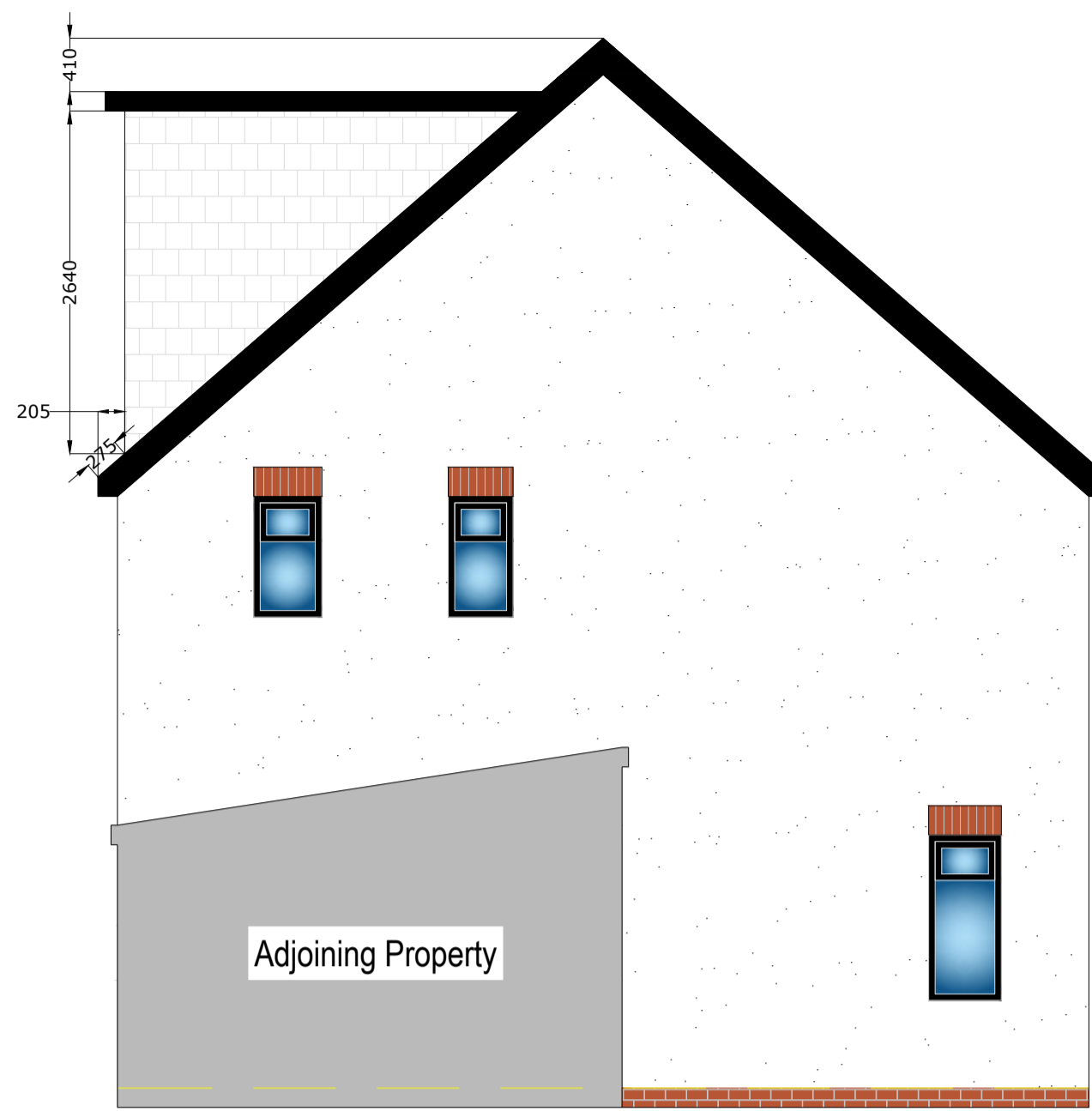
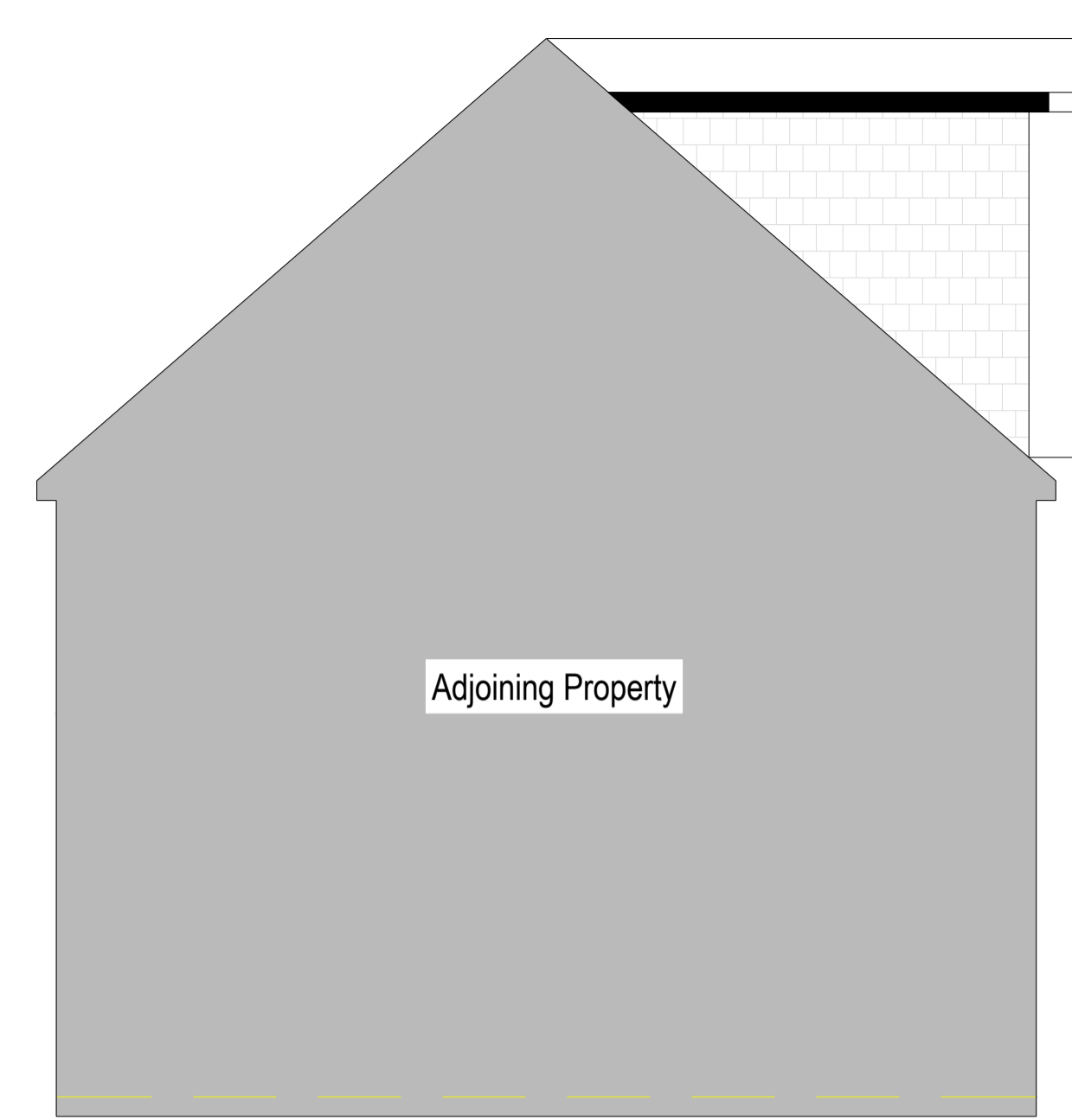


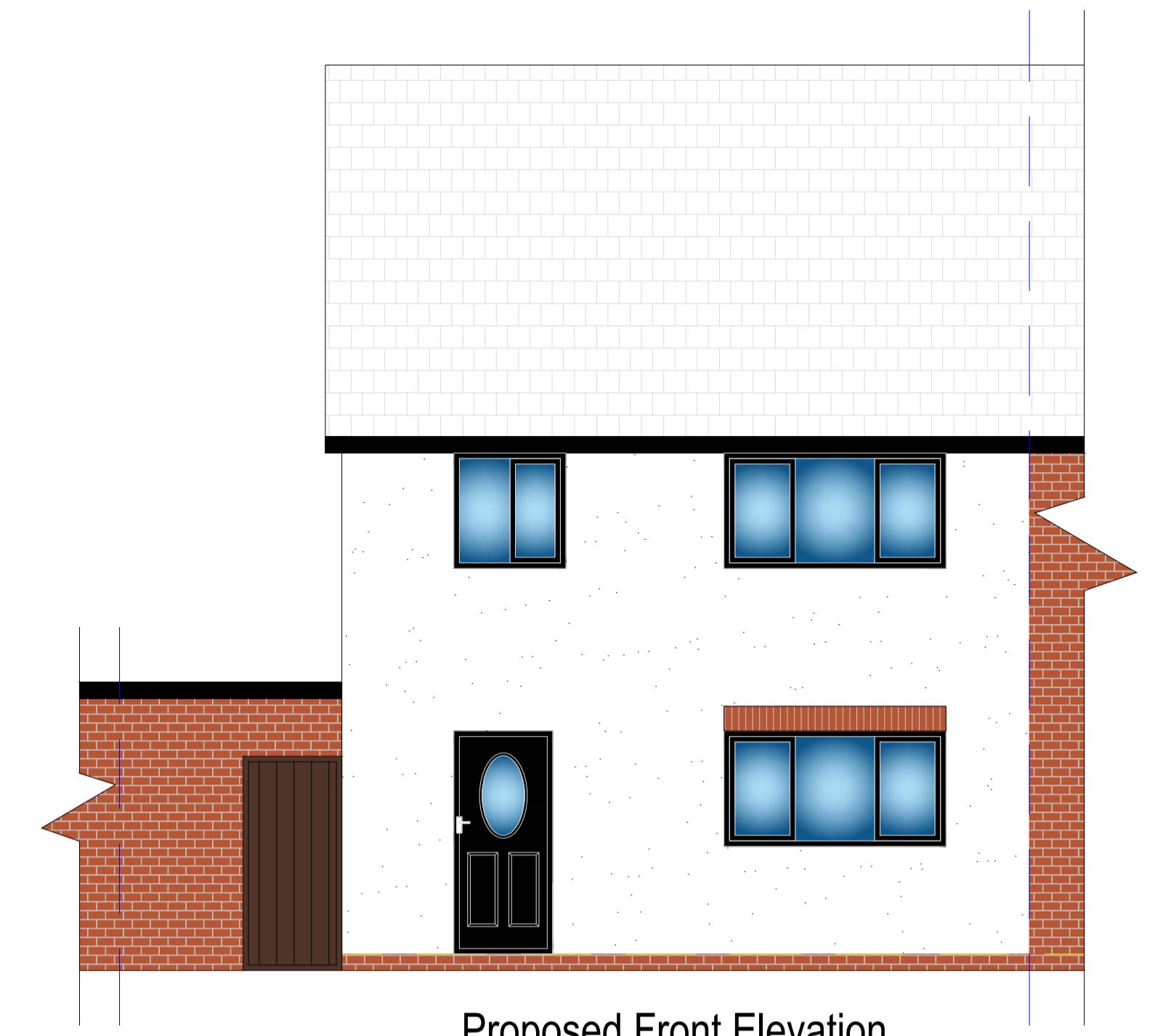
Proposed Rear Elevation



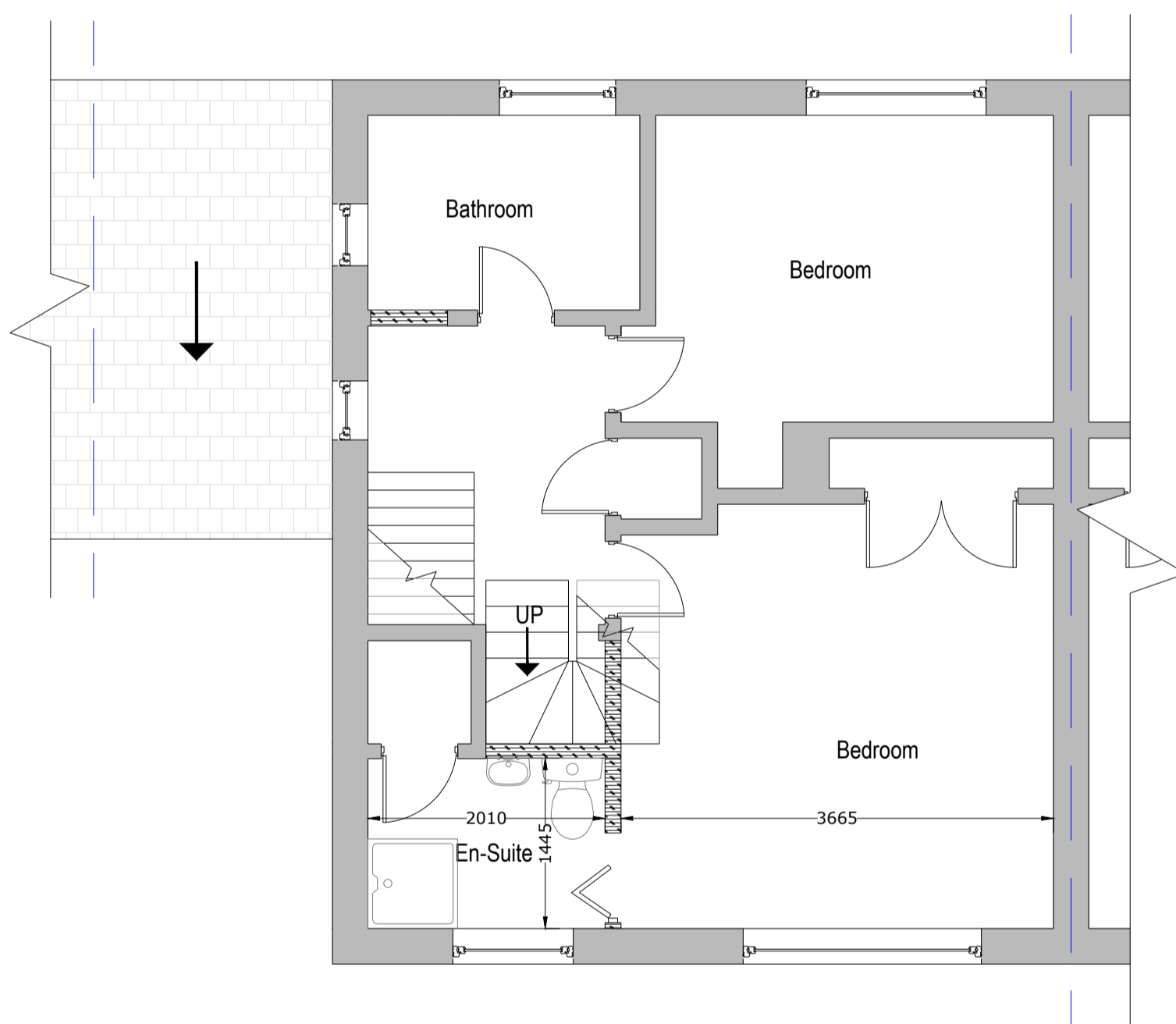
Proposed (LHS) Gable Elevation



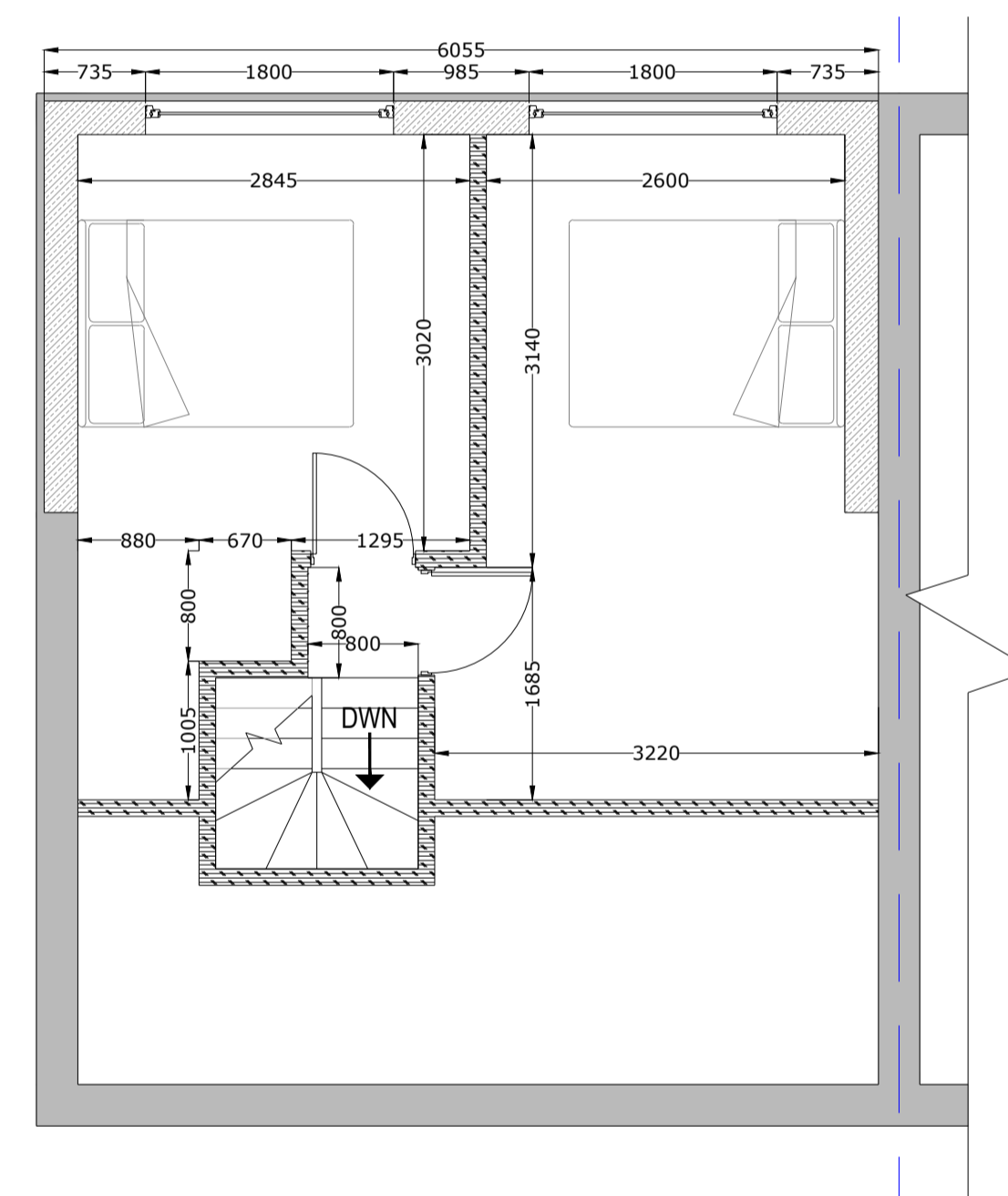
Proposed (RHS) Gable Elevation



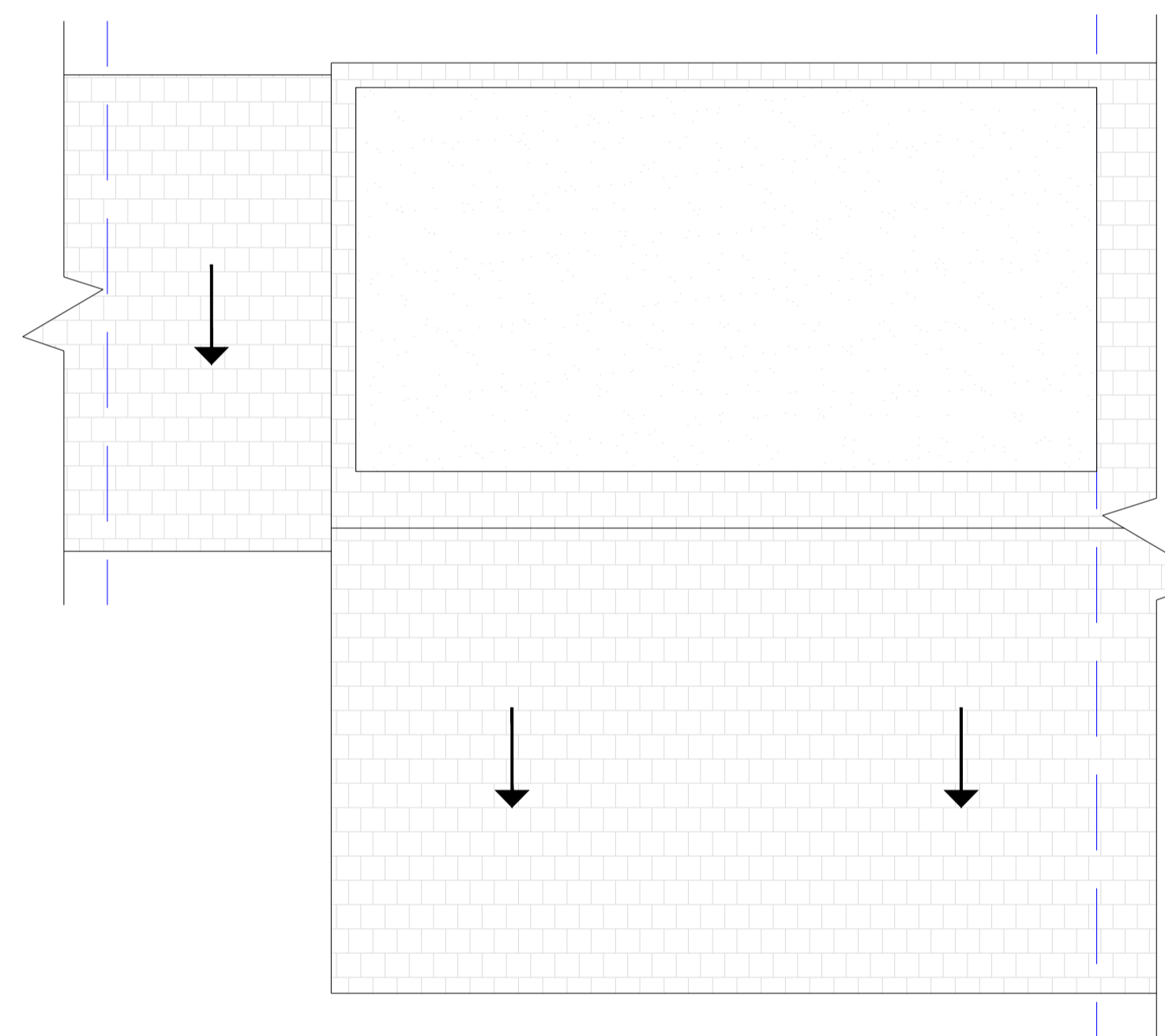
Proposed Front Elevation



Proposed First Floor Plan



Proposed Second Floor Plan



Proposed Roof Layout

**Legend**

- Existing Walls
- Windows - Elevations
- Tiles - Elevations
- External Timber Framed Walls - Elevations
- Smooth White K-Render - Elevations
- Brick Work - Elevations
- Black Clad Finish - Elevations
- Proposed Stud Walls - Plans
- DPC Level - Elevations

**GENERAL NOTES**

**Front Elevation**  
Existing elevation outer face brick construction, existing windows and doors are white UPVC. Existing brick work to be rendered over using smooth white K-Rend. Proposed dormer is to be a timber framed construction with a hung tile finish to match the existing roof finishes. All existing windows and doors are to be replaced with black UPVC.

**Gable Elevations**  
Existing elevation outer face brick construction, existing windows and doors are white UPVC. Existing brick work to be rendered over using smooth white K-Rend. Proposed dormer is to be a timber framed construction with a hung tile finish to match the existing roof finishes. All existing windows and doors are to be replaced with black UPVC.

**Rear Elevation**  
Existing elevation outer face brick construction, existing windows and doors are white UPVC. Existing brick work to be rendered over using smooth white K-Rend. Proposed dormer is to be a timber framed construction with a hung tile finish to match the existing roof finishes. All existing windows and doors are to be replaced with black UPVC. Proposed windows are to be black UPVC.

**Roof**  
Existing roof concrete tile finish. Proposed construction to have a rubberoid finish.

**CDM REGULATIONS 2015**  
The client must abide by the Construction Design and Management Regulations 2015. The client must appoint a contractor, if more than one contractor is to be involved, the client will need to appoint (in writing) a principal designer (to plan, manage and coordinate the planning and design work) and a principal contractor (to plan, manage and coordinate the construction and ensure there are arrangements in place for managing and organising the

project).

**Domestic clients**  
The domestic client is to appoint a principal designer and a principal contractor when there is more than one contractor, if not your duties will automatically transferred to the contractor or principal contractor.

The designer can take on the duties, provided there is a written agreement between you and the designer to do so.

The Health and Safety Executive is to be notified as soon as possible before construction work starts if the works:

- (a) Last longer than 30 working days and has more than 20 workers working simultaneously at any point in the project.
- Or:
- (b) Exceeds 500 person days.

**Building Regulations**  
All work is to comply with the relevant Building Regulations and all statutory notices are to be given to the Building Control department at the local authority at the appropriate stages. All contractors are to visit site to acquaint themselves with the layout and access to the site prior to tendering. If an approved inspector is used then the AI must notify the local authority that the building regulations will be carried out under the initial notice procedure. AI to be given notice of statutory inspections to allow inspection at appropriate stages.

**Materials, goods and workmanship**  
Goods, materials and workmanship are to be of the best quality of their respective kinds and those for which there are a British Standard or Code of Practice are to conform thereto unless otherwise stated. Descriptions of goods, materials and workmanship given in any one trade are to apply throughout this Specification unless otherwise stated. All workmanship shall be carried out in accordance with current Building Regulations. All materials shall be used and fixed strictly in accordance with manufacturer's instructions, unless specified otherwise. All commodities to be new and left in perfect condition on completion and when incorporated into the works.

**Health & Safety**  
The Contractor shall ensure that all safety, health and welfare measures required under or by virtue of the provision of any enactment or regulations or the working rules of any industry are complied with. In carrying out the works the contractor shall at all times comply with the requirements of the Construction (Design and Management) Regulations 2015, this will include taking on Clients duties, unless Client appoints separate Principal Designer. Where necessary notifications to be served to HSE and appropriate Construction manuals produced.

03	Proposed dormer construction revised.	11.01.24
02	Proposed rear elevation revised.	11.01.24
01	Proposed dormer finish changed to vertically hung tiles, proposed dormer roof construction changed.	11.01.24
Rev. No.	Revision note.	Date.

Title: Proposed Floor Plans, Elevations and Roof Layout

Project: 12 Wallbank Drive  
Whitworth  
OL12 8TZ

Client: Matt Bentham  
12 Wallbank Drive  
Whitworth  
OL12 8TZ

Scale: 1:50@A1  
Designed: JW  
Drawn: JW  
Date: 21.06.2023

Drawing No. JCB23-341 - 2. Rev03

