects are encountered, an appropriately qualified engineer should be consulted to determine an appropriate solution.

This maintenance schedule is forming the minimum maintenance requirement for the development. The schedule should be adapted to suit any future maintenance requirements.

Written by:-



**W. Brown**

Project Civil Engineer

Checked by:-



**J. H. Collins BSc. (Hons), MCIWEM**

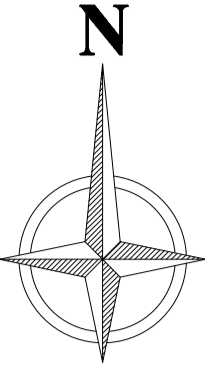
Senior Civil Engineer  
Drainage & Infrastructure

**Land to rear of 132 Scarborough Road, Bridlington, East Yorkshire - Maintenance Plan**

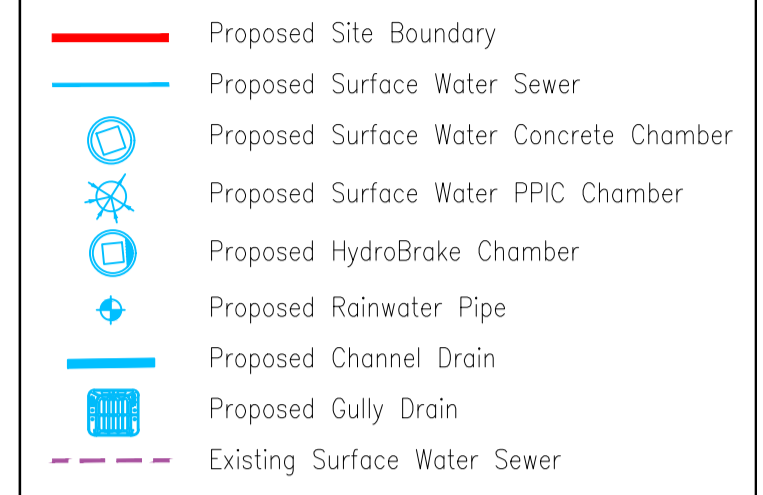
Item	Defect Check	Detailed Inspection Visual Inspection	Action Required	Replacement	Additional Comments
<b>Flow Check</b>	Surface water ponding	6 months. Lifting of manhole lids to check flows.	Check downstream for blockages. Clean system and undertake CCTV survey if issues are identified	N/A	Under the maintenance responsibility of McCarthy & Stone.
<b>Manhole Covers</b>	Broken lids.	6 months.	Replace.	When broken.	Under the maintenance responsibility of McCarthy & Stone.
<b>Manhole</b>	Blockages, surcharging.	6 months. Lifting of manhole lids to check flows.	Check downstream for blockages. Clean system and undertake CCTV survey if issues are identified	N/A	Under the maintenance responsibility of McCarthy & Stone.
<b>Drainage Channel</b>	Blockages, surcharges, broken grates	6 months. Lifting grates to check flows, check for debris and empty silt trap.	Check flow of water. Empty catchpit and clean channel. Remove debris. Check grating for damage.	Replace grating if damaged. Repair is broken.	Under the maintenance responsibility of McCarthy & Stone.
<b>Inspection Chamber</b>	Blockages, surcharging.	6 months. Lifting of manhole lids to check flows.	Check downstream for blockages. Clean system and undertake CCTV survey if issues are identified	N/A	Under the maintenance responsibility of McCarthy & Stone.
<b>Silt traps/catchpits</b>	Blockages, silt build up	6 months. Lifting of manhole to check for silt.	Empty and clean sump	N/A	Under the maintenance responsibility of McCarthy & Stone.
<b>Pipework</b>	Blockages, Cracking	6 months.	Rodding required	When damaged.	Under the maintenance responsibility of McCarthy & Stone.
<b>Guttering</b>	Blockages	6 months.	Cleaning and removal of debris	N/A	Under the maintenance responsibility of McCarthy & Stone.
<b>Access road</b>	Surface damage	6 months.	Pressure washing of surface Surface Patching when required	When damaged. (Surfacing to be patched to original specification.)	Under the maintenance responsibility of McCarthy & Stone.
<b>Attenuation Tank</b>	Standing water on site	2 Years	Check upstream and downstream chambers for flow / blockages. Clean out if found	Detailed CCTV survey to be carried out check condition / flow / silt build up	Under the maintenance responsibility of McCarthy & Stone. Reference should be made to the manufacturer's details contained with the Health & Safety File

# **Appendix I**

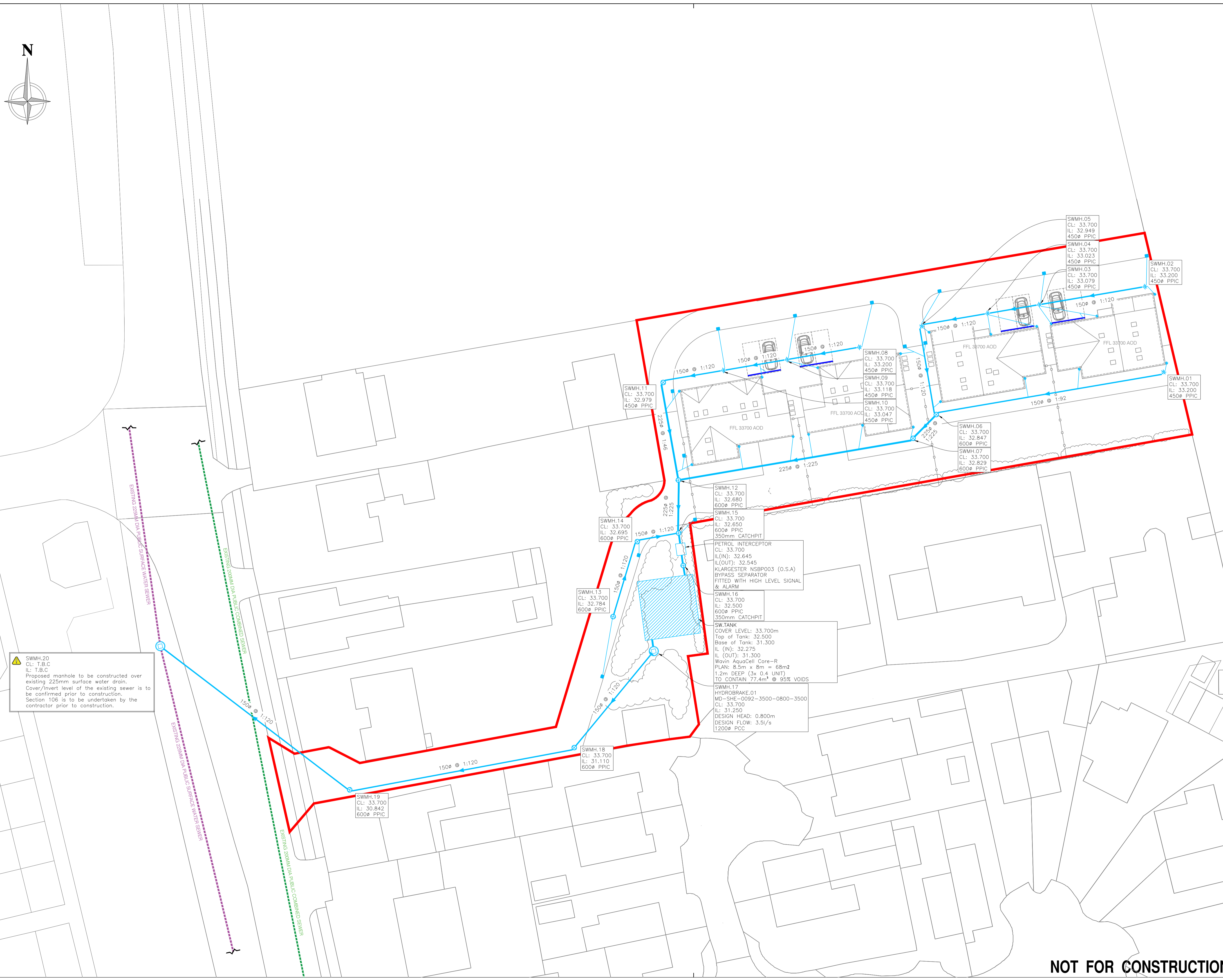
Drainage Plans



- NOTES:
1. All dimensions must be checked on site and not scaled from this drawing.
  2. The Contractor shall make a survey of the site and shall be responsible for obtaining all dimensions and levels necessary for the proper fabrication of the structure as indicated.
  3. All levels shown on this drawing are relative to Agreed Datum.
  4. This drawing is to be read in conjunction with 30047/100 Series Drawings.
  5. All existing invert levels are to be confirmed by contractor prior to construction. Connection subject to approval.



Cover Level of +33.700 has been used across the full scheme. Confirmation of proposed levels to be undertaken prior to construction



SWMH.20  
CL: T.B.C  
IL: T.B.C  
Proposed manhole to be constructed over existing 225mm surface water drain.  
Cover/Invert level of the existing sewer is to be confirmed prior to construction.  
Section 106 is to be undertaken by the contractor prior to construction.

Rev	Date	Description	DR	CH
A	15/02/24	ISSUED FOR APPROVAL	W.P.	J.H.C.

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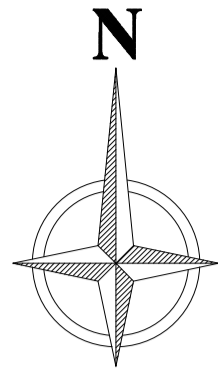
Client  
H. Linford  
J. Harris

Job Title  
Land to rear of 132,  
Scarborough Road  
Bridlington,  
East Yorkshire

Drawing Title  
**Proposed Surface Water  
Drainage Layout**

Status	APPROVAL		
Scale	1:200 @ A1	Date	Feb' 2024
Drawn By	W. Brown	Checked	J.H.C.
		Approved	J.H.C.
Dwg. No.	30047 / 103	Rev	A

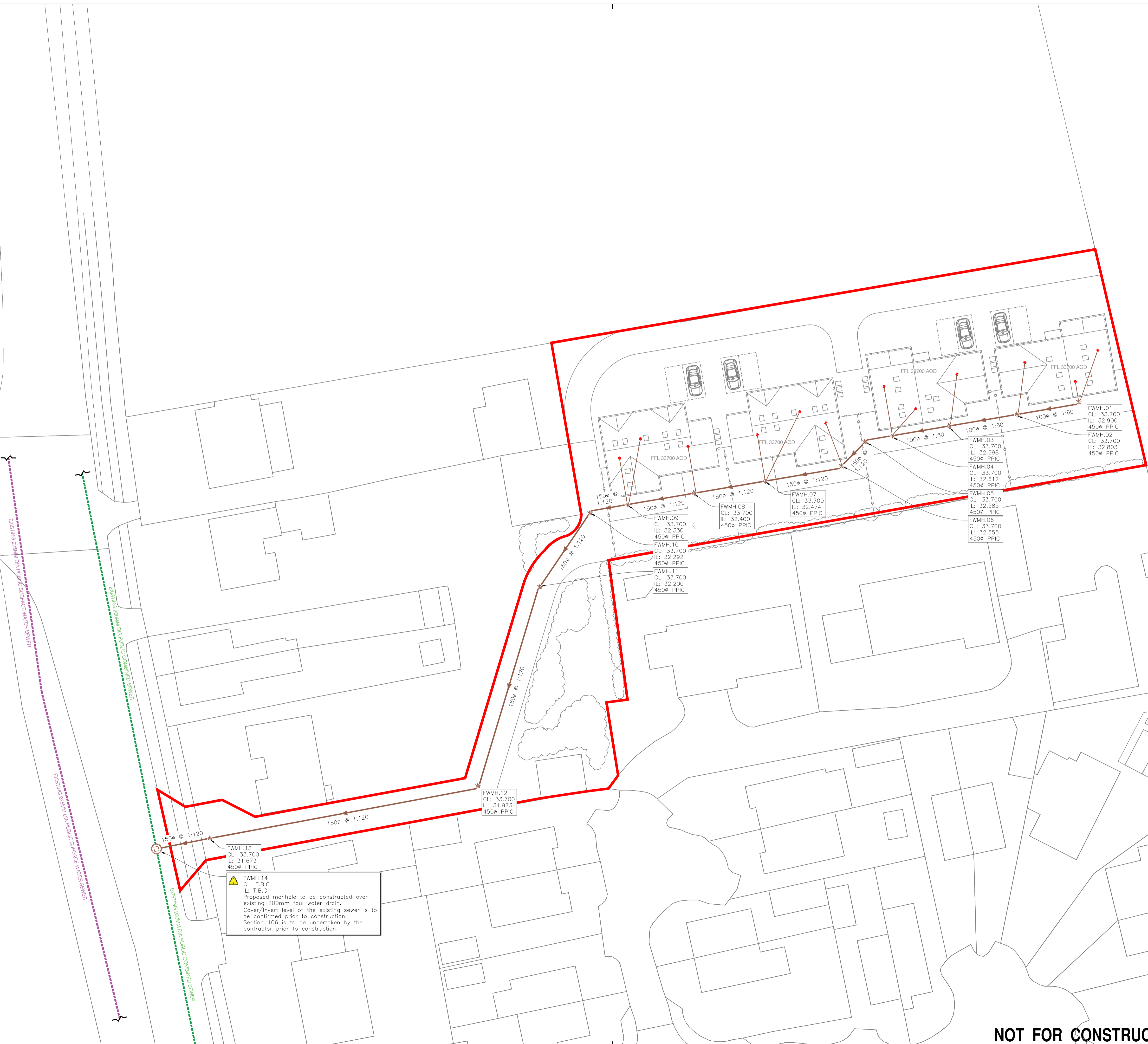
**NOT FOR CONSTRUCTION**



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  5. All existing invert levels are to be confirmed by contractor prior to construction. Connection subject to approval.

- Proposed Site Boundary
- Proposed Foul Water Sewer
- Proposed Foul Water Concrete Chamber
- Proposed Foul Water PPIC Chamber
- Proposed Soil Vent Pipe
- Existing Combined Water Sewer

Cover Level of +33.700 has been used across the full scheme. Confirmation of proposed levels to be undertaken prior to construction



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Client  
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 J. Harris

Job Title  
 Land to rear of 132,  
 Scarborough Road  
 Bridlington,  
 East Yorkshire

Drawing Title  
**Proposed Foul Water  
 Drainage Layout**

Status  
 APPROVAL

Scale  
 1:200 @ A1

Date  
 Feb' 2024

Drawn By  
 W. Brown

Checked  
 J.H.C

Approved  
 J.H.C

Drw. No.  
 30047 / 104

Rev  
 A

**NOT FOR CONSTRUCTION**