

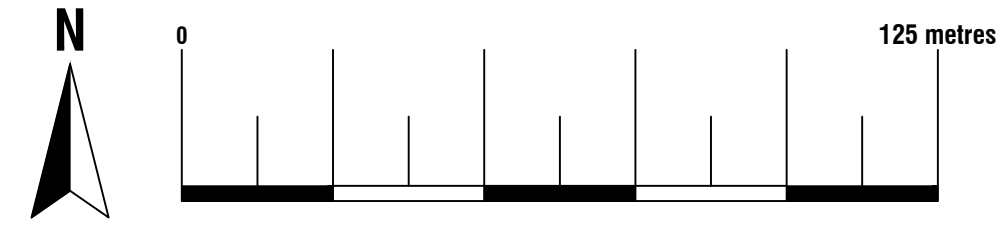


Location Plan

Scale 1:1250

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OS 100047474

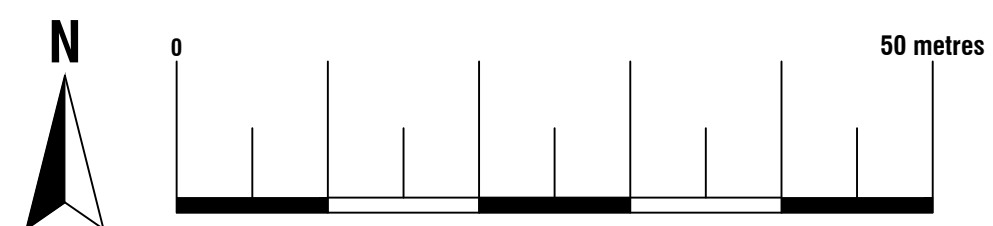


Existing Block Plan

Scale 1:500

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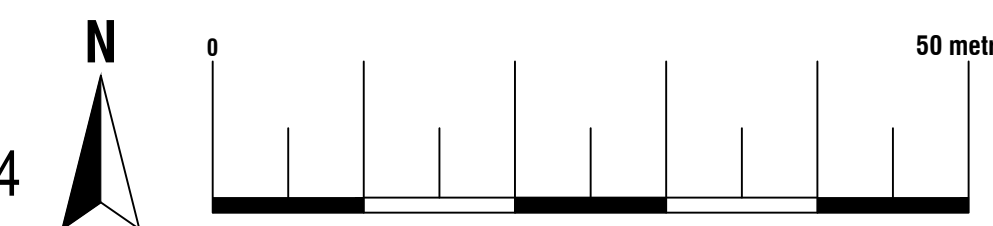


Proposed Block Plan

Scale 1:500

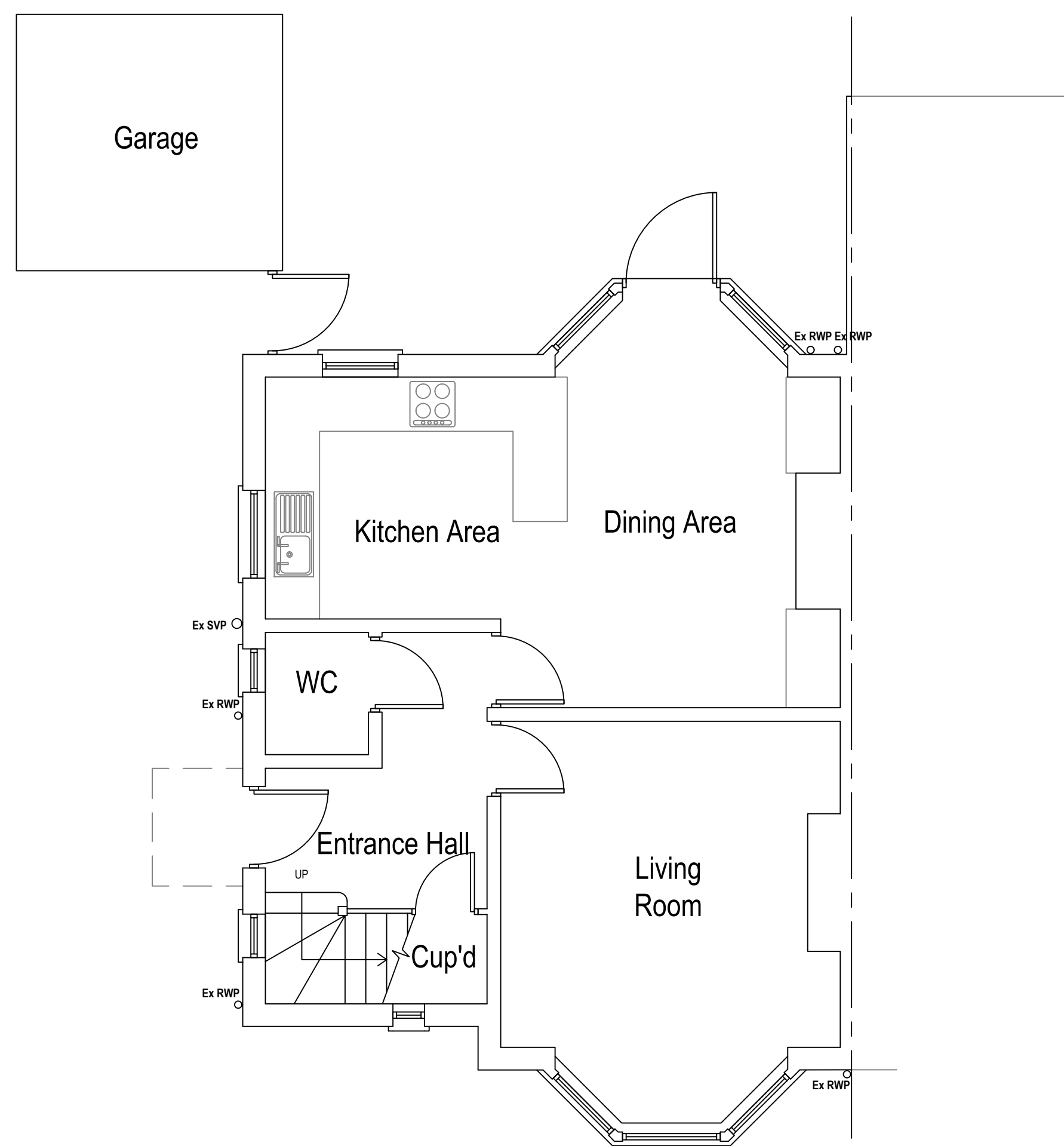
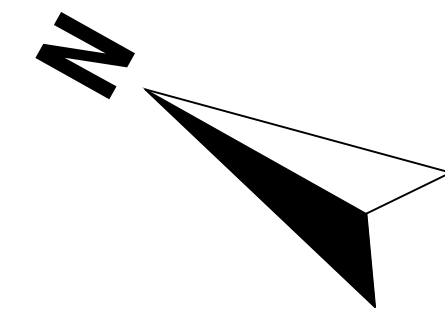
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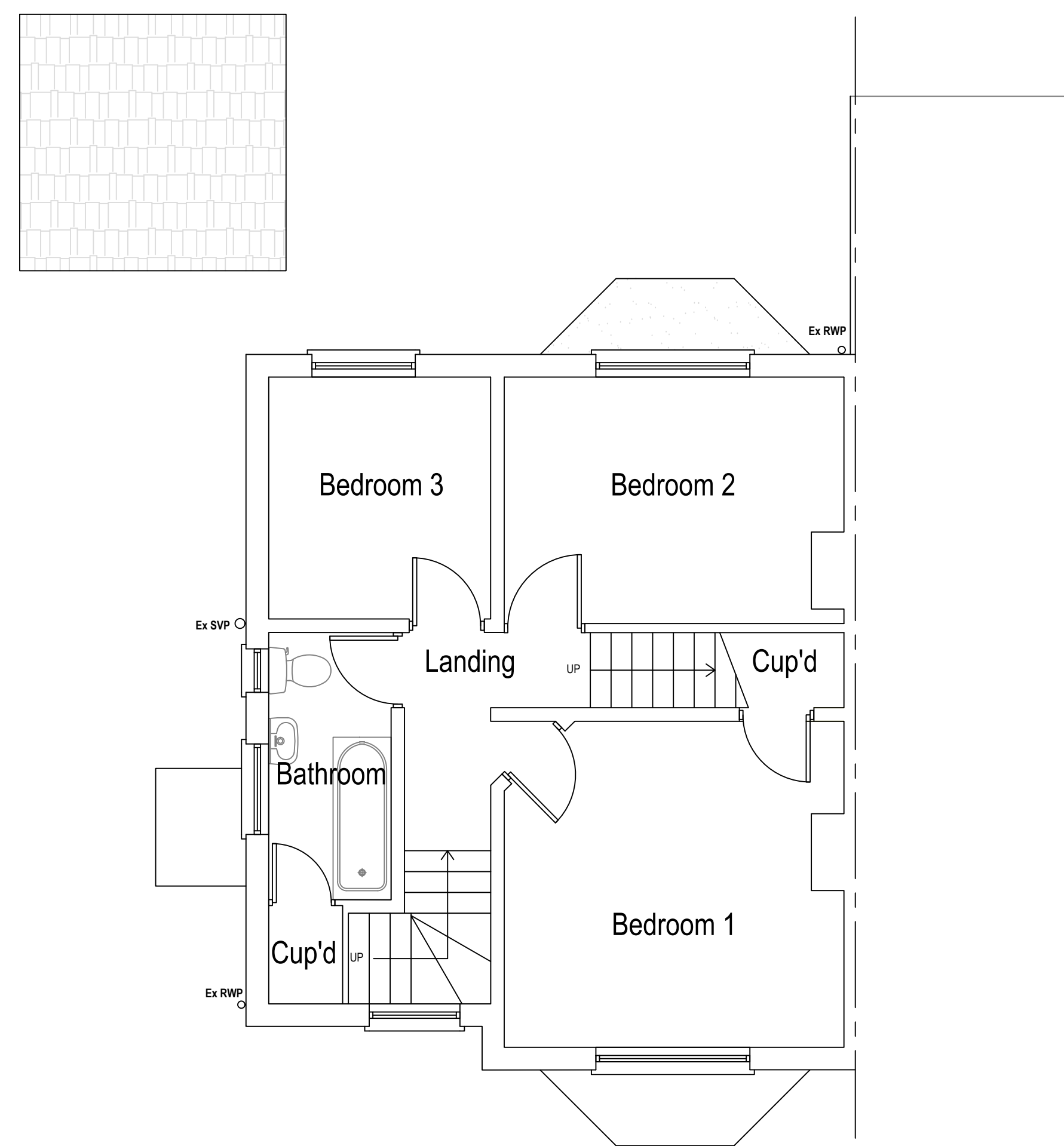


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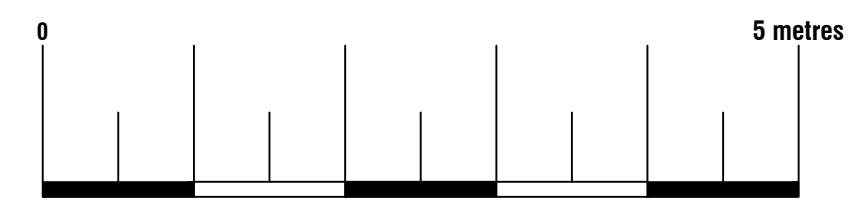
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		Sheet	24-0136 D01 REV 1
		Job	New Extension
		Scale	As Shown@A1
Title Number	HD13284	Title	As Shown



Existing Ground Floor Plan
 Scale 1:50
 Area ca. 49.26 m²



Existing First Floor Plan
 Scale 1:50
 Area ca. 46.01 m²



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Site	12 Egerton Road, Lincoln IN2 4PJ	Date	16.02.2024
		Sheet	24-0136 D02 REV 1
		Job	New Extension
		Scale	As Shown@A1
Title Number	HD13284	Title	As Shown

Symbol Key:

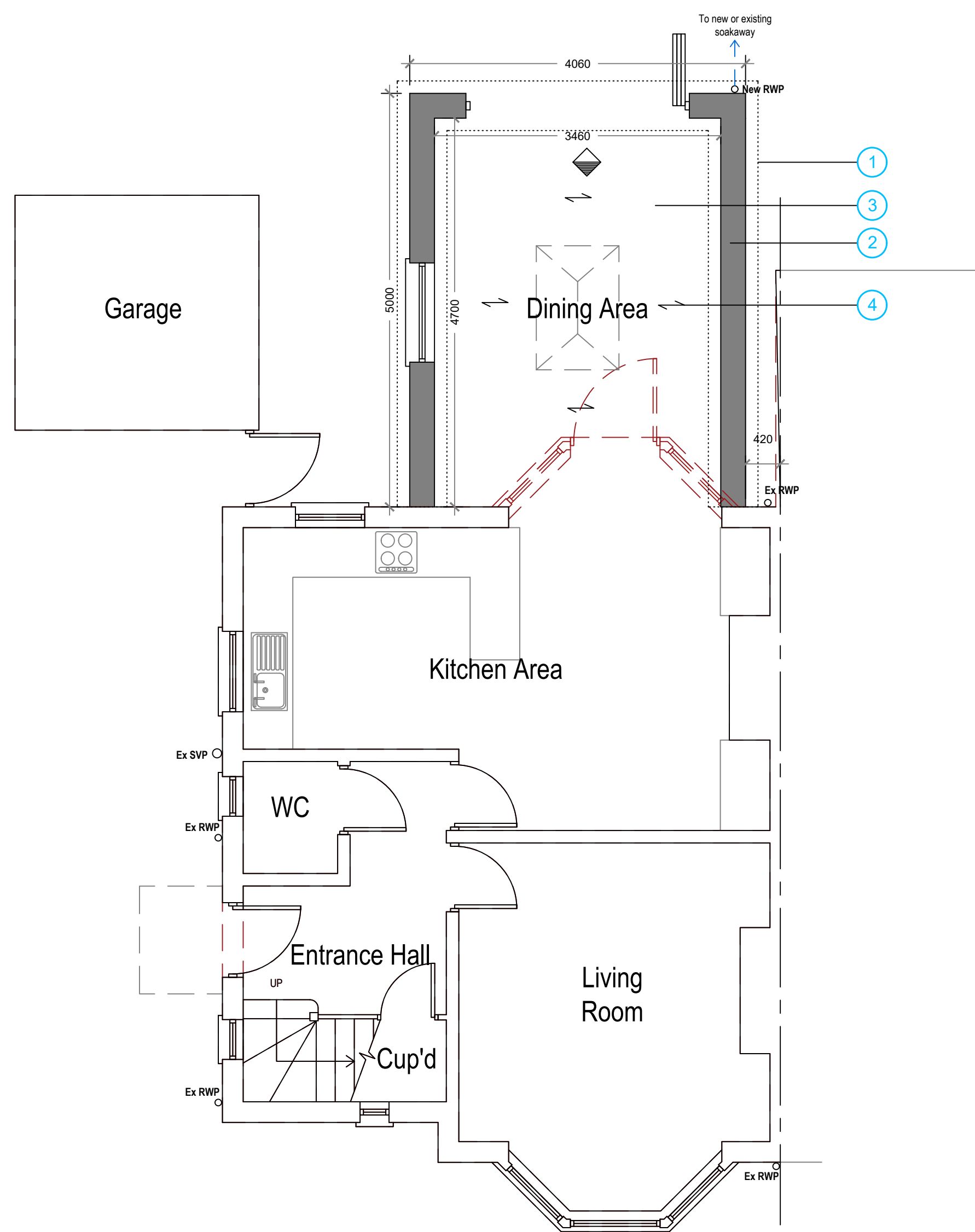
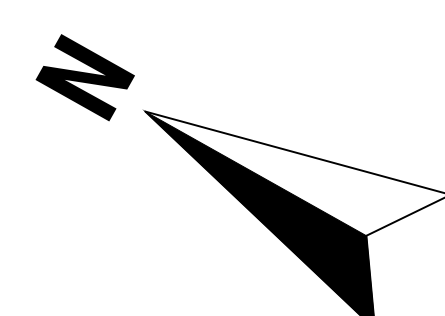
- — — — — Boundary line
- - - - - Demolished
- - - - - Details above
- Proposed foundation
- - - - - Waste drainage layout
- - - - - Rainwater drainage layout
- — — — — timber/steel beam above sized and specified by Structural Engineer - fire proofed as per spec. and detail drawing
- ◇ MV Mechanically ventilated
- ◇ SD Mains operated interlinked smoke detector
- ◇ HD Mains operated interlinked heat detector
- ◇ Escape door / window
- ◇ CM Carbon Monoxide alarm

Proposed drainage layout is indicative only and has not been surveyed. Existing foul drainage layout to be surveyed by Contractor on site and exact layout and connections are to be agreed on site with BCO before any works commence. All pipes sizes and falls as per spec. and detail drawings

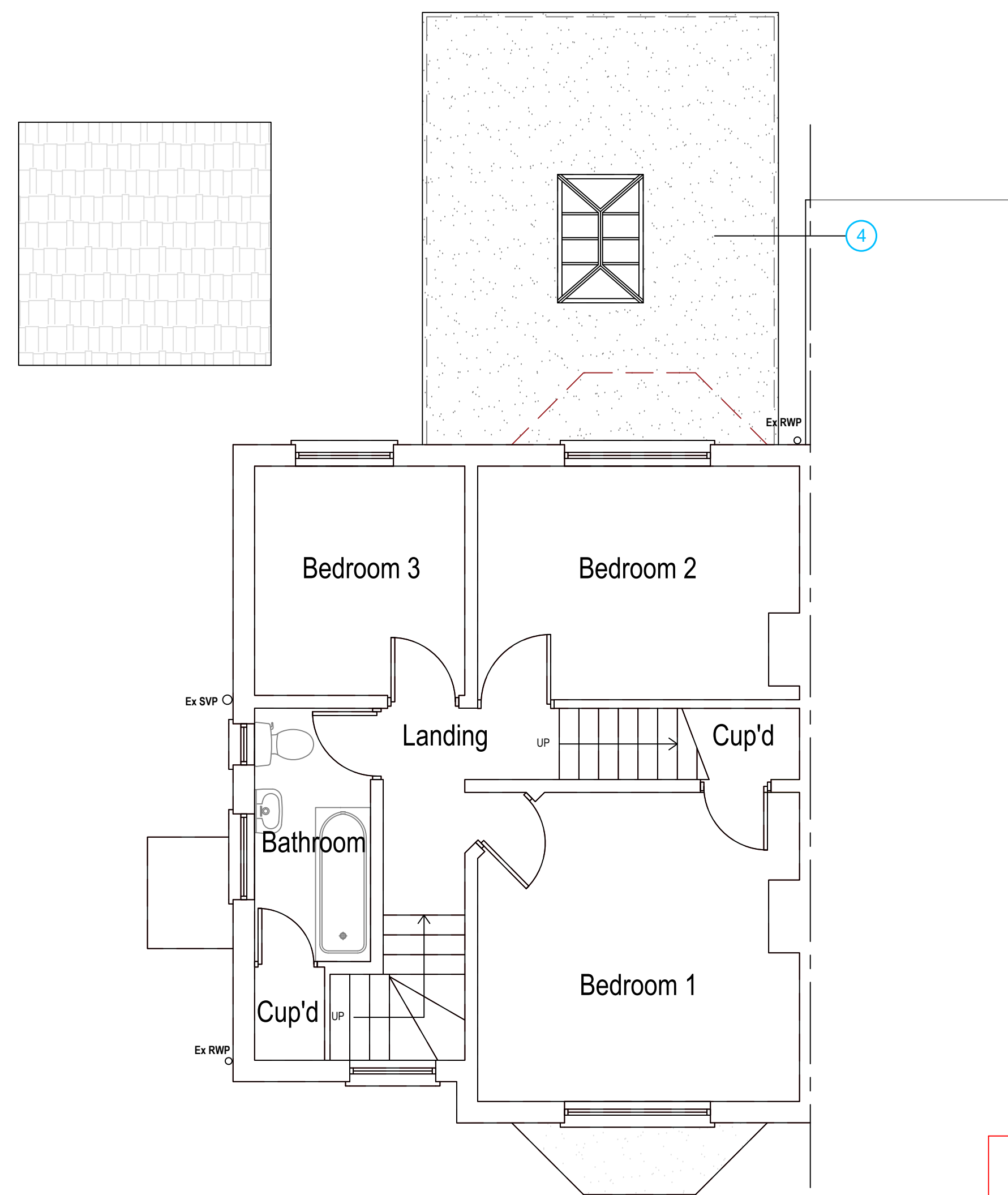
DRAWING NOTES

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The Building Regulations 2010
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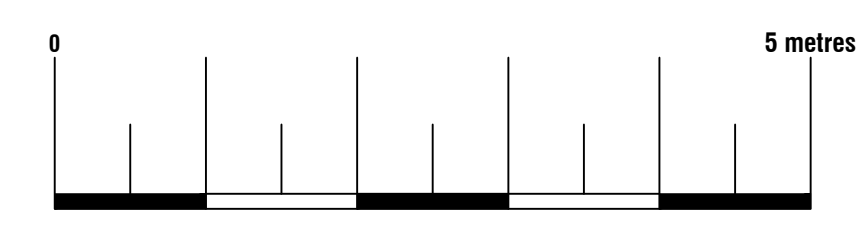


Proposed Ground Floor Plan
 Scale 1:50
 Area ca. 64.76 m²
 Additional Area: 15.50 m²



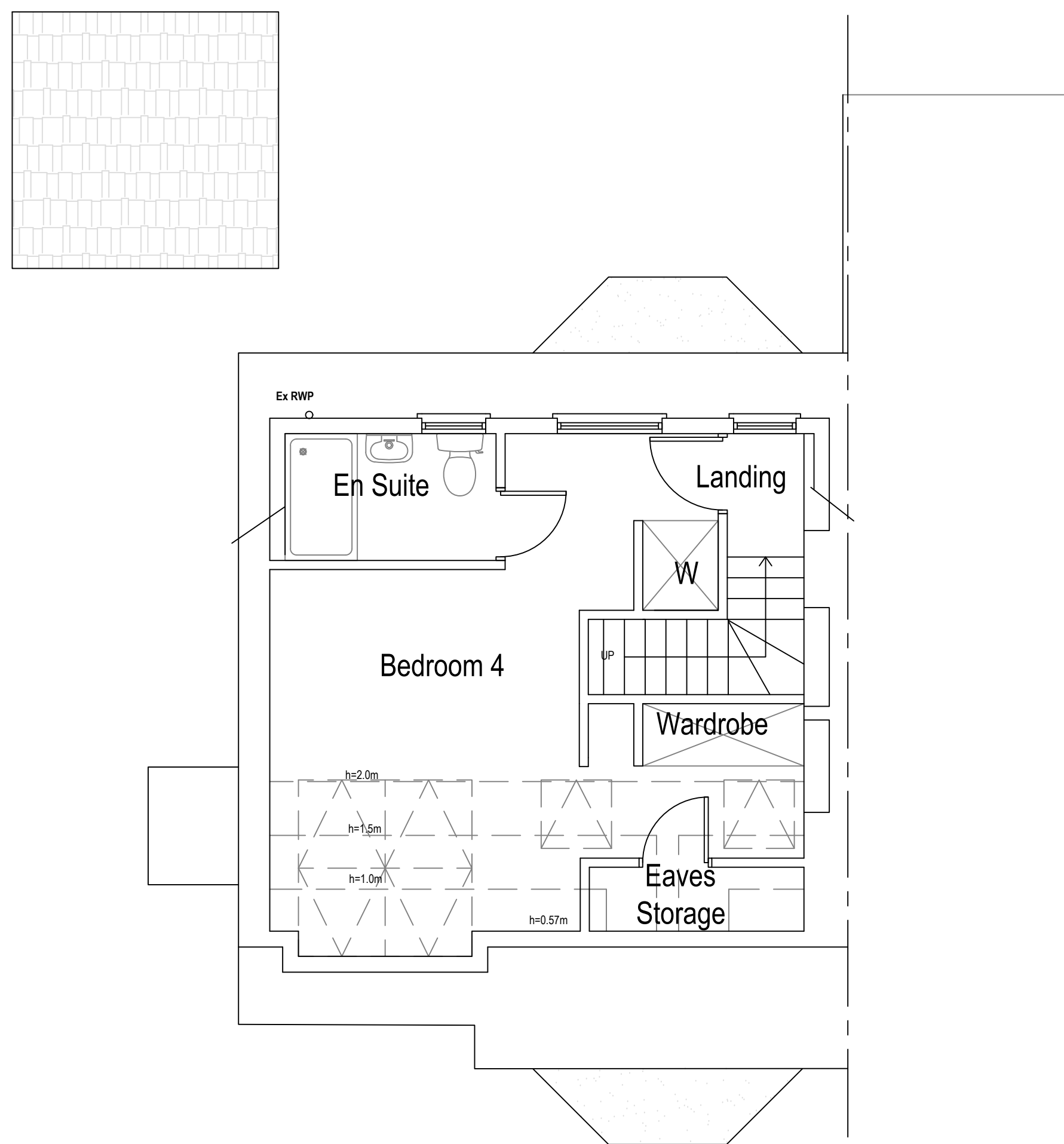
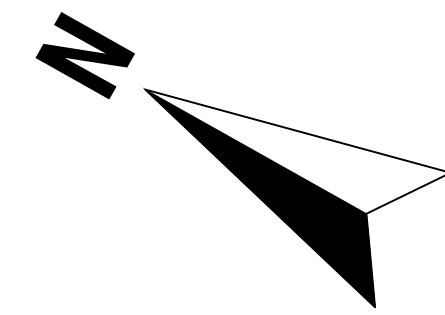
Proposed First Floor Plan
 Scale 1:50
 Area ca. 46.01 m²

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 NOT FOR CONSTRUCTION

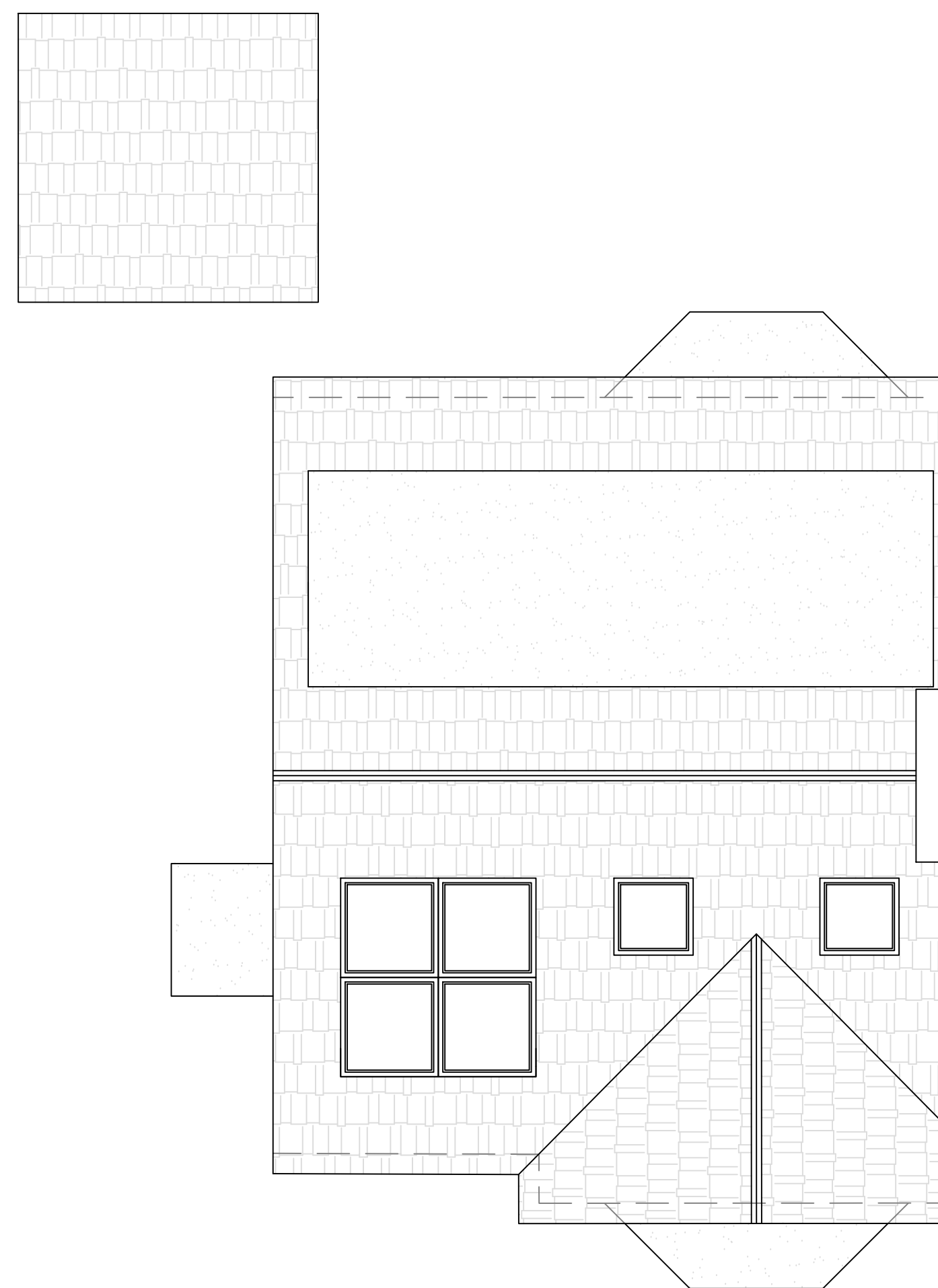


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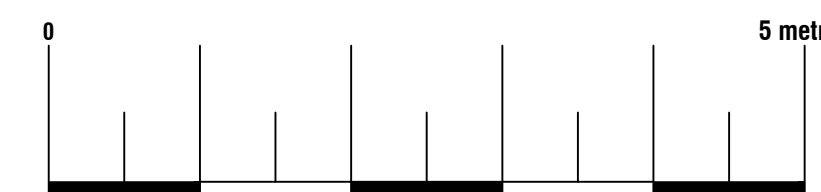
Site	12 Egerton Road, Lincoln IN2 4PJ	Date	16.02.2024
		Sheet	24-0136 D03 REV 1
		Job	New Extension
Title Number	HD13284	Scale	As Shown@A1
		Title	As Shown



Existing Loft Plan
Scale 1:50
Area ca. 27.55 m²



Existing Roof Plan
Scale 1:50








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Site	12 Egerton Road, Lincoln IN2 4PJ	Date	16.02.2024
		Sheet	24-0136 D04 REV 1
		Job	New Extension
		Scale	As Shown@A1
Title Number	HD13284	Title	As Shown

Symbol Key:

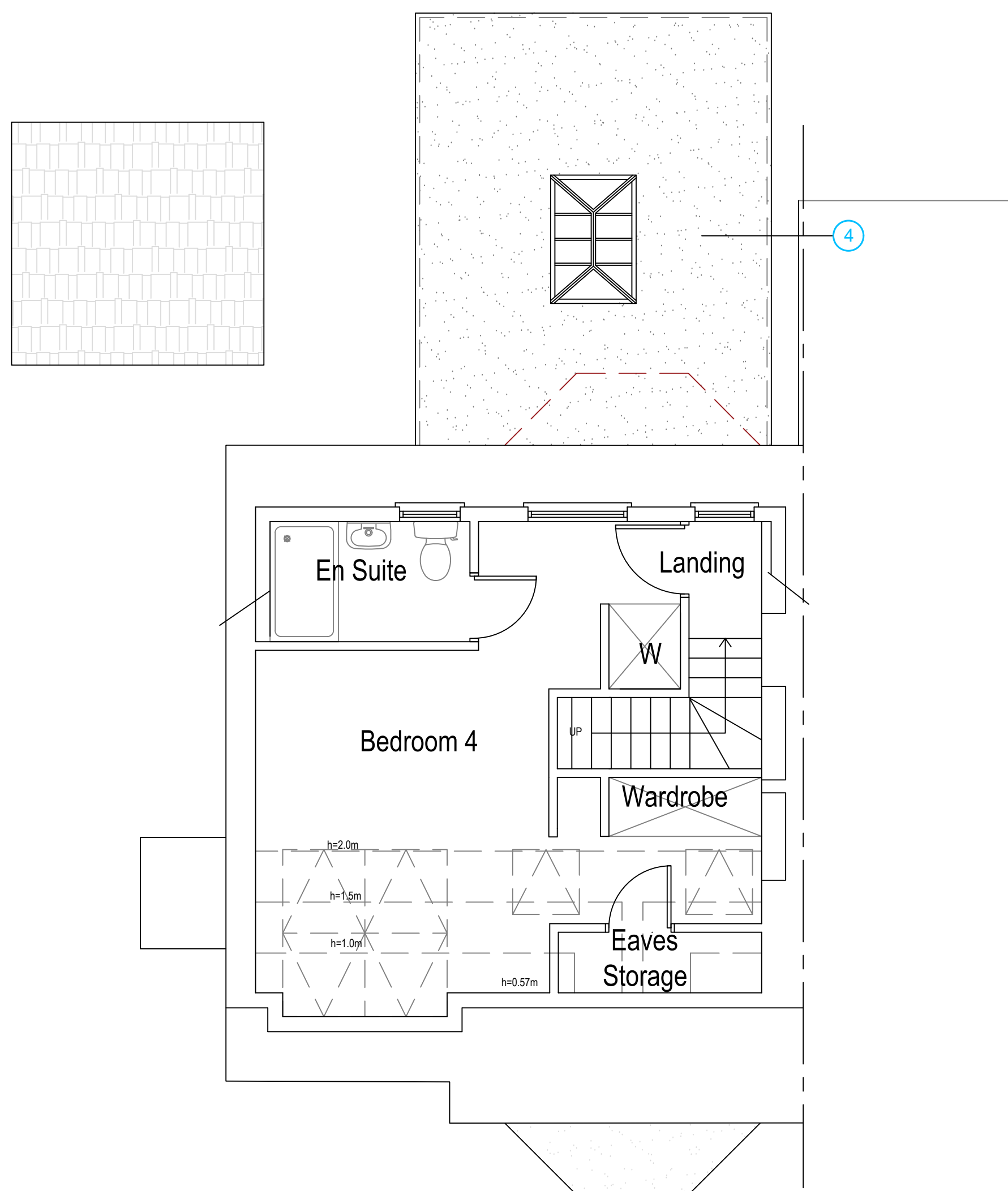
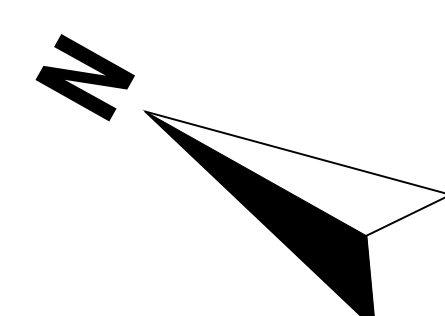
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-  Mechanically ventilated
 -  Mains operated interlinked smoke detector
 -  Mains operated interlinked heat detector
 -  Escape door / window
 -  Carbon Monoxide alarm

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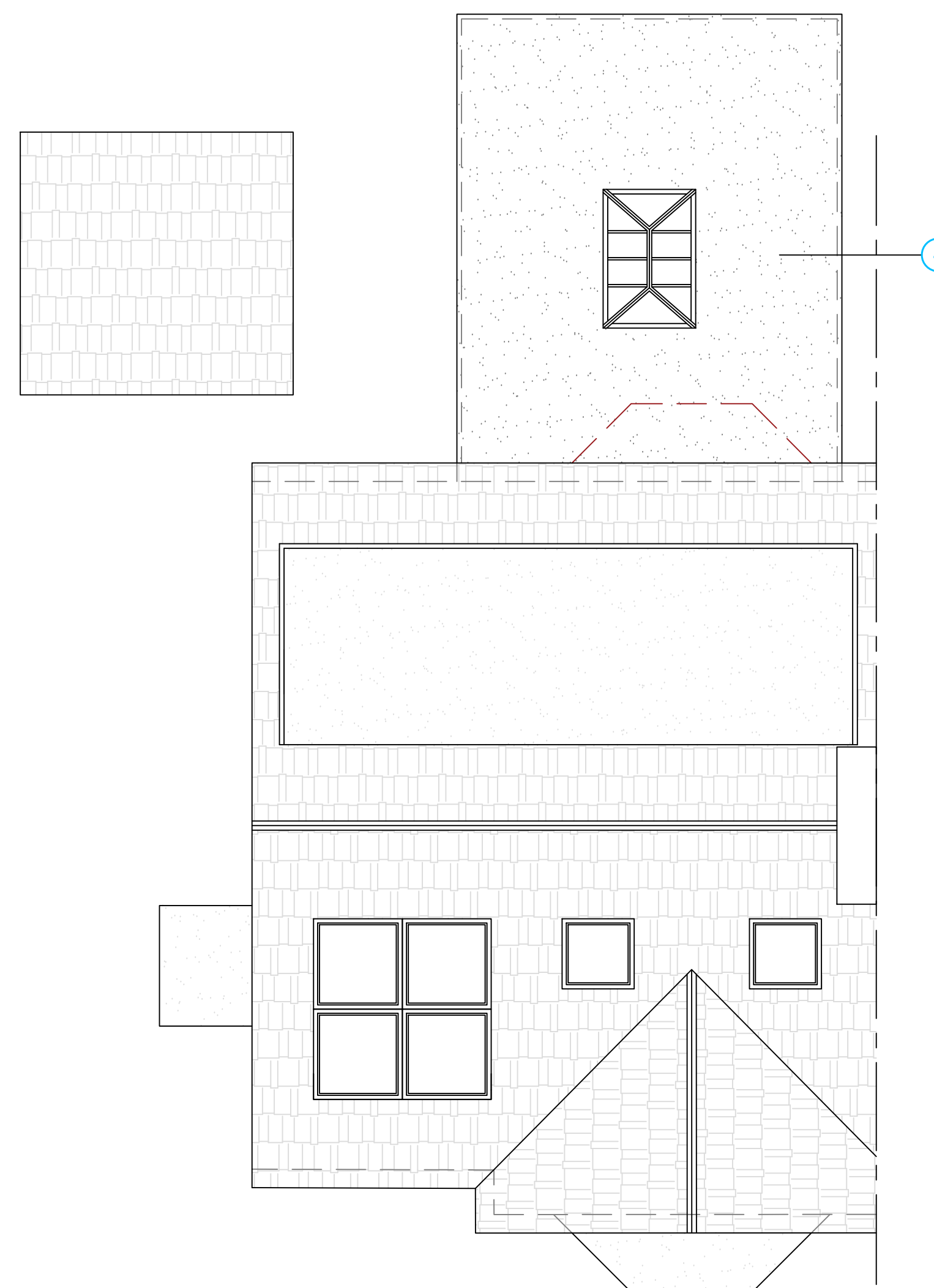
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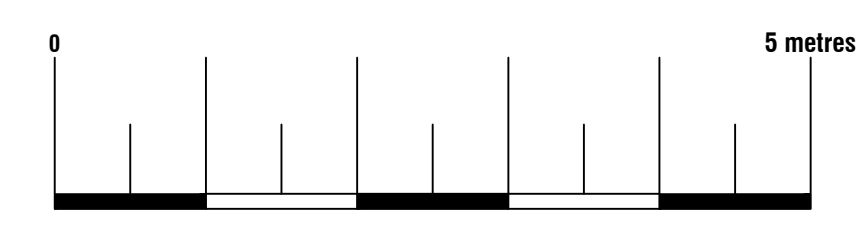


Proposed Loft Plan
 Scale 1:50
 Area ca. 27.55 m²



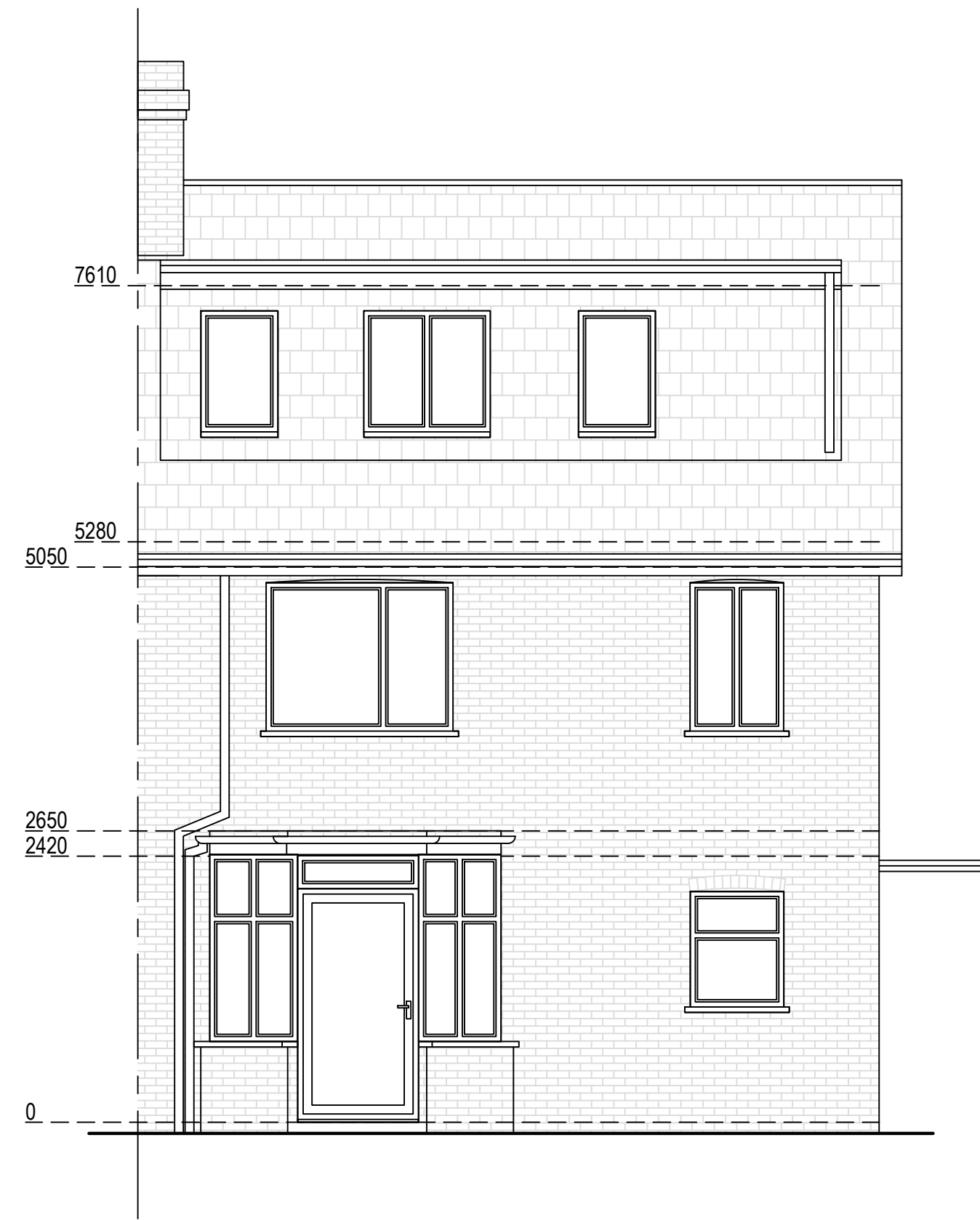
Proposed Roof Plan
 Scale 1:50

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Site	12 Egerton Road, Lincoln IN2 4PJ	Date	16.02.2024
		Sheet	24-0136 D05 REV 1
		Job	New Extension
		Scale	As Shown@A1
Title Number	HD13284	Title	As Shown



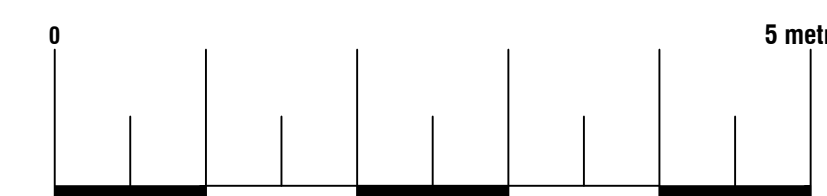
Existing Northeast Elevation
Scale 1:50



Existing Northwest Elevation
Scale 1:50



Existing Southeast Elevation
Scale 1:50

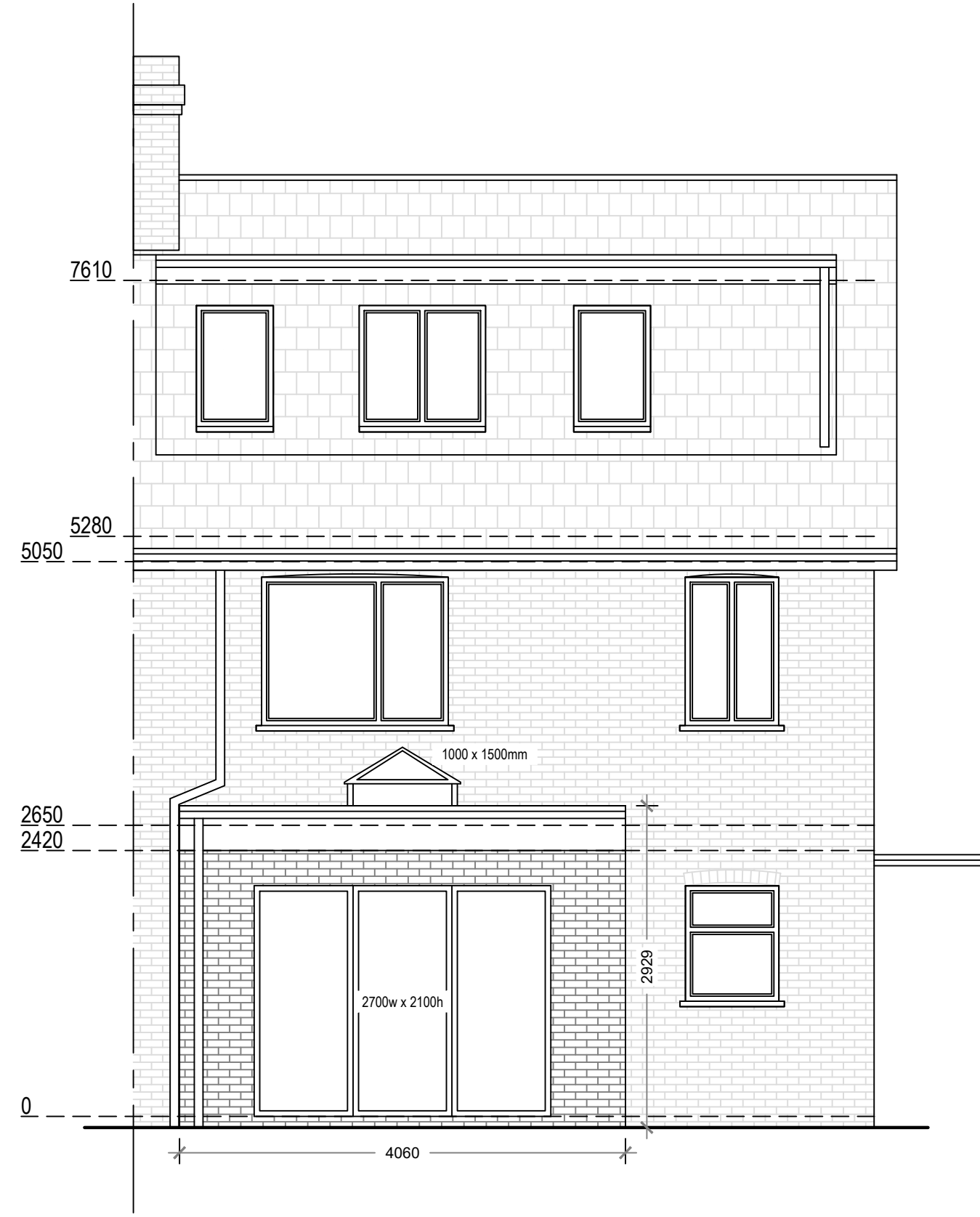


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Site	12 Egerton Road, Lincoln IN2 4PJ	Date	16.02.2024
		Sheet	24-0136 D06 REV 1
		Job	New Extension
Title Number	HD13284	Scale	As Shown@A1
		Title	As Shown

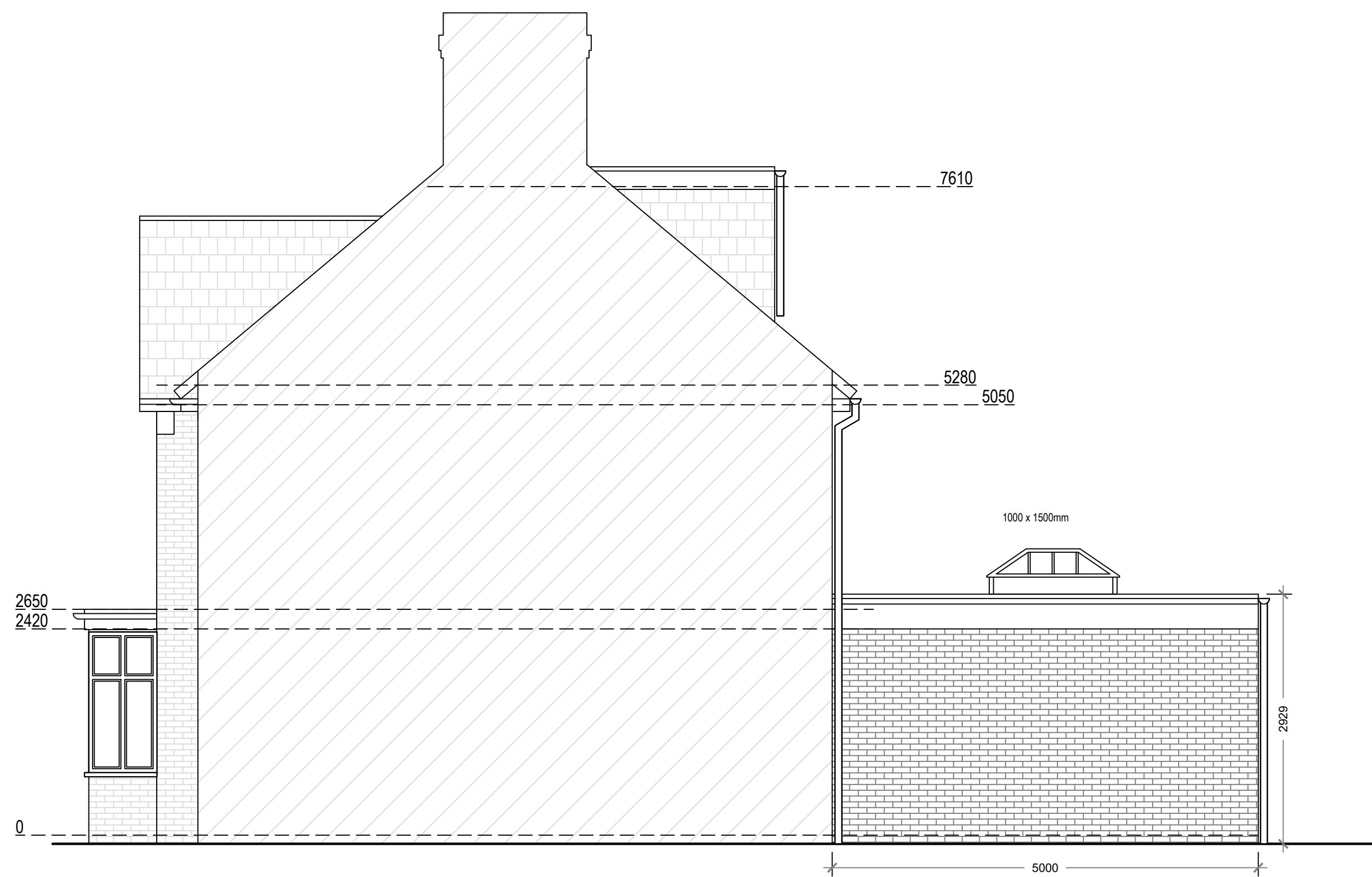
Proposed Materials:
 Walls: Brick (to match existing)
 Flat roof: EPDM (to match existing)
 Windows: Double glazed white UPVC (to match existing)
 Skylights: Size as indicated (not protruding more than 150mm above the existing roof plane)



Proposed Northeast Elevation
 Scale 1:50



Proposed Northwest Elevation
 Scale 1:50



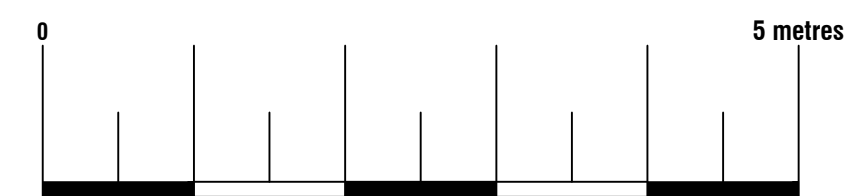
Proposed Southeast Elevation
 Scale 1:50

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Site	12 Egerton Road, Lincoln IN2 4PJ	Date	16.02.2024
		Sheet	24-0136 D07 REV 1
		Job	New Extension
Title Number	HD13284	Scale	As Shown@A1
		Title	As Shown



BUILDING REGULATIONS NOTES

PLANNING NOTE
Under new regulations that came into force on 1 October 2009 an extension or addition to a house is considered to be permitted development and not requiring an application for planning permission, subject to the following limits and conditions:
-No more than half the area of land around the "original house" would be covered by additions to buildings.
-No extension forward of the principal elevation or side elevation fronting a highway.
-No extension higher than the highest part of the roof.
-Maximum depth of a single storey rear extension to be 8m (4m on designated land or Site of Special Scientific Interest) if a detached house, or 6m (3m on designated land or Site of Special Scientific Interest) for any other house.
-Maximum height of a single storey rear extension to be four metres.
-Maximum ridge and eaves height no higher than existing house.
-Roof pitch of extensions higher than one storey to match existing house.
-Materials to be similar in appearance to the existing house.
-Upper-floor, side-facing windows to be obscure glazed, any opening to be 1.7m above the floor.

SITE PREPARATION
Ground to be prepared for new works by removing all unsuitable material, vegetable matter and tree or shrub roots to a suitable depth to prevent future growth. Seal up, cap off, disconnect and remove existing redundant services as necessary. Reasonable precautions must also be taken to avoid danger to health and safety caused by contaminants and ground gases e.g. landfill gases, radon, vapours etc. on or in the ground covered, or to be covered by the building.

CDM REGULATIONS 2015
The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organising the project).

Domestic clients
The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.

The designer can take on the duties, provided there is a written agreement between you and the designer to do so.

The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:

- (a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.
- Or
- (b) Exceeds 500 person days

THERMAL BRIDGING
Care shall be taken to limit the occurrence of thermal bridging in the insulation layers caused by gaps within the thermal element, (i.e. around windows and door openings). Reasonable provision shall also be made to ensure the extension is constructed to minimise unwanted air leakage through the new building fabric.

MATERIALS AND WORKMANSHIP
All works are to be carried out in a workmanlike manner. All materials and workmanship must comply with Regulation 7 of the Building Regulations, all relevant British Standards, European Standards, Agreement Certificates, Product Certification of Schemes (UKa Marks) etc. Products conforming to a European technical standard or harmonised European product should have a CE marking.

EXISTING STRUCTURE
Existing structure including foundations, beams, walls and lintels carrying new and altered loads are to be exposed and checked for adequacy prior to commencement of work and as required by the Building Control Officer.

ELECTRICAL
All electrical work required to meet the requirements of Part P (electrical safety) must be designed, installed, inspected and tested by a competent person registered under a competent person self certification scheme such as BRE certification Ltd, BS1, NICEIC Certification Services or Zurich Ltd. An appropriate BS7671 Electrical Installation Certificate is to be issued for the work by a person competent to do so. A copy of a certificate will be given to Building Control on completion.

INTERNAL LIGHTING
Install low energy light fittings that only take lamps having a luminous efficacy better than 80 lumens per circuit watt. All fixed to have lighting capacity (lm) 185 x total floor area, to comply with Part L of the current Building Regulations and the Domestic Building Services Compliance Guide.

HEATING
Extend all heating and hot water services from existing and provide new TRVs to radiators. Heating system to be designed, installed, tested and fully certified by a GAS SAFE registered specialist. All work to be in accordance with the Local Water Authorities bye laws, the Gas Safety (Installation and Use) Regulations 1998 and IEE Regulations.

SAFETY GLAZING
All glazing in critical locations to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations, i.e. within 1500mm above floor level in doors and side panels within 3000mm of door opening and within 800mm above floor level in windows.

NEW AND REPLACEMENT WINDOWS
New and replacement windows to be double glazed with 16mm argon gap and soft coat low-E glass. Window Energy Rating to be Band C or better and to achieve U-value of 1.4 W/m²K. The door and window openings should be limited to 25% of the extension floor area plus the area of any existing openings covered by the extension.

NEW AND REPLACEMENT DOORS
New and replacement doors to achieve a U-Value of 1.40W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

BACKGROUND AND PURGE VENTILATION
Background ventilation - Controllable background ventilation via trickle vents to BS EN 13141-3 within the window frame to be provided to new habitable rooms at a rate of min 8000mm³ and to kitchens, bathrooms, WCs and utility rooms at a rate of 4000mm³. Where an open plan kitchen diner is proposed, a minimum of 3 trickle vents are necessary within the room (each 8000mm³).
Purge ventilation - New Windows/doorlights to have operable area in excess of 1/20th of their floor area, if the window opens more than 30° or 1/10th of their floor area if the window opens less than 30°. Internal doors should be provided with a 10mm gap below the door to aid air circulation.
Ventilation provision in accordance with the Domestic Ventilation Compliance Guide.

NEW EXTERNAL DOORS
New external doors to achieve a U-Value of 1.40W/m²K. Glazed areas to be double glazed with 16mm argon gap and soft low-E glass. Glass to be toughened or laminated safety glass to BS 6206, BS EN 14179 or BS EN ISO 12543-1:2011 and Part K (Part N in Wales) of the current Building Regulations.

LINTELS
For uniformly distributed loads and standard 2 storey domestic loadings only
Lintel widths are to be equal to wall thickness. All lintels over 750mm sized internal door openings to be 65mm deep pre-stressed concrete plank lintels. 150mm deep lintels are to be used for 900mm sized internal door openings. Lintels to have a minimum bearing of 150mm on each end. Any existing lintels carrying additional loads are to be exposed for inspection at commencement of work on site. All pre-stressed concrete lintels to be designed and manufactured in accordance with BS 8110, with a concrete strength of 60 or 40 N/mm² and incorporating steel strands to BS 5958 to support loadings assessed to BS 5977 Part 1.
For other structural openings provide proprietary insulated steel lintels suitable for spans and loadings in compliance with Approved Document A and lintel manufacturers standard tables. Stop ends, DPC keys and weep holes to be provided above all externally located lintels.

MOVEMENT JOINTS
Movement joints to be provided at the following maximum spacing:
Clay brickwork - 12m.
Calcium silicate brick - 7.5m.
Lightweight concrete block - density not exceeding 1,500kg/m³ - 6m.
Dense concrete block - density exceeding 1,500kg/m³ - 7.5m.
Any masonry in a parapet wall (length to height ratio greater than 2:1) - half the above spacings and 1.5m from corners.
Movement joint widths for clay bricks to be not less than 1.3mm i.e. 12m ÷ 16mm and for other masonry not less than 10mm.
Additional movement joints may be required where the aspect ratio of the wall (length ÷ height) is more than 3:1.
Considerations to be given to BS 5628 Code of practice for use of masonry.

FLAT ROOF RESTRAINT
100m x 30mm C16 grade timber wall plates to be strapped to walls with 1000mm x 30mm x 5mm galvanneal mild steel straps at maximum 2.0m centres fixed to internal wall faces.

LEAD WORK AND FLASHINGS
All lead flashings, any valleys or soakers to be Code 5 lead and laid according to Lead Development Association. Flashings to be provided to all jambos and below window openings with welded upstands. Joints to be lapped min 150mm and lead to be dressed 200mm under tiles, etc. All work to be undertaken in accordance with the Lead Development Association recommendations.

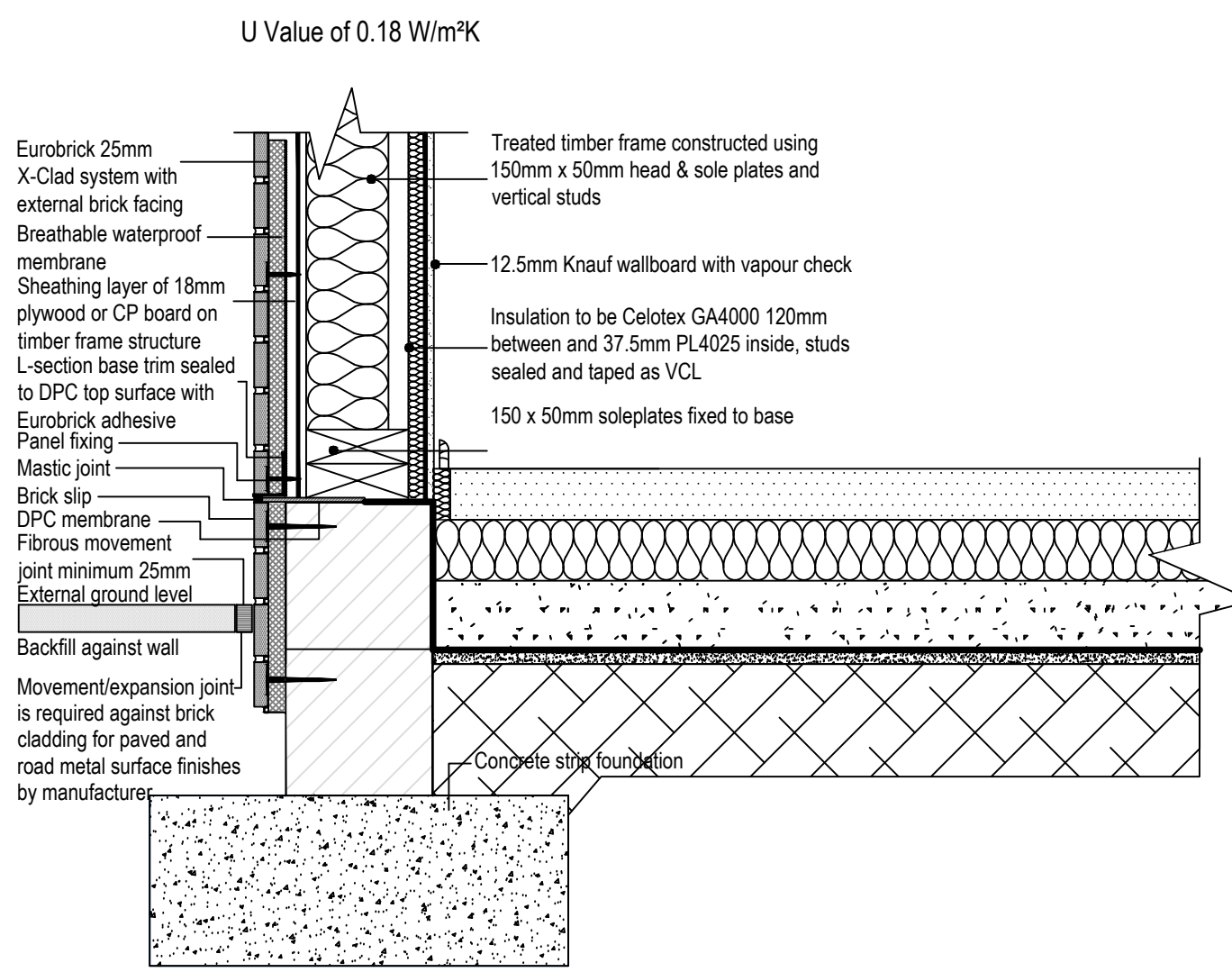
RAINWATER DRAINAGE
New rainwater goods to be new 110mm UPVC half round gutters taken and connected into 68mm dia UPVC downpipes. Rainwater taken to new soakaway, situated a min distance of 5.0m away from any building, via 110mm dia UPVC pipes surrounded in 150mm granular fill. Soakaway to be min of 1 cubic metre capacity (or to depth to Local Authorities approval) with suitable granular fill and with geotextile surround to prevent migration of fines. If necessary carry out a porosity test to determine design and depth of soakaway.

SOAKAWAY USING CRATES
Trench of soakaway to be provided slightly larger than designed depth after porosity test (if required) but just over 1m³ min from invert level of pipe. Provide suitable geotextile over the base and up the sides of the trench over 100mm level and compact bed of coarse sand. Install AquaCell crate units or equivalent as manufacturer's details. Geotextile to be wrapped around crates. Provide 100mm of coarse sand between the trench walls and over the AquaCell structure. Backfill with suitable material.

ESCAPE WINDOWS / DOORS
Provide emergency egress windows / doors to any ground floor inner rooms. Windows to have an unobstructed operable area of 450mm high x 450mm wide, minimum 0.33m². The bottom of the operable area should be not more than 1100mm above the floor. The window should enable the person to reach a place free from danger from fire.

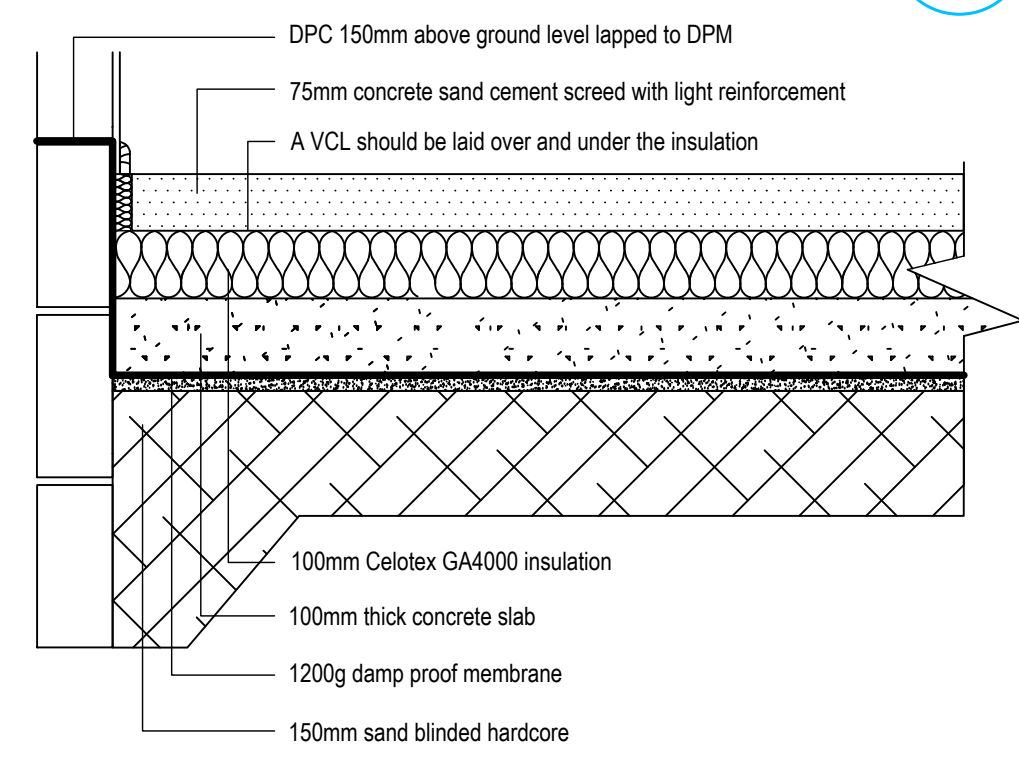
FOUNDATION / TIMBER FRAME WALL FINISHED WITH EUROBRICK

1 2



SOLID GROUND FLOOR

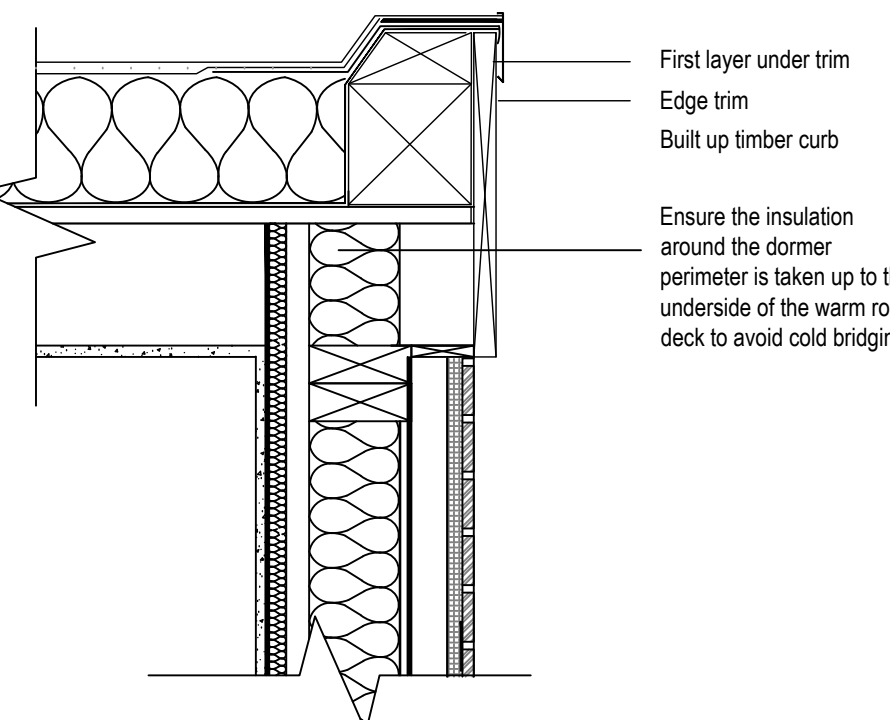
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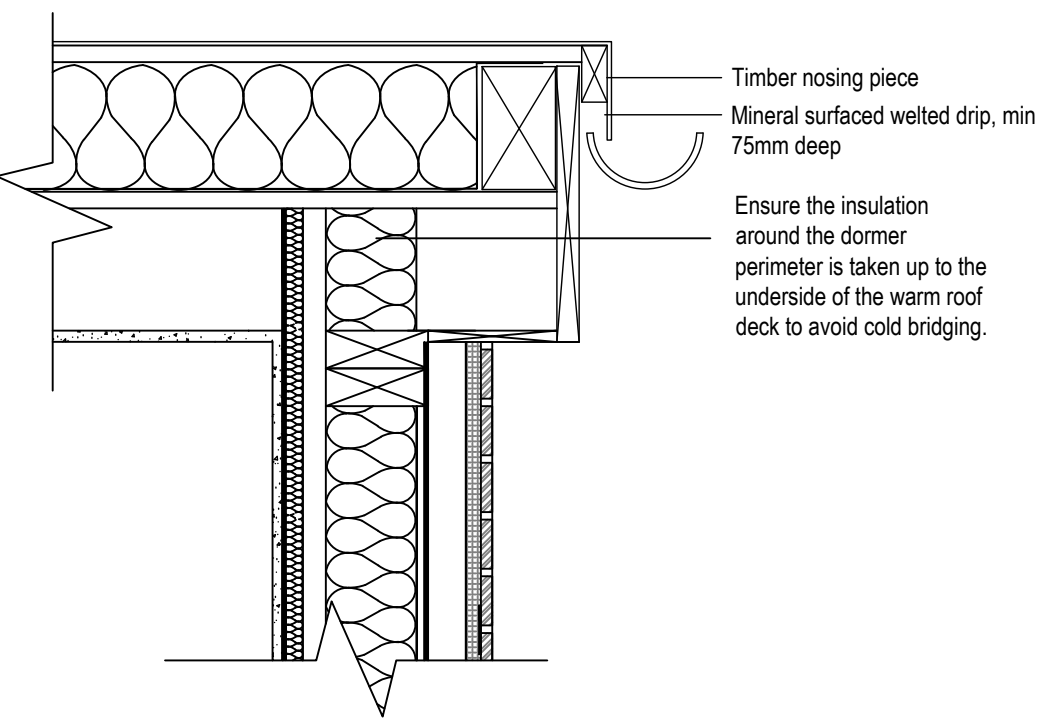
SOLID FLOOR INSULATION OVER SLAB
To meet min U value required of 0.18 W/m²K
P/A ratio 1.0
Solid ground floor to consist of 150mm consolidated well-rammed hardcore. Blinded with 50mm sand blinding. Provide 100mm ST2 or Gen2 ground bearing slab concrete mix to conform to BS 8500-2 over a 1200 gauge polythene DPM. DPM to be lapped in with DPC in walls. Floor to be insulated over slab and DPM with min 100mm thick Celotex GA4000. 25mm insulation to continue around floor perimeters to avoid thermal bridging. A VCL should be laid over the insulation boards and turned up 100mm at room perimeters behind the skirting, all joints to be lapped 150mm and sealed. Finish with 75mm sand/cement finishing screed with light mesh reinforcement.

Where drain runs pass under new floor, provide A142 mesh 1.0m wide and min 50mm concrete cover over length of drain.
Where existing suspended timber floor air bricks are covered by new extension, ensure cross-ventilation is maintained by connecting to 100mm dia UPVC pipes with 100mm concrete cover laid under the extension. Pipes to terminate at new 65mm x 215mm air bricks with cavity tray over.

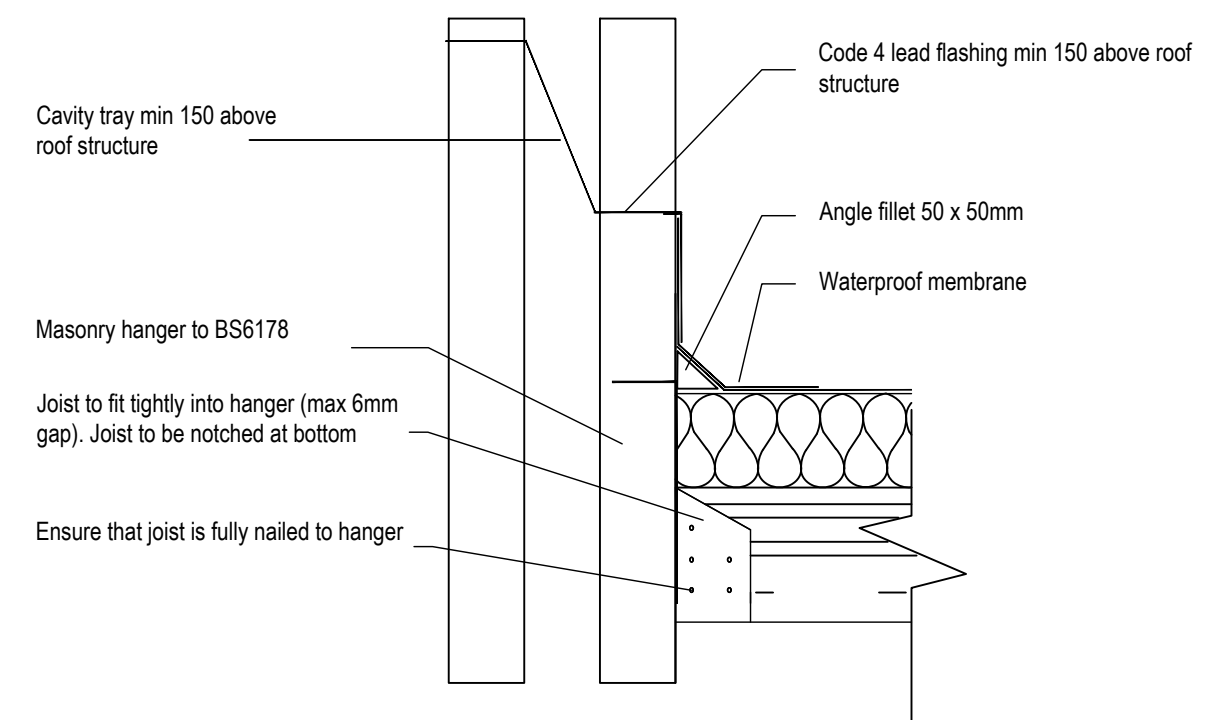
VERGE DETAIL



WELTED DRIP TO EXTERNAL GUTTER



FLAT ROOF / WALL ABUTMENT



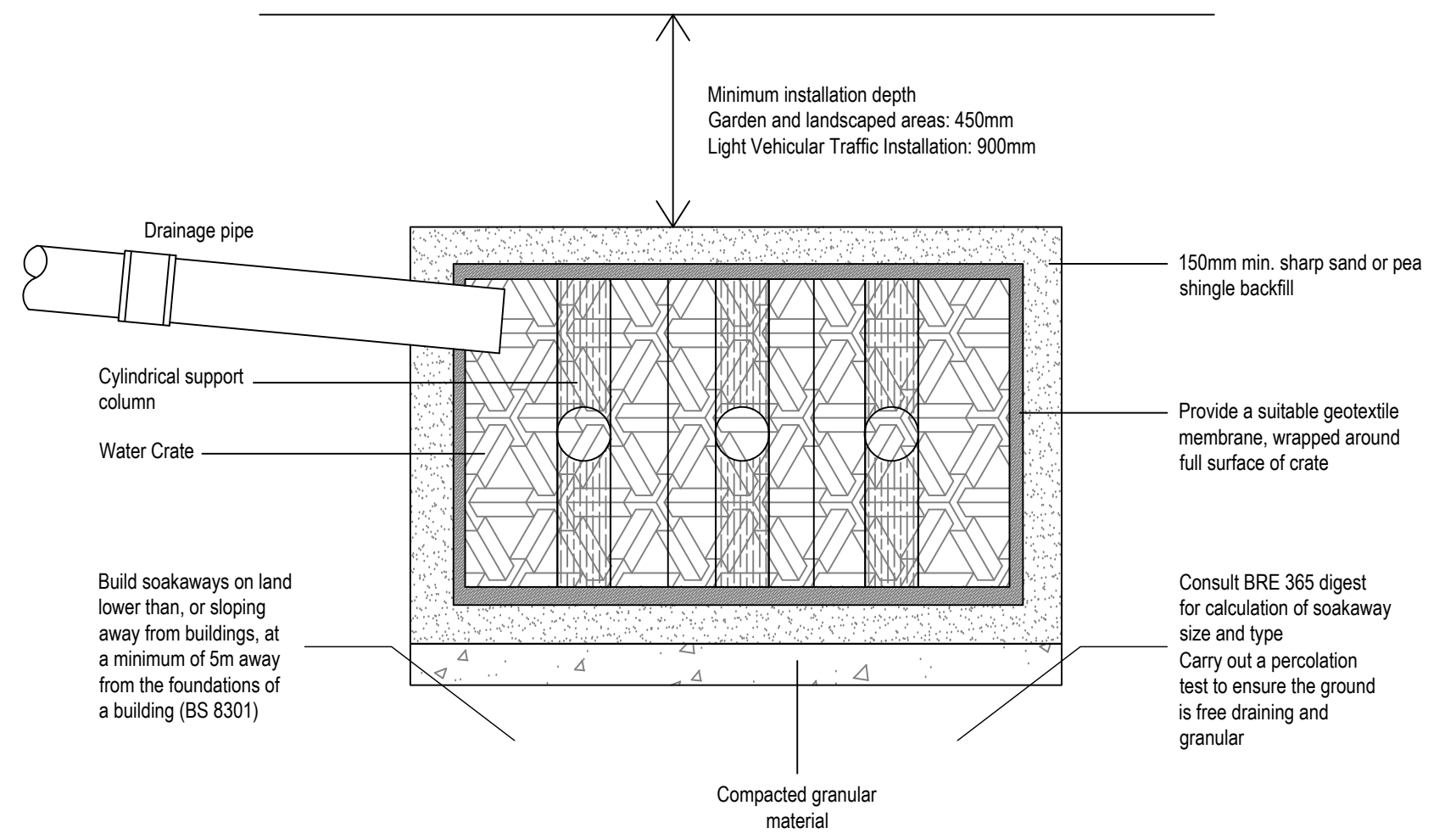
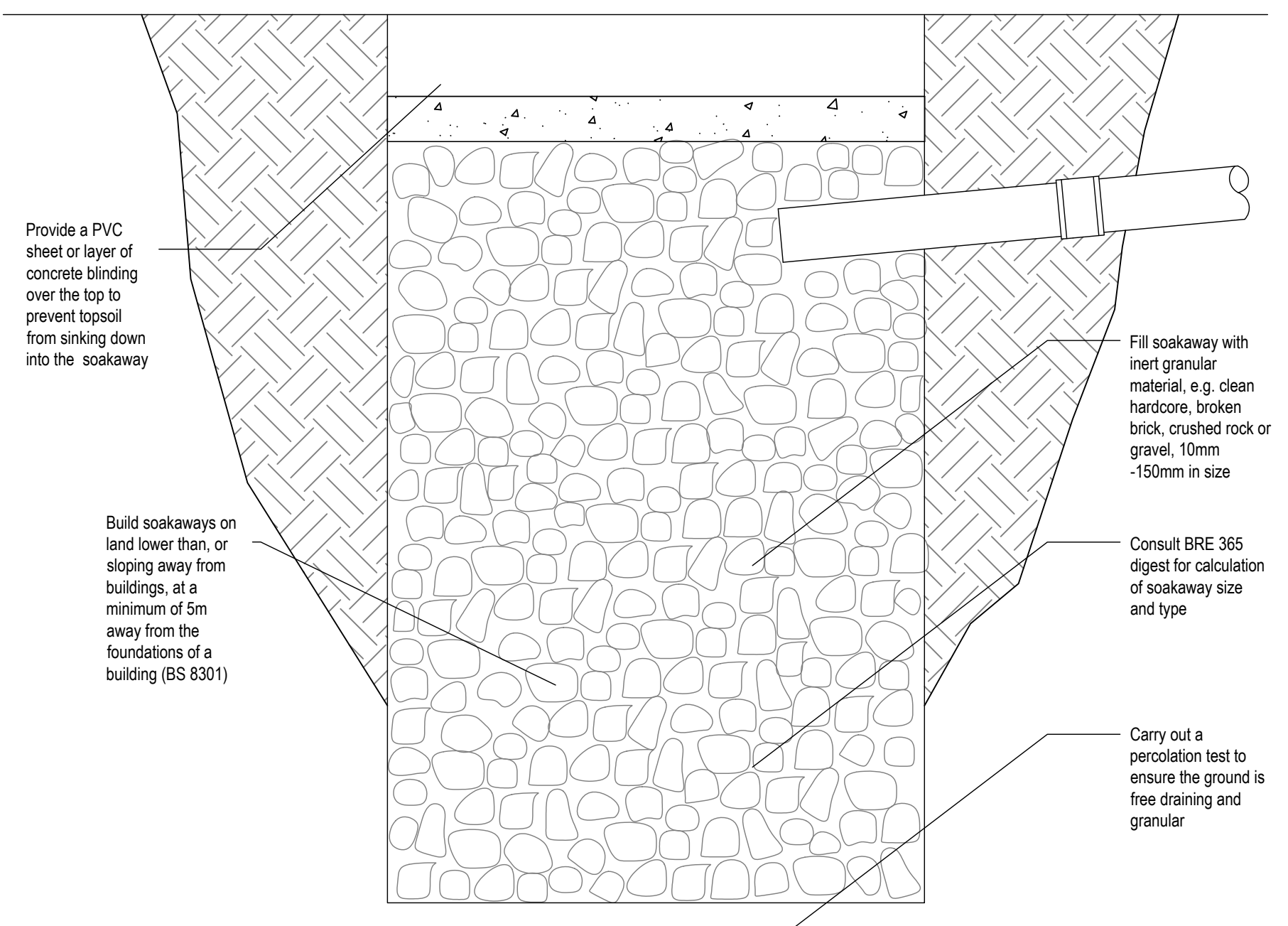
SOAKAWAY OPTIONS -

please confirm on site with the BCO the required method

SOAKAWAY
Soakaway size and type dependent on space requirements, site layout, topography, water table, subsoil type, etc.
Designed to BS EN 752:2017 and BRE digest 365

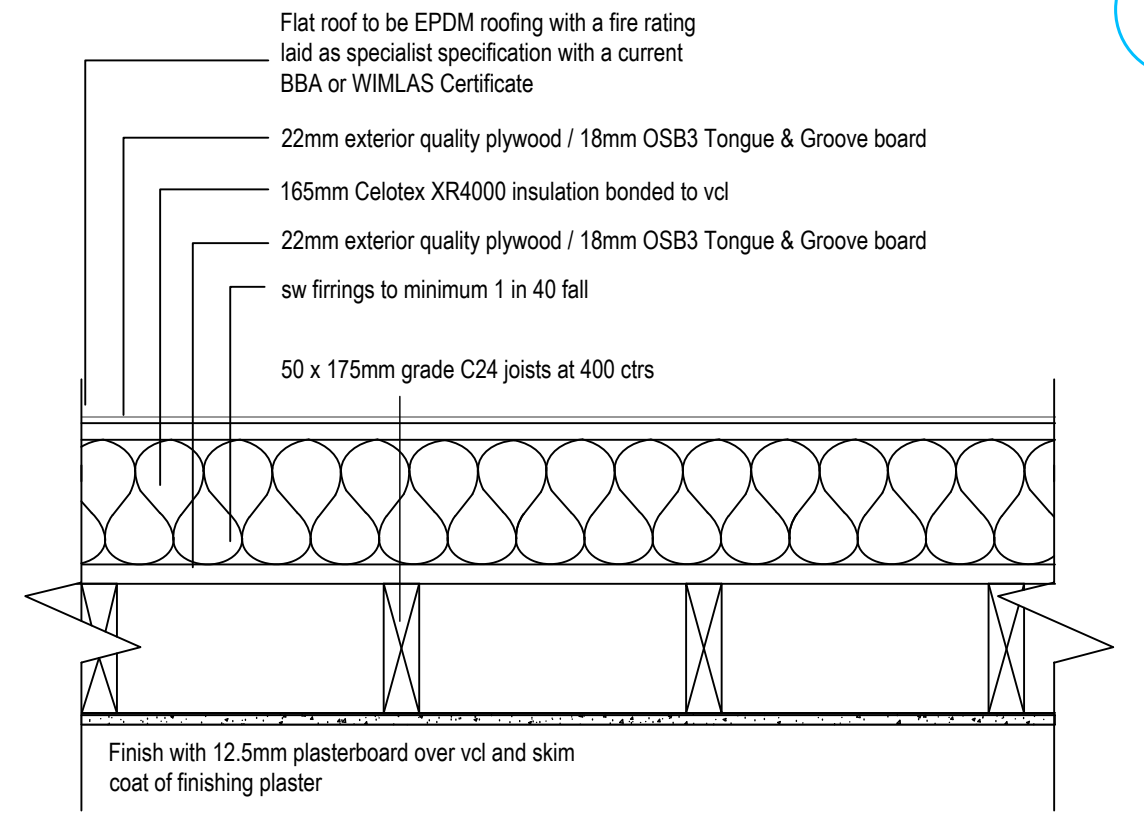
SOAKAWAY CRATES

Soakaway size and type dependent on space requirements, site layout, topography, water table, subsoil type, etc.
Designed to BS EN 752



WARM FLAT MEMBRANE ROOF

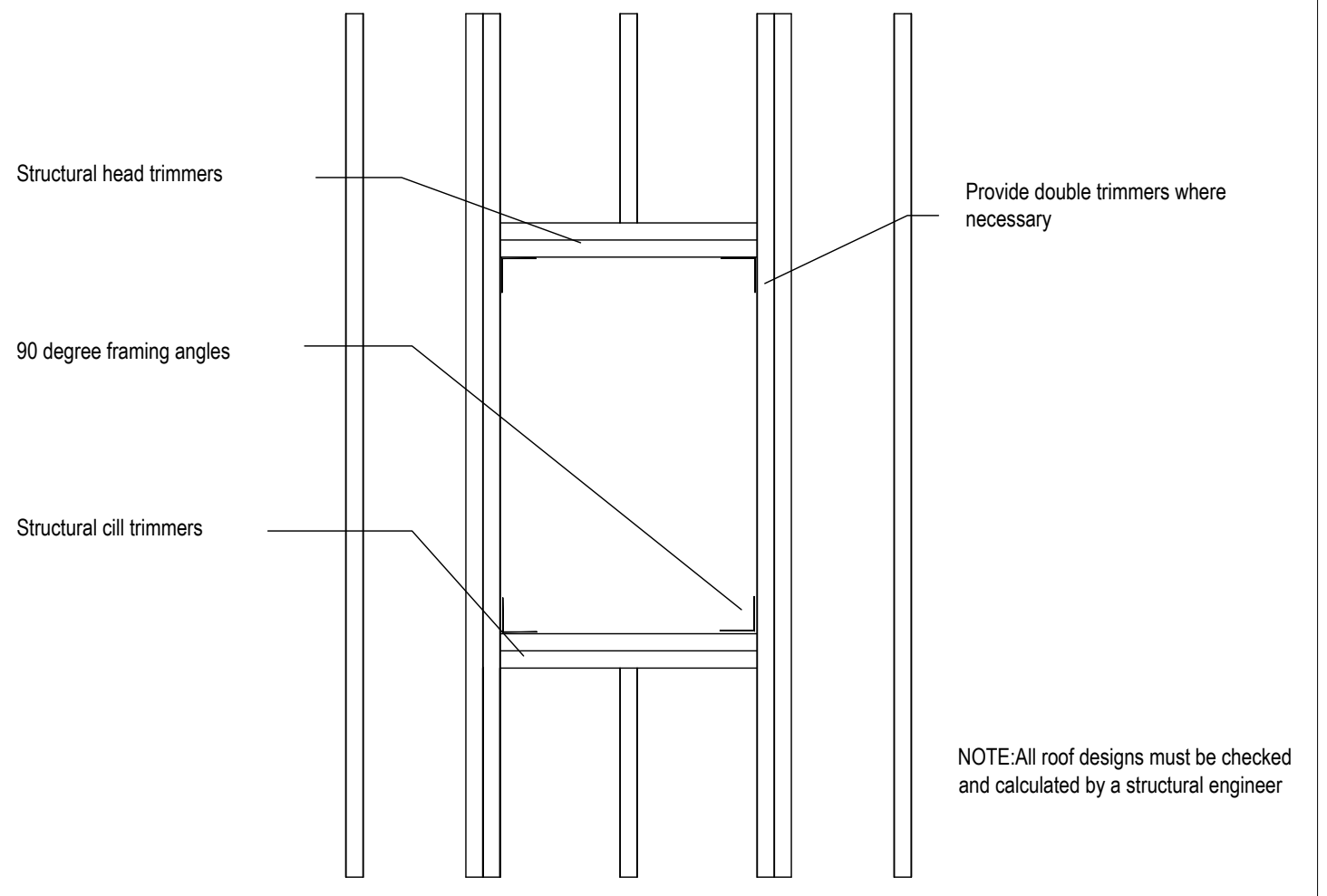
4




WARM FLAT ROOF
(imposed load max 1.0 kN/m² - dead load max 0.75 kN/m²)
To achieve U value 0.15 W/m²K
Flat roof to be EPDM roofing providing an fire rating for surface spread of flame with a current BBA or WIMLAS Certificate and laid to specialist specification. Single ply membrane to be fixed to 22mm exterior quality plywood over 165mm Celotex XR4000 insulation. Insulation bonded to vcl on 22mm exterior quality plywood decking or similar approved on sw firrings to minimum 1 in 40 fall on sw treated 50 x 175mm flat roof C24 timber joists at 400mm ctrs. Finish with 12.5mm plasterboard over vcl and skim coat of finishing plaster.

ROOFLIGHTS (STRUCTURE)

Rooflight installed in accordance with manufactures details



ROOFLIGHTS
Min U-value of 1.4 W/m²K.
Roof-lights to be double glazed with 16mm argon gap and soft low-E glass. Window Energy Rating to be Band C or better. Roof lights to be fitted in accordance with manufactures instructions with rafters doubled up to sides and suitable flashings etc.



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Site	12 Egerton Road, Lincoln IN2 4PJ	Date	16.02.2024
		Sheet	24-0136 D08 REV 1
		Job	New Extension
		Scale	Not To Scale
Title Number	HD13284	Title	Specification & Section Detail Drawings 1:10