

Heritage Statement Design & Access Statement Photos



Alterations to Charity Cottage, Babington
Charity Cottage, Charity Lane, Babington, BA11 3RN

1935 Rev.

1.0 Introduction

The present application follows a pre-application advice 2023/1058/L2PA.

Following a meeting on site with Jayne Boldy, it was agreed that in principle all the internal work was acceptable because it was undertaken in the modern parts of the house. The replacement of the porch and of the garage door were the most controversial items. However, the proposed sketch design for these two items has also been agreed in principle with Jayne Boldy.

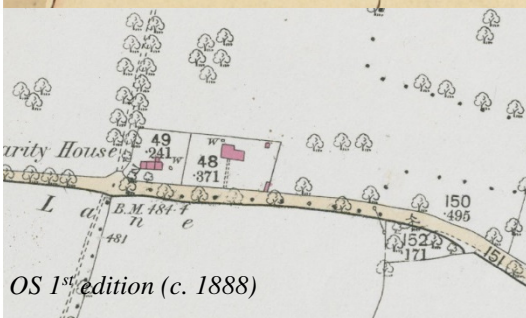
2.0 Historic and Special Importance of the Buildings



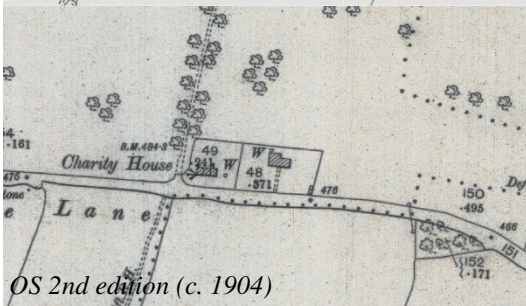
Tithe maps (c.1840)



SCC aerial photos (c. 2006)



OS 1st edition (c. 1888)



OS 2nd edition (c. 1904)



Modern OS mapping

Justification of the Listing

Heritage Category Listed Building

Grade II

List Entry Number 1177651

Date first listed 25-Jun-1986

Statutory Address CHARITY COTTAGE, CHARITY LANE

County Somerset

District Mendip (District Authority)

Parish Kilmersdon

National Grid Reference ST 70418 50443

Details

KILMERSDON CP CHARITY LANE (North side) ST75SW BABINGTON 6/147 Charity Cottage
GV II

Three cottages, now single cottage. C17. Coursed and squared rubble, double- Roman tile roof, coped verges, brick stacks. Two storeys, 6 bays, 2-light moulded stone-mullioned windows, to first floor with leaded lights, labels to ground floor; 3 oval openings in ornamental freestone surrounds to first floor. Three door openings in chamfered stone surrounds, 2 blocked with casements, one with C20 door, C20 cast-stone flat-roofed porch. C20 addition to left return is not of special interest.

Listing NGR: ST7041850443

3.0 Photos



4.0 The Buildings' Setting

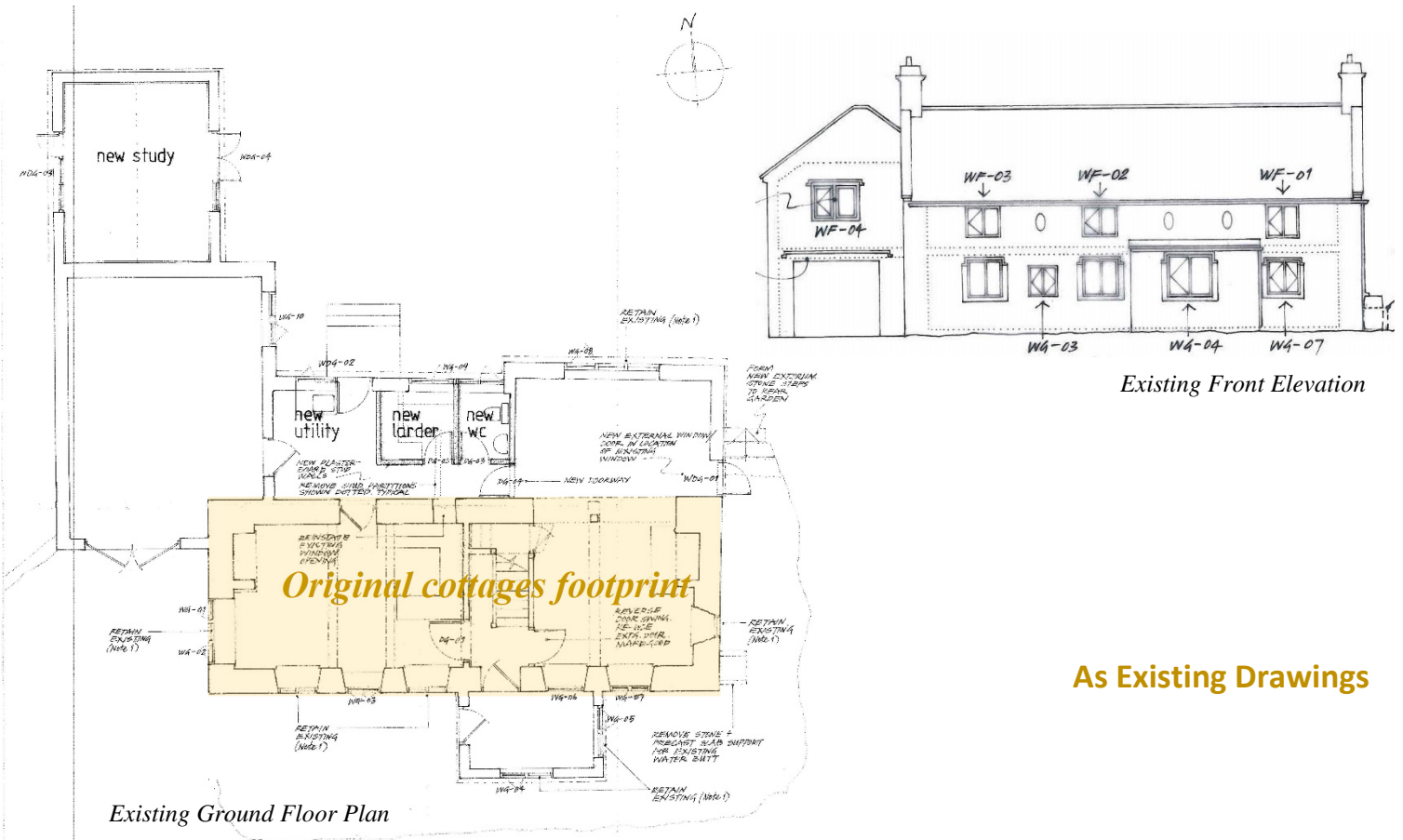
The property is located in a rural setting along a Charity Lane. To the north and east, Charity Cottage is separated from its only close neighbour, White Cottage, by a tall hedge. To the west, we can find a pair of gate piers with an overgrown drive leading to Babington House, evidence of the former entrance to this historic house. The proximity to Babington House old entrance and the quality of some of the stonework may indicate that the original three cottages may have been part of the Babington House estate.

It is not known when the three cottages became one property.

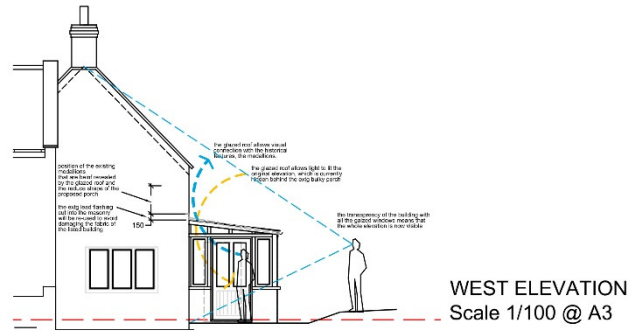
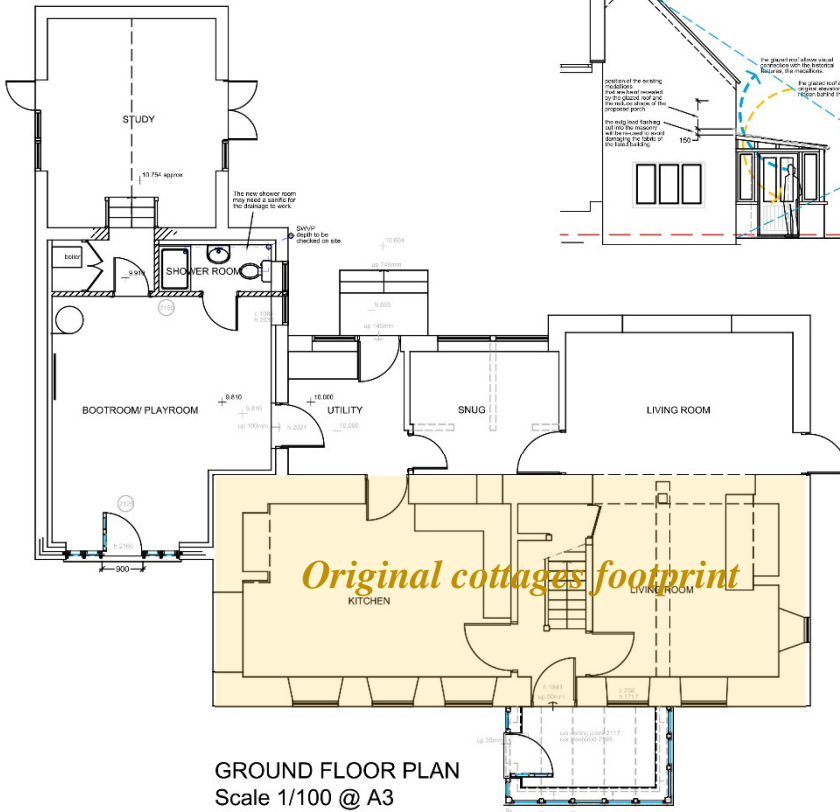
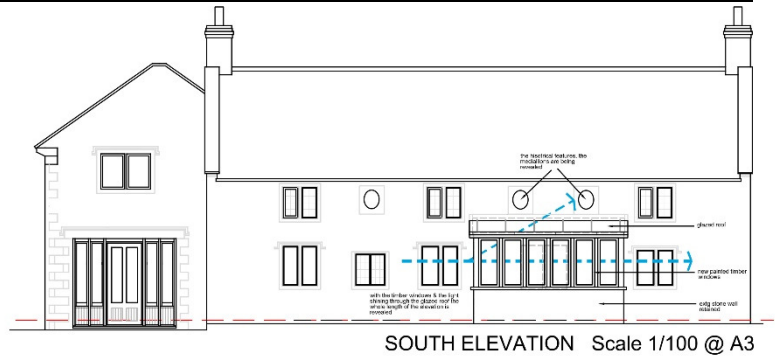
Post 1904, a good deal of work was undertaken at Charity Cottage, where the property was extended with a catslide at the back and a new perpendicular wing to the west.



5.0 Justification of the proposed works



As Proposed Drawings



The proposed internal alterations are all in the modern extension and do not affect the listed building.

The proposed new porch offers the opportunity to replace the bulky and obstructing modern porch with a lighter structure that allows the visitor to have view over the original row of cottages elevation with its historical delicate oval window features.

6.0 Specification

6.1 The new porch.

- Check that the existing foundations are on firm undisturbed ground and at least 450mm deep below ground.
- Remove the existing porch tiles, roof structure and walls up to proposed cill level (note that the bottom of glass of the new windows are to match bottom of glass in the main house elevation). The existing modern low walls will be cladded with insulated plasterboard and skim on battens.
- Install new light painted timber frame structure with new windows. The pattern of the windows is to match the vertical pattern of the main house windows. The windows will all be painted flush casement with all panes to look like openable ones. The painted timber cill will be seating on top of the existing masonry wall.
- Install new glazed roof with painted timber capping over glazing bars and painted timber rafters. The glazed roof pattern is to match the window pattern below.
- The top of the new glazed roof will be set at the same height as the existing roof. Insert a new lead flashing in the existing cut in the stonework.
- Install a new painted four panelled porch door with glazing in the top panels (note that the bottom of glass of the top panels are to match bottom of glass of the porch windows), and vertical panelling at the bottom.
- The visible main house elevation, in the porch, will be retained as it is, exposing the historical stonework.

6.2 The new glazed screen and door to replace the existing garage door.

- Remove the existing garage door.
- Install new painted timber frame structure to receive a central half glazed door with 2 half glazed side panels either side.
- The new door will be a painted four panelled door with glazing in the top panels and vertical panelling at the bottom.
- The new painted side panels will have fixed glazed panes (height of the glass to match the height of the glass in the door) with painted timber vertical panelling at the bottom.

6.3 The conversion of the existing modern garage.

- The garage is to be converted into a new boot room/playroom. The external wall will be cladded with insulated plasterboard and skim internally.
- A new shower room will be introduced using timber suds, plasterboard and skim. The new drainage will be discharged into the existing downpipe running on the outside of the garage. The assumption is that a pump will be required as the internal level is higher than the outside ground level (to be confirmed on site).

- 6.4 Creation of a new opening between the new boot room and the study.
- Allow for all the support of the structure above and install new concrete lintols into modern concrete cavity wall (all as per structural engineer).
 - Break existing concrete slab, in the existing study, form new concrete steps and side cavity tanked walls.
- 6.5 New snug room.
- Remove the modern partitions (and their doors) between the existing toilet, the pantry and the corridor to form a new snug room. Re-use one of the removed door and re-site opposite the living room door.
- 6.6 External Paint colour.
- All the existing external rendered walls to be painted with Farrow & Ball, Exterior Masonry Paint, in 'Old White'.
 - The new timber framed porch (windows & doors) and new glazed screen (replacing the garage door) to be painted with Farrow & Ball, Exterior Eggshell paint, in 'French Grey' undercoat and 'Cooking Apple' topcoat.

This document has been prepared for the sole purpose of the planning and listed building application.