



PLANNING STATEMENT

Project Number:

2023/1153

Project:

Hatchgate, Mill Lane, Yalding, Maidstone, ME18 6AR

Proposal:

Erection of first floor Extension (Prior Approval Class AA)

Date:

February 2024

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1. Introduction

- 1.1 This statement has been prepared in support of my clients' prior approval application. This is in relation to the erection of a first floor extension to an existing residential property.
- 1.2 Firstly, this statement will set out the details of the site description to provide a context in which the proposal has been designed. Secondly, we review the sites planning history and set out the details of the proposal subject of this application. Next, we provide a summary of the relevant national legislation which affects this proposal and confirm how we consider the proposal meets these requirements.
- 1.3 In addition to this statement the following documents have been provided:
 - Existing Floor Plan and Roof Plan
 - Existing Elevations
 - Proposed Floor Plans and Elevations

2. Site Description

- 2.1 The property is located in open countryside approximately ½ mile Southeast of the village of Yalding Mill Lane is a single track unclassified road linking the settlement of Benover, to the South and to the West Street area of Yalding. The residential unit is surrounded on all sides by agricultural development including a large expanse of plastic sheeted polytunnels to the South and East and to the North and West large agricultural style buildings.
- 2.2 The property is set back from the road frontage and benefits from a road access onto Mill Lane. The property is a modest L-shaped bungalow constructed at some point between the end of the Second World War and 1960 as a replacement of an earlier rectangular dwelling. The bungalow sits roughly in the centre of the plot with a large expanse of garden surrounding it. The dwelling is approximately 15m from the edge of the highway and nearly 1m higher than the road surface. The property is constructed of red brick walls and a clay tile roof. The windows are single glazed timber units with the frames painted white. The buildings to the north and west dwarf the bungalow in height, bulk and mass.



Figure 1 – Existing street scene

- 2.3 In terms of planning policy constraints the property is located within open countryside, however it is not in the Metropolitan Green Belt or an Area of Outstanding Natural Beauty. The site is not therefore particularly constrained in landscape terms. The site is in Flood Zone 3 but is only a short distance from Flood Zone 1 less than ½ mile to the North.

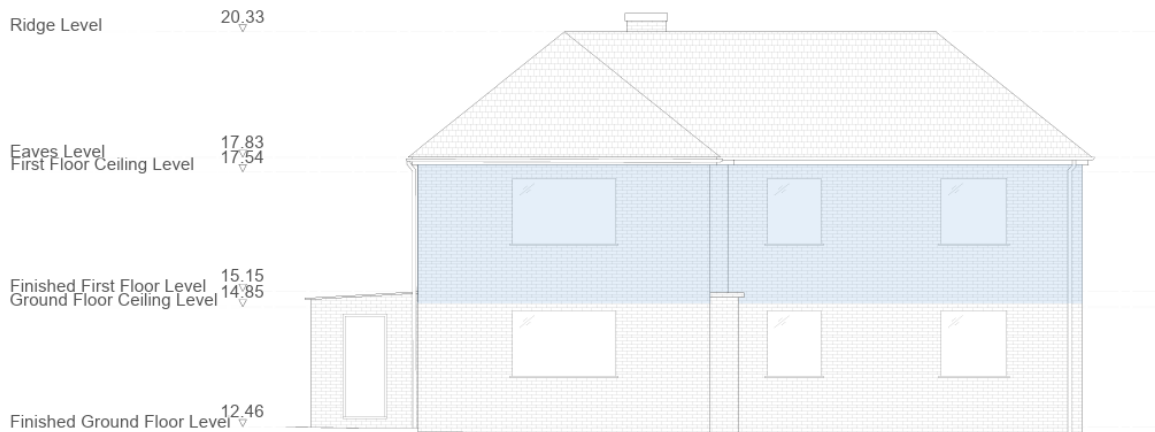
3. Planning History and Proposal

Planning History

- 3.1 The only planning history shown directly related to the property is under its former name as “The Bungalow”. In 1978 an extension was approved to provide garage/workshop/utility. It is understood that the kitchen, which was built to the side of the property, forms an extension to the original dwelling.
- 3.2 There is a 2011 planning application linked to the UPRN of this property for the conversion of an agricultural building for recreational use, however this building has been separated from the dwelling and is not within our client’s ownership.
- 3.3 Planning permission was recently refused for the erection of replacement dwelling including hard and soft landscaping under reference 23/505426/FULL.

Planning Proposal

- 3.4 Prior approval is sought for the erection of a first floor extension to an existing residential property.



4. Prior Approval Proposal

4.1 Prior approval is sought for a first floor extension under Class AA for the enlargement of a dwellinghouse consisting of the construction of an additional storey.

4.2 The side extensions fall under Class A of the Town and Country Planning (General Permitted Development) Order 2015, Schedule 2, Part 1 as follows;

AA.1. Development is not permitted by Class AA if—

(a) permission to use the dwellinghouse as a dwellinghouse has been granted only by virtue of Class G, M, MA, N, O, P, PA or Q of Part 3 of this Schedule (changes of use);

N/A

(b) the dwellinghouse is located on—

(i) article 2(3) land; or

(ii) a site of special scientific interest;

N/A

(c) the dwellinghouse was constructed before 1st July 1948 or after 28th October 2018;

The property was constructed between 1st July 1948 and 28th October 2018.

(d) the existing dwellinghouse has been enlarged by the addition of one or more storeys above the original dwellinghouse, whether in reliance on the permission granted by Class AA or otherwise;

N/A

(e) following the development the height of the highest part of the roof of the dwellinghouse would exceed 18 metres;

Proposed roof height would measure 8.02m

(f) following the development the height of the highest part of the roof of the dwellinghouse would exceed the height of the highest part of the roof of the existing dwellinghouse by more than—

(i) 3.5 metres, where the existing dwellinghouse consists of one storey; or

(ii) 7 metres, where the existing dwellinghouse consists of more than one storey;

The highest part of the roof would not exceed 3.5m higher than the existing

(g) the dwellinghouse is not detached and following the development the height of the highest part of its roof would exceed by more than 3.5 metres—

N/A

(i) in the case of a semi-detached house, the height of the highest part of the roof of the building with which it shares a party wall (or, as the case may be, which has a main wall adjoining its main wall);

or

N/A

(ii) in the case of a terrace house, the height of the highest part of the roof of every other building in the row in which it is situated;

N/A

(h) the floor to ceiling height of any additional storey, measured internally, would exceed the lower of—

(i) 3 metres; or

(ii) the floor to ceiling height, measured internally, of any storey of the principal part of the existing dwellinghouse;

The floor to ceiling height would not exceed 3m

(i) any additional storey is constructed other than on the principal part of the dwellinghouse;

The additional storey would be constructed on the principal part of the house.

(j) the development would include the provision of visible support structures on or attached to the exterior of the dwellinghouse upon completion of the development; or

N/A

(k) the development would include any engineering operations other than works within the curtilage of the dwellinghouse to strengthen its existing walls or existing foundations.

N/A

Conditions

AA.2.—(1) Development is permitted by Class AA subject to the conditions set out in sub-paragraphs (2) and (3).

(2) The conditions in this sub-paragraph are as follows—

(a) the materials used in any exterior work must be of a similar appearance to those used in the construction of the exterior of the existing dwellinghouse;

All materials would match

(b) the development must not include a window in any wall or roof slope forming a side elevation of the dwelling house;

No windows would be installed in the side elevation of the property

(c) the roof pitch of the principal part of the dwellinghouse following the development must be the same as the roof pitch of the existing dwellinghouse; and

The roof pitch of the property would be same as the existing.

(d) following the development, the dwellinghouse must be used as a dwellinghouse within the meaning of Class C3 of the Schedule to the Use Classes Order and for no other purpose, except to the extent that the other purpose is ancillary to the primary use as a dwellinghouse.

The use of the building is as a dwelling

AA.3.—(1) The following sub-paragraphs apply where an application to the local planning authority for prior approval is required by paragraph AA.2(3)(a)

(2) The application must be accompanied by—

(a) a written description of the proposed development, including details of any works proposed;

Erection of first floor extension, and raising of roof height.

(b) a plan which is drawn to an identified scale and shows the direction of North, indicating the site and showing the proposed development; and

Submitted

(c) a plan which is drawn to an identified scale and shows—

(i) the existing and proposed elevations of the dwellinghouse, and

(ii) the position and dimensions of the proposed windows.

Submitted

together with any fee required to be paid.

To be paid by the applicant

5. Conclusion

5.1 As demonstrated above, we consider that we have confirmed that the proposal would comply with the General Permitted Development Order.