

# External Daylight and Sunlight Study

**Client:** Hoselynn Ltd

**Site Details:** 119 – 121 East Barnet Road  
London  
EN4 8RF

## Contents

1. Introduction & Methodology .....	3
2. Proposed Development .....	5
3. Modelling the site & Window Schedule .....	6
4. Vertical Sky Component Analysis .....	11
5. Vertical Sky Component Benchmark & Results .....	12
6. Vertical Sky Component Analysis Results .....	13
7. Annual Probable Sunlight Hours Results .....	14
8. Conclusion .....	15

## Appendices

Appendix A:	Existing Plans
Appendix B:	Proposed Plans
Appendix C:	117 & 123 East Barnet Road Supporting Plans
Appendix D:	Vertical Sky Component – Numerical Results Plans
Appendix E:	Annual / Winter Probable Sunlight Hours – Numerical Results Plans

## Report Details:

Prepared by	Checked by	Date	Job Number
Nicholas Gardner	Peter Kinsella	20.02.2024	11552 – Rev1

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## **1. Introduction & Methodology**

The daylight study is to ensure the comfort, health and safety of building occupants as well as visitors and others within the vicinity of the building is acceptable. It is also to enhance the quality of life in dwellings by recognising those that encourage a healthy and safe internal environment for occupants.

Using industry standard methodology as prescribed by BRE and British Standard guidance and in line with the BRE Guide: BRE BR 209 2022 Edition and BS EN 17037, we have made numerical analyses to ensure compliance with the recommended levels of change in daylight.

The main criteria used in this analysis to show compliance is the:

### **Vertical Sky Component (VSC)**

VSC measures the general amount of light available on the outside plane of the window as a ratio (%) of the amount of total unobstructed sky viewable following introduction of visible barriers such as buildings. The maximum value is just under 40% for a completely unobstructed vertical wall.

The relevant BRE recommendations for daylight and sunlight are:

The Vertical Sky Component measured at the centre of a window should be no less than 80% of its former value, where the window(s) do not meet this criteria, BRE Guidelines states that if the VSC at the centre of a window is more than 27% of available light, then the diffuse daylighting will not be adversely affected.

### **Annual Probable Sunlight Hours (APSH)**

APSH is a measure of the amount of potential direct sunlight that is available to a given surface. Only windows which face within 90 degrees of due south need to be assessed. BRE Guidance states that windows should continue to receive in excess of 80% of their pre-development value, **or** 25% of available hours over a year / 5% of hours in winter to be considered well - lit **or** if the window has a reduction in sunlight received over the whole year less than 4% of annual sunlight hours.

The BRE Guidance is not an instrument of planning policy; therefore, whilst the methods given are technically robust, some level of flexibility should be applied where appropriate.

We must stress that despite the methodology used above and the results that are drawn from it provide helpful guidance to consultants and planning officials, these are purely advisory, how the results are interpreted may depend on the complexity and context of the development as a whole.

## 2. Proposed Development

There are proposals for the conversion and extension of an existing building to create 4 x residential units at 119 – 121 East Barnet Road, London, EN4 8RF.

### Location Plan



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### **3. Modelling the site & Window Schedule**

An analysis model is created of the proposed development and the existing development allowing analysis, calculations are then run. The outputs of those calculations can be exported numerically. Using the BRE guidance which gives absolute figures for the acceptable percentage of daylight and sunlight, we can then establish if the proposal will have the required daylighting levels stipulated by BRE guidelines.

It is important to note that not all nearby features have been modelled, only those that will affect the daylighting, in accordance with BRE recommendations.

The reference document for this analysis, BRE BR 209 2022 Edition and BS EN 17037, provides the methodology for undertaking the calculations as well as benchmark figures for the acceptable reduction in the daylight/sunlight.

In order to complete an accurate model of the existing and proposed site we have used a combination of the following plans and information.

- Proposed Site Plan, Floor Plans, Sections, Elevations
- Proposed Site Plan, Floor Plans, Sections, Elevations
- Neighbouring Supporting Plans and Information – No.117 & No.123 East Barnet Road

The purpose of this report is to assess the potential impact that the proposed development may have on the immediate surrounding neighbouring dwellings in terms of daylight and sunlight. The immediate neighbouring dwellings that have been identified for analysis being No.117 and No.123 East Barnet Road which are situated adjacent of the proposed development. After site analysis we have established that No.117 and No.123 East Barnet Road are classed as the 'worst case' due to their proximity in relation to the proposed development, therefore, if the analysis shows that these dwellings meet the requirements for levels of change in daylight in accordance with BRE guidelines then all additional surrounding dwellings will meet these requirements by default.

For a full location and window schedule please see below.

**Target Study Area**

No.117 East Barnet Road

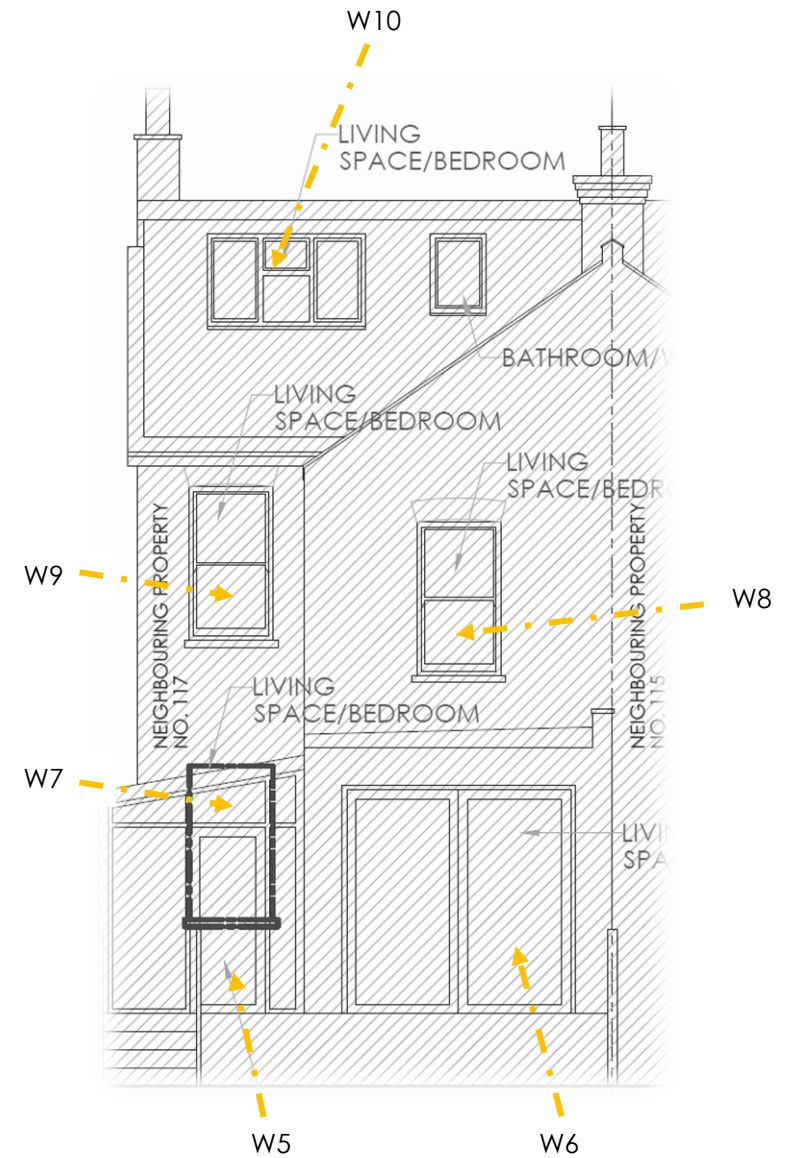
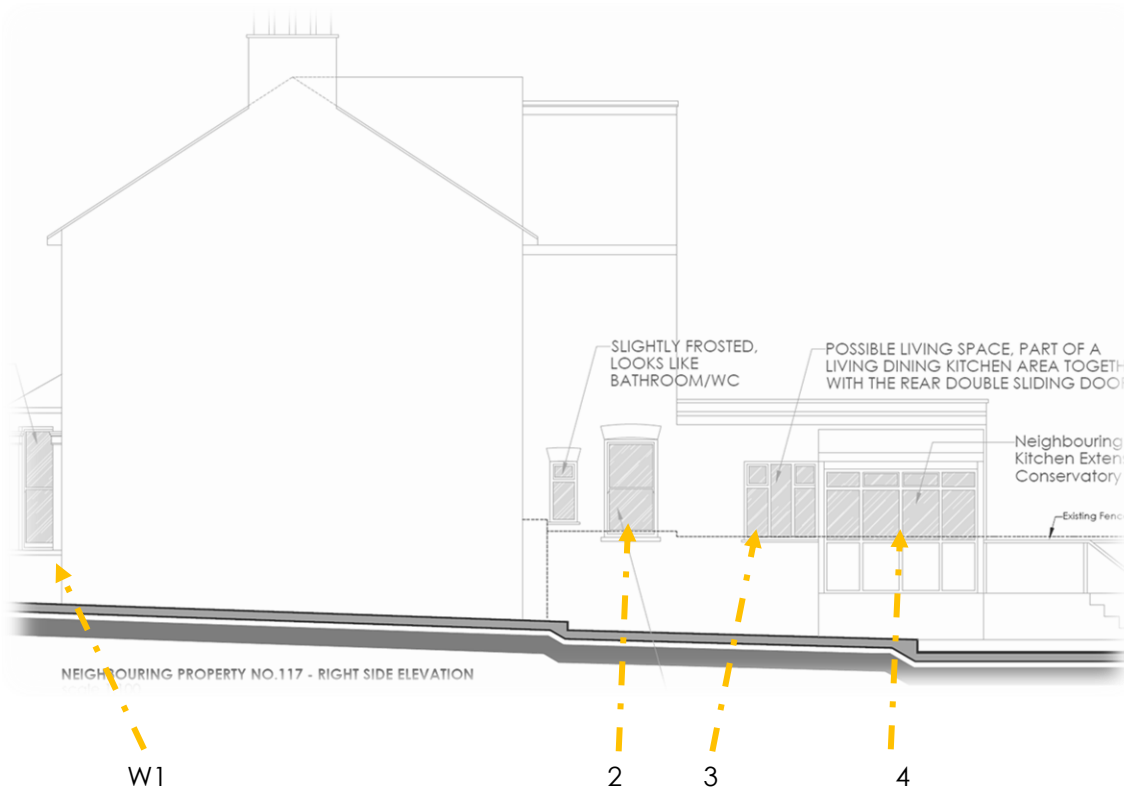
No.123 East Barnet Road



(Google Earth Image)

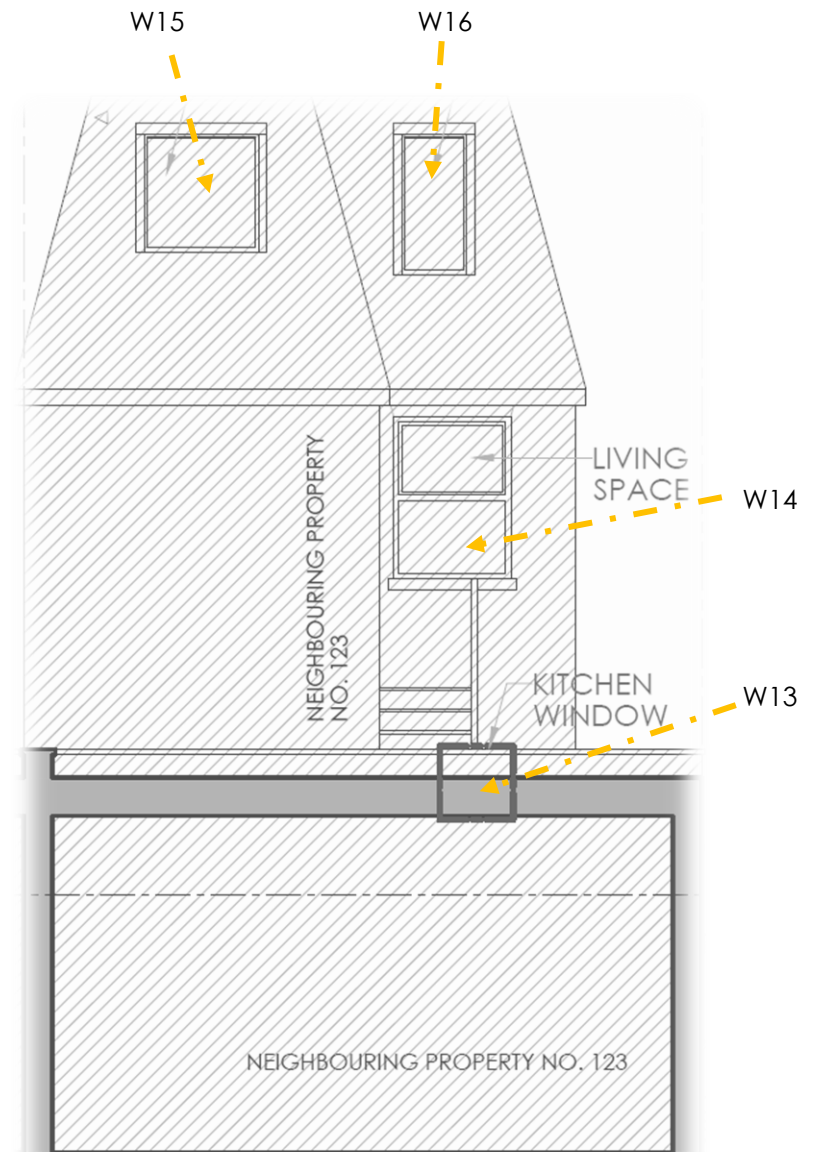
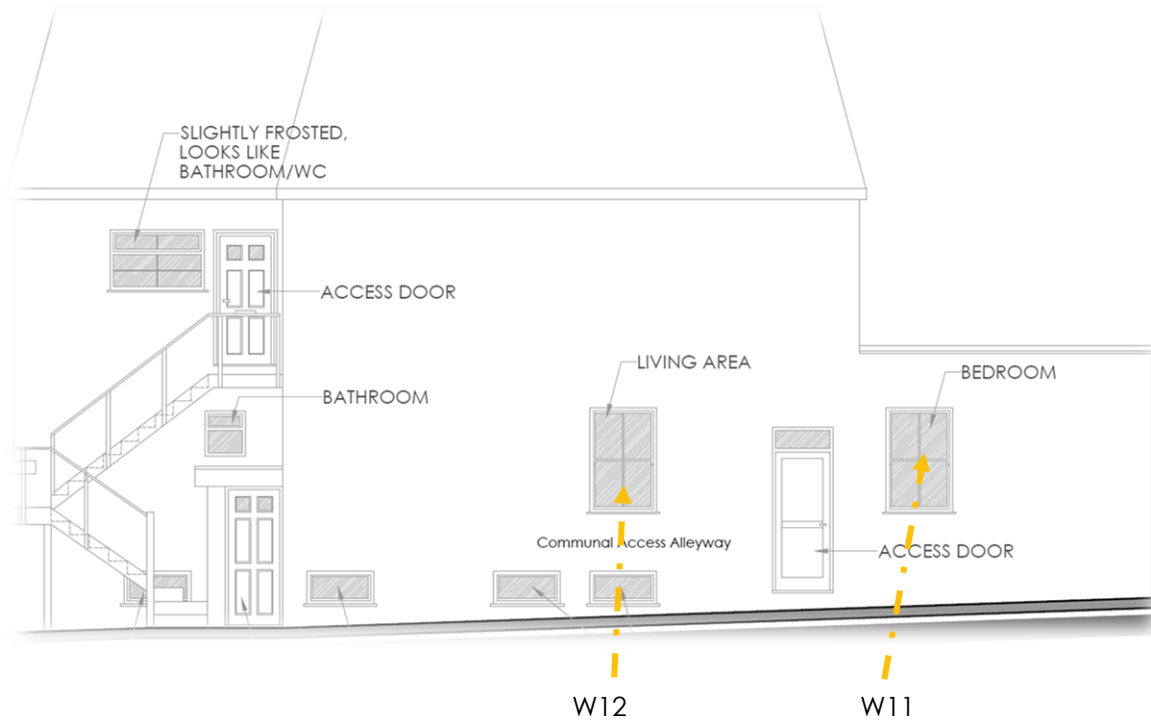
Development Site – No.119 – No.121 East Barnet Road

No.117 East Barnet Road – Side and Rear Elevation





No.123 East Barnet Road – Side and Rear Elevation



As can be seen, there are 16 relevant window receptors of concern that may experience an impact in terms of daylight and sunlight from the proposed development.

- Receptors 1 - 10 located to the rear/side elevation of 'No.117 East Barnet Road'
- Receptors 11 – 16 located to the rear/side elevation of 'No.123 East Barnet Road'

### **Remaining Windows within the target study area**

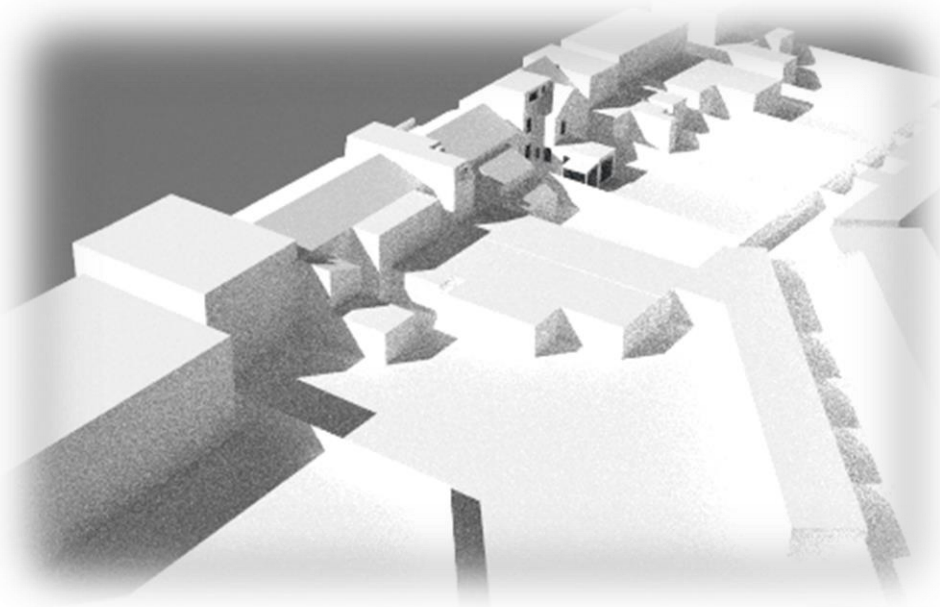
All windows assessed are considered 'worst case', therefore, where window receptors meet requirements in accordance with BRE Guidelines, any other windows within the vicinity that sit at a further distance or higher elevation than those that meet requirements will also pass by default. Where nearby windows have not been labelled, they have either been identified as un-affected from the proposed development due to having superior daylighting qualities as those labelled, at a distance and elevation that they will be unaffected from the proposed development or they serve non-habitable spaces such as bathrooms, stairways etc.

#### **4. Vertical Sky Component Analysis**

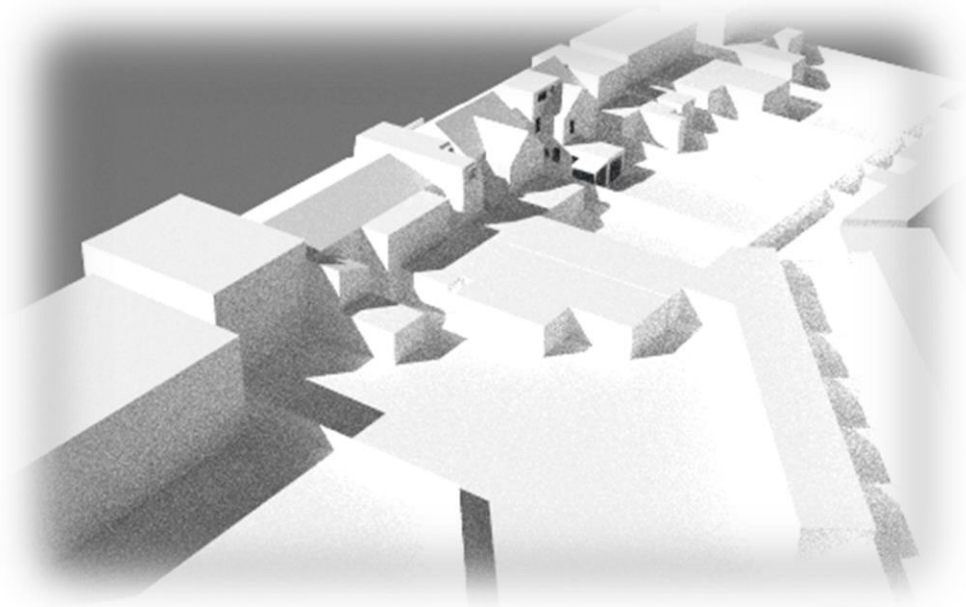
Stage 1 of the analysis is to model the existing site condition and then the proposal in 3 dimensions, thus allowing us to analyse the current situation and compare with relative ease the proposed situation.

The 3D model that has been created is then imported into specialist daylight analysis software from which calculations are then run for both the existing and proposed. We have isolated the dwellings of concern and taken a screen shot which is displayed below.

**Existing Conditions**



**Proposed Conditions**



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## **5. Vertical Sky Component Benchmark & Results**

As previously stated, even though the benchmark figures provided by BRE may provide helpful guidance to consultants and planning officials, these are purely advisory, how the results are interpreted may depend on the complexity and context of the development as a whole. Locations that may be considered dense urban areas or City Centre developments are often exposed to larger constraints in comparison to low-rise suburban areas, with that said, there is a higher scope for potential obstructions and loss of daylight in these areas. Higher density developments, such the one in question, generally experience lower daylight and sunlight levels.

### **Interpretation of the scale of impact**

As discussed, the windows of the neighboring dwelling may or may not achieve the targets set by BRE, however, what BRE does not provide is an idea of the significance that these results will have on the assessed neighboring dwellings. Therefore, using professional experience, if we apply a scale to judge the implication these results may have on the dwelling, we can better understand the impact that may be experienced. The scale below is based on the BRE baseline target of 80% daylight retention.

### **Scale of Impact**

Where the loss of daylight and sunlight fully meets the BRE Guidance Values, the impact is assessed as **Negligible**

Where the loss of daylight and sunlight is reduced within 20 – 35% of the BRE Guidance Values, the impact is can be classed as **Minor**

Where the loss of daylight and sunlight is reduced within 35 – 50% of the BRE Guidance Values, the impact is can be classed as **Moderate**

Where the loss of daylight and sunlight is reduced within 50 – 100% of the BRE Guidance Values, the impact is can be classed as **Major**

*\*The guidance above has been taken from BRE daylight and sunlight book for the nature and scale section 5. Ref: Site Layout Planning for Daylight and Sunlight, Appendix 1 Environmental Impact Assessment, page 73.*

## **6. Vertical Sky Component Analysis Results**

The Vertical Sky Component has been calculated for the openings labelled in section 3 of this report for both the existing and proposed conditions. As previously stated, these window receptors are considered 'worst case', therefore, any other windows that sit at a greater distance or higher elevation than those that have passed the analysis within this report, under BRE Guidelines, will also pass by default.

### **Vertical Sky Component Results Summary (Numerical Results Appendix D)**

The results show that all receptors tested meet and are in excess of minimum requirements in accordance with BRE Guidelines.

When we apply the scale of impact as detailed in section 5, page 12 of this report, we can see that these window receptors may experience a 'Negligible' impact in terms of daylight.

## **7. Annual Probable Sunlight Hours Results (Numerical Results Appendix E)**

As stated in section 3 of this report, APSH is a measure of the amount of potential direct sunlight that is available to a given surface. Only windows which face within 90 degrees of due south need to be assessed. BRE Guidance states that windows should continue to receive in excess of 80% of their pre-development value, **or** 25% of available hours over a year / 5% of hours in winter to be considered well - lit **or** if the window has a reduction in sunlight received over the whole year less than 4% of annual sunlight hours.

The results show that all 16 window receptors tested that are subject to the APSH analysis meet the minimum criteria for sunlight hours annually, however, the results show that there is a minor shortfall in winter sunlight hours serving receptors 2 and 3 located to No.117 East Barnet Road.

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## **8. Conclusion**

As previously stated, there are proposals for the conversion and extension of an existing building to create 4 x residential units at 119 – 121 East Barnet Road, London, EN4 8RF.

The purpose of this report is to assess the potential impact that the proposed development may have on the immediate surrounding neighbouring dwellings in terms of daylight and sunlight. The immediate neighbouring dwellings that have been identified for analysis being No.117 and No.123 East Barnet Road which are situated adjacent of the proposed development. After site analysis we have established that No.117 and No.123 East Barnet Road are classed as the 'worst case' due to their proximity in relation to the proposed development, therefore, if the analysis shows that these dwellings meet the requirements for levels of change in daylight in accordance with BRE guidelines then all additional surrounding dwellings will meet these requirements by default.

Using industry standard methodology, we have made numerical analysis to calculate the recommended levels of change in daylight for the window receptors detailed in section 3 of this report.

The main criteria used in this analysis is to show compliance is the Vertical Sky Component and Annual Probable Sunlight Hours for the effect on a neighbouring dwelling's habitable windows.

The analysis shows that all receptors tested meet the minimum requirements in accordance with BRE Guidelines and may only experience a *negligible* impact in terms of daylight.

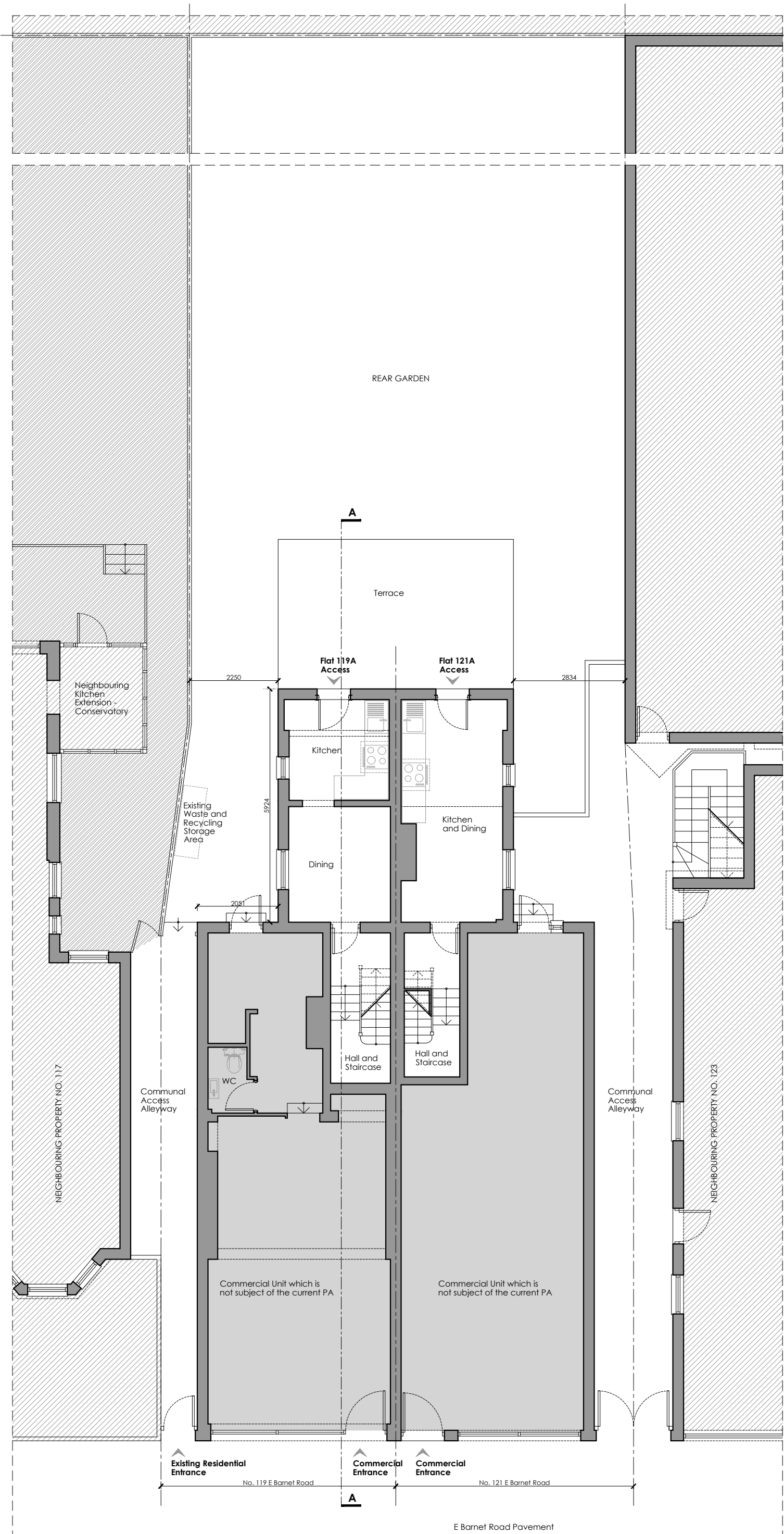
With respect to sunlight, the results show that all 16 window receptors tested that are subject to the APSH analysis meet the minimum criteria for sunlight hours annually, however, the results show that there is a minor shortfall in winter sunlight hours serving receptors 2 and 3 located to No.117 East Barnet Road.

We must stress that despite the methodology used above and the results that are drawn from it provide helpful guidance to consultants and planning officials, these are purely advisory, how the results are interpreted may depend on the complexity and context of the development as a whole.

Appendices



Appendix A: Existing Plans



**WALLS / CEILINGS LEGEND:**

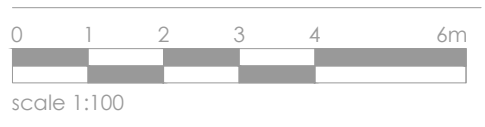
- EXISTING WALLS / CEILINGS
- PROPOSED WALLS / CEILINGS
- WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

- DEMOLISHING INTERVENTIONS
- PROPOSED INTERVENTIONS
- NEIGHBOURING PROPERTIES
- AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

**EXISTING FLATS LEGEND:**

- FLAT 119A - GIA = 66.25 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 121A - GIA = 65.40 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



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703architecture@gmail.com

**tel:**  
07851442165

Client: \_\_\_\_\_

Project No: **007-2023**      Site Address: **119-121 E Barnet Road EN4 8RF**

Project Stage: \_\_\_\_\_




PLANNING	
Drawing No: <b>EBR-PA-E01</b>	Revision: -
Drawing Title: <b>Existing Ground Floor Plan</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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**EXISTING GROUND FLOOR PLAN**  
scale 1:100  
GIA: 152.15m<sup>2</sup>

E Barnet Road

**WALLS / CEILINGS LEGEND:**

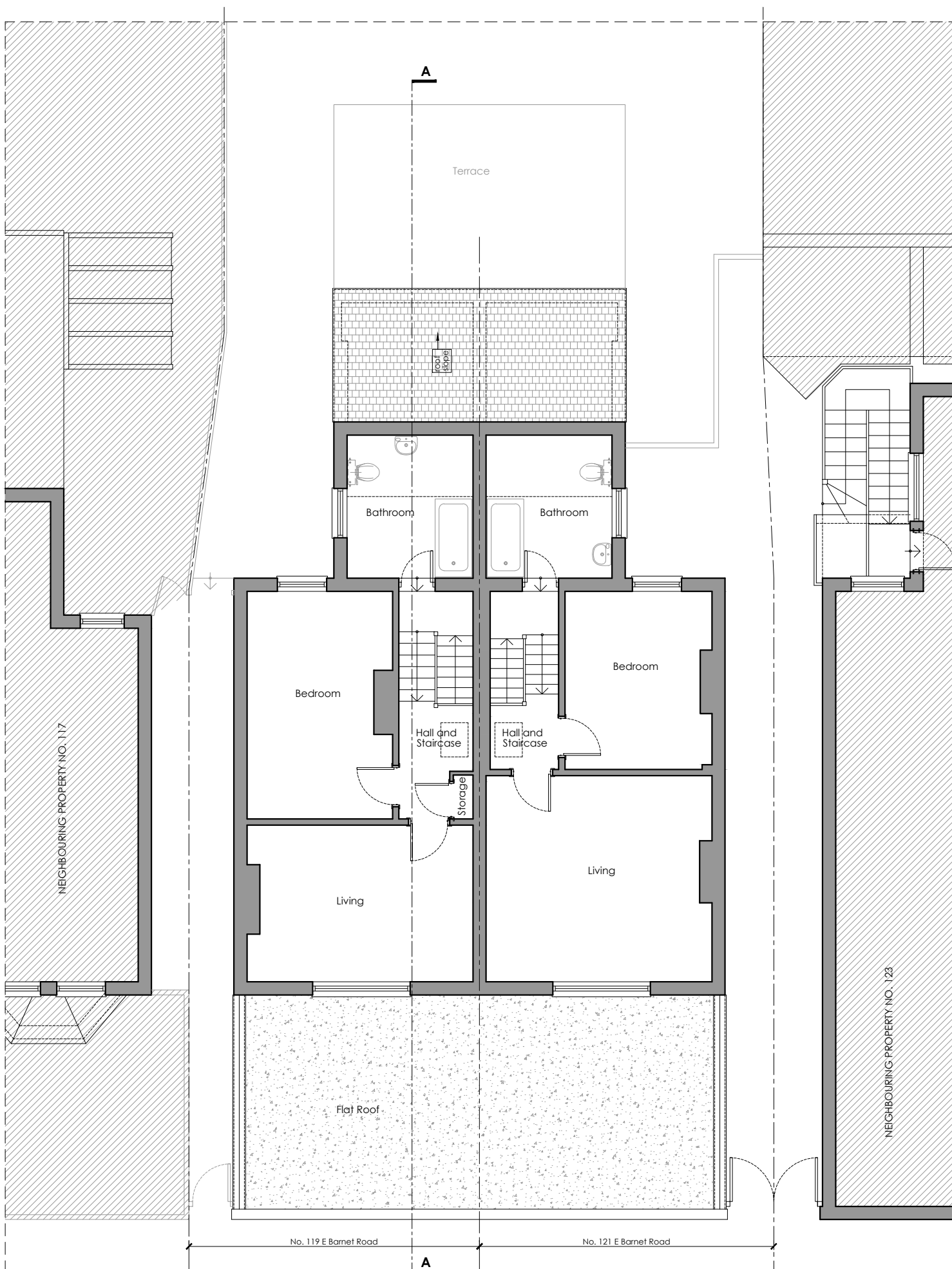
-  EXISTING WALLS / CEILINGS
-  PROPOSED WALLS / CEILINGS
-  WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

-  DEMOLISHING INTERVENTIONS
-  PROPOSED INTERVENTIONS
-  NEIGHBOURING PROPERTIES
-  AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

**EXISTING FLATS LEGEND:**

- FLAT 119A - GIA = 66.25 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 121A - GIA = 65.40 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



**EXISTING FIRST FLOOR PLAN**  
scale 1:100  
GIA: 93.95m<sup>2</sup>

E Barnet Road



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Project No: **007-2023** Site Address: **119-121 E Barnet Road EN4 8RF**




Project Stage:

**PLANNING**





Drawing No: <b>EBR-PA-E02</b>	Revision: -
Drawing Title: <b>Existing First Floor Plan</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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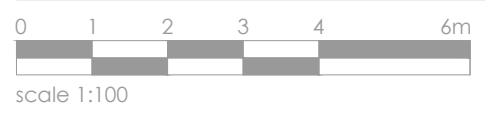
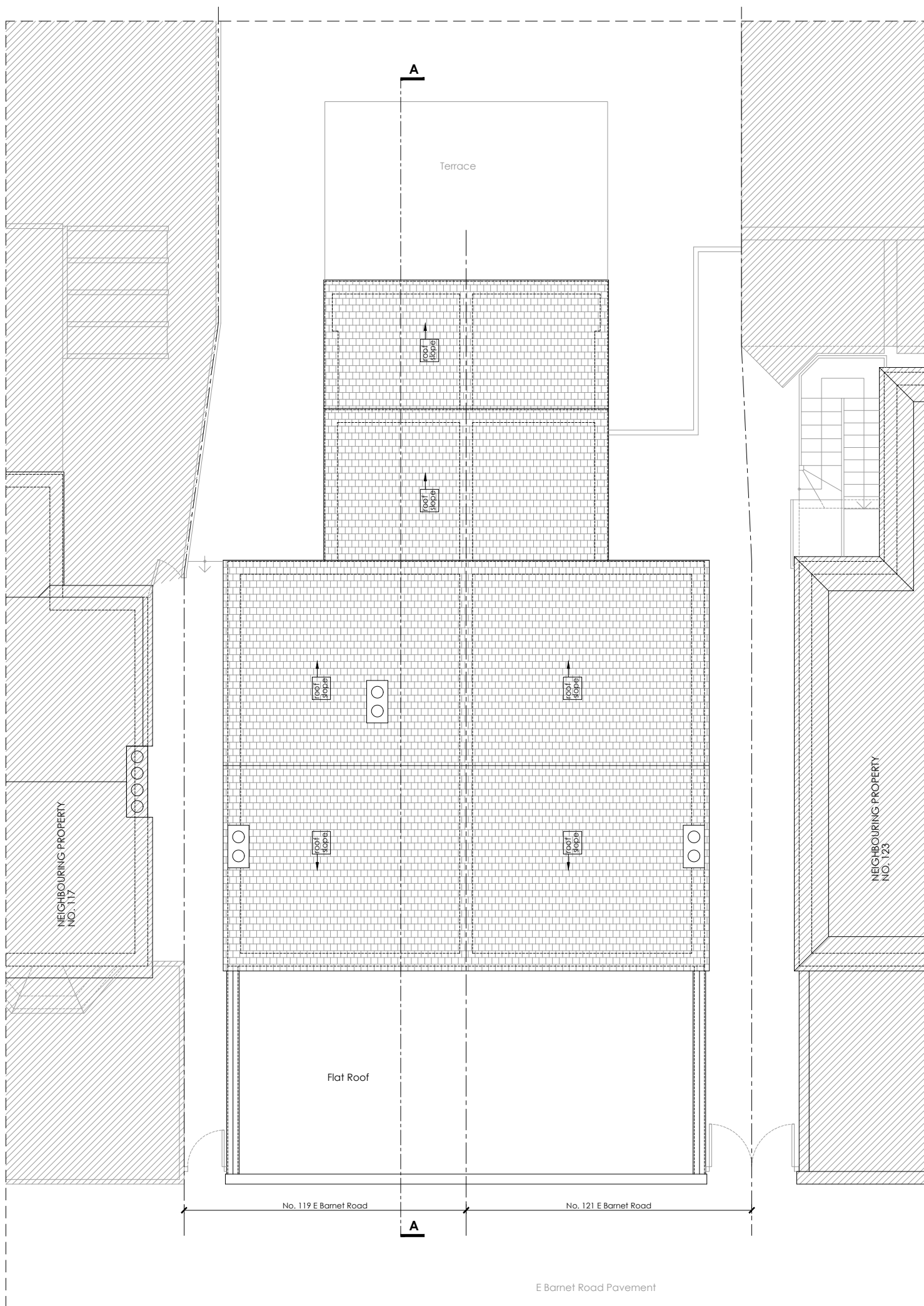
-  EXISTING WALLS / CEILINGS
-  PROPOSED WALLS / CEILINGS
-  WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

-  DEMOLISHING INTERVENTIONS
-  PROPOSED INTERVENTIONS
-  NEIGHBOURING PROPERTIES
-  AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

**EXISTING FLATS LEGEND:**

- FLAT 119A - GIA = 66.25 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 121A - GIA = 65.40 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



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Client: -

Project No: **007-2023** Site Address: **119-121 E Barnet Road EN4 8RF**

Project Stage: **PLANNING**




Drawing No: <b>EBR-PA-E03</b>	Revision: -
Drawing Title: <b>Existing Roof Plan</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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**EXISTING ROOF PLAN**  
scale 1:100

E Barnet Road

**WALLS / CEILINGS LEGEND:**

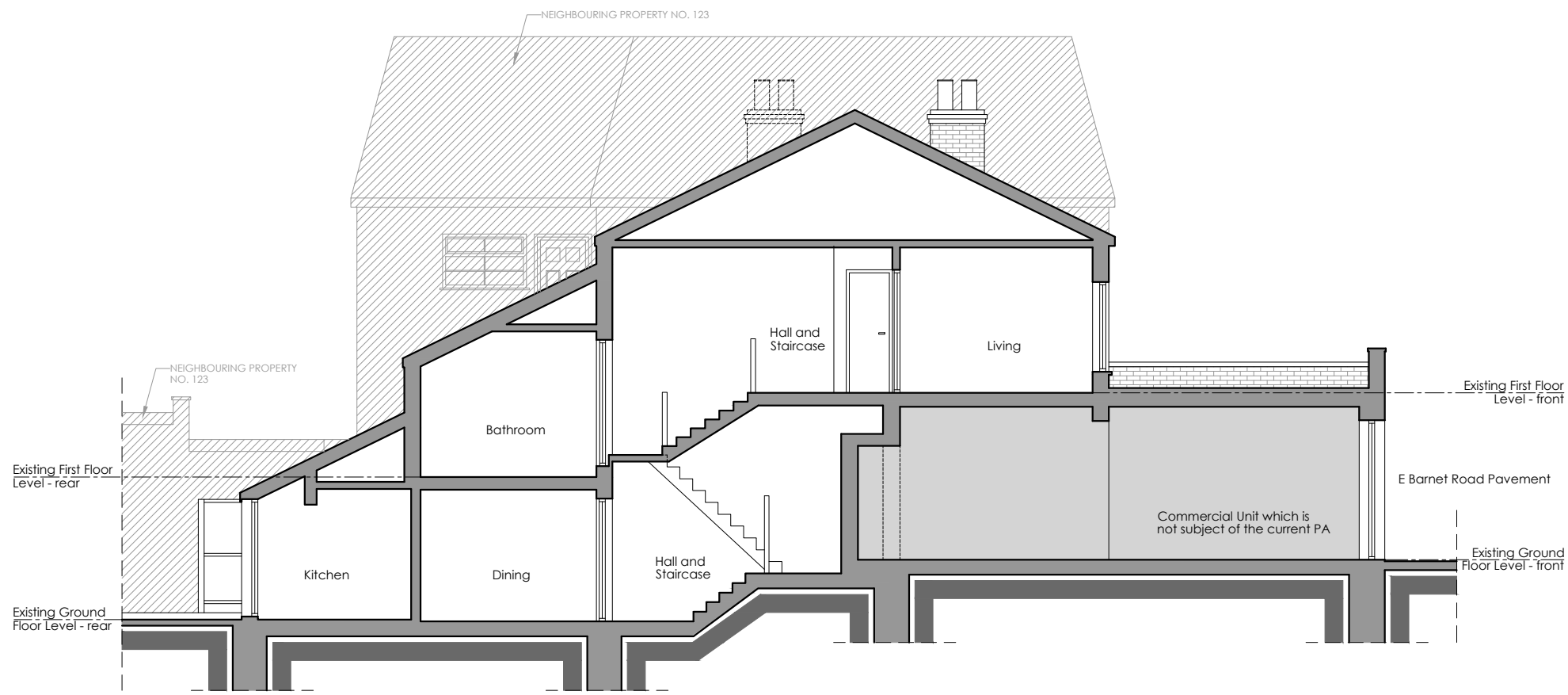
-  EXISTING WALLS / CEILINGS
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**LINES / HATCHES LEGEND:**

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**EXISTING FLATS LEGEND:**

- FLAT 119A - GIA = 66.25 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 121A - GIA = 65.40 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



**EXISTING SECTION A-A**  
scale 1:100



scale 1:100

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Project No: 007-2023  
Site Address: 119-121 E Barnet Road EN4 8RF

Project Stage:

**PLANNING**

Drawing No: <b>EBR-PA-E04</b>	Revision: -
Drawing Title: <b>Existing Section A-A</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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**EXISTING FRONT ELEVATION**  
scale 1:100



**EXISTING REAR ELEVATION**  
scale 1:100

**WALLS / CEILINGS LEGEND:**

- EXISTING WALLS / CEILINGS
- PROPOSED WALLS / CEILINGS
- WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

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**EXISTING FLATS LEGEND:**

- FLAT 119A - GIA = 66.25 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 121A - GIA = 65.40 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



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Project No: **007-2023** Site Address: **119-121 E Barnet Road EN4 8RF**

Project Stage: **PLANNING**

Drawing No: <b>EBR-PA-E05</b>	Revision: -
Drawing Title: <b>Existing Front and Rear Elevations</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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**WALLS / CEILINGS LEGEND:**

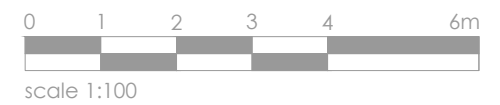
- EXISTING WALLS / CEILINGS
- PROPOSED WALLS / CEILINGS
- WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

- DEMOLISHING INTERVENTIONS
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**EXISTING FLATS LEGEND:**

- FLAT 119A - GIA = 66.25 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 121A - GIA = 65.40 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



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Client:

Project No: **007-2023** Site Address: **119-121 E Barnet Road EN4 8RF**

Project Stage:

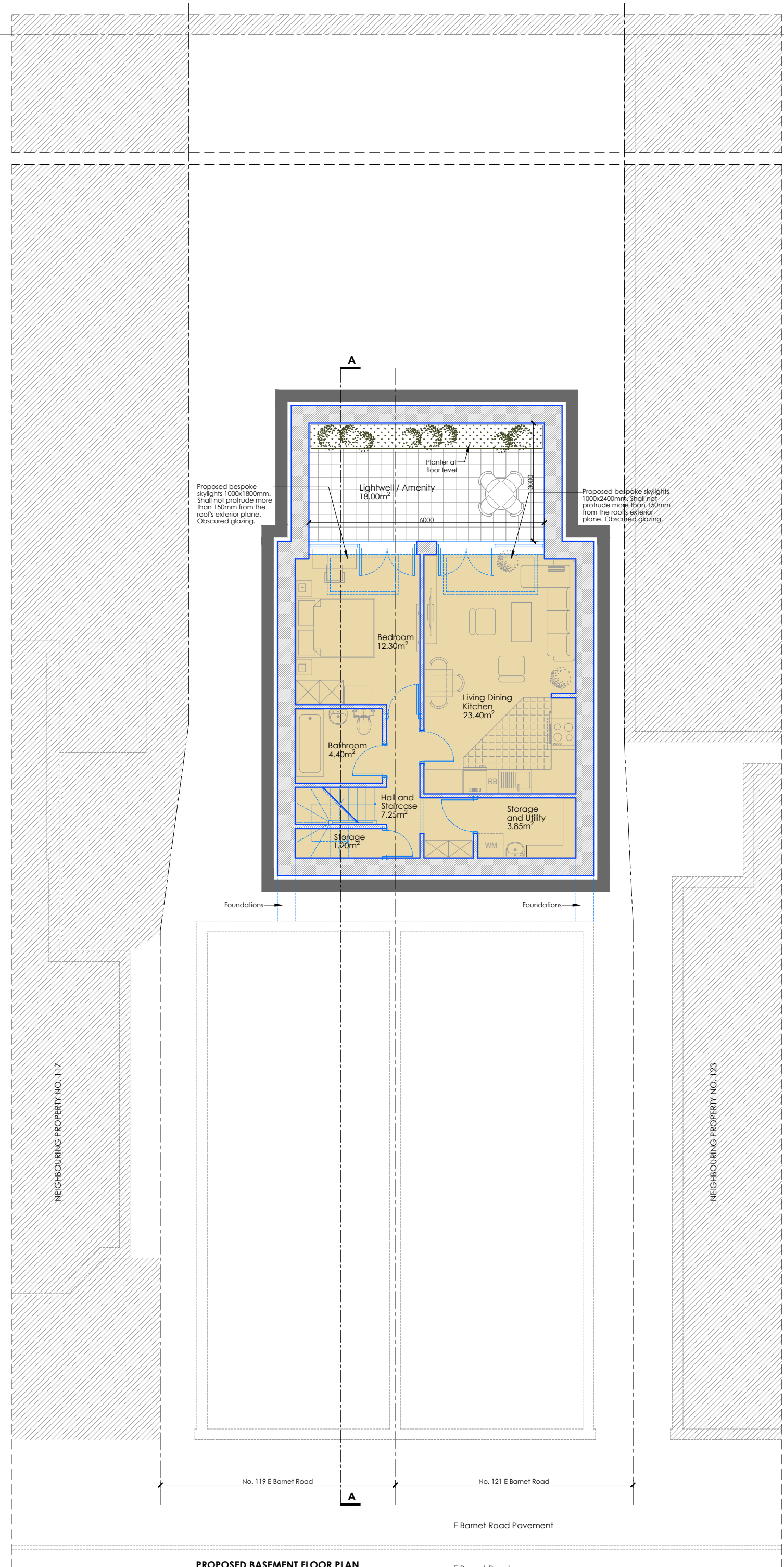
**PLANNING**

Drawing No: <b>EBR-PA-E06</b>	Revision: -
Drawing Title: <b>Existing Left Side and Right Side Elevations</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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Appendix B: Proposed Plans





- WALLS / CEILINGS LEGEND:**
- EXISTING WALLS / CEILINGS
  - PROPOSED WALLS / CEILINGS
  - WALLS / CEILINGS TO BE DEMOLISHED
- LINES / HATCHES LEGEND:**
- DEMOLISHING INTERVENTIONS
  - PROPOSED INTERVENTIONS
  - NEIGHBOURING PROPERTIES
  - AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

- PROPOSED FLATS LEGEND:**
- FLAT 1 - GIA = 59.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
  - FLAT 2 - GIA = 37.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 1 PERSON
  - FLAT 3 - GIA = 67.90 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
  - FLAT 4 - GIA = 67.55 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



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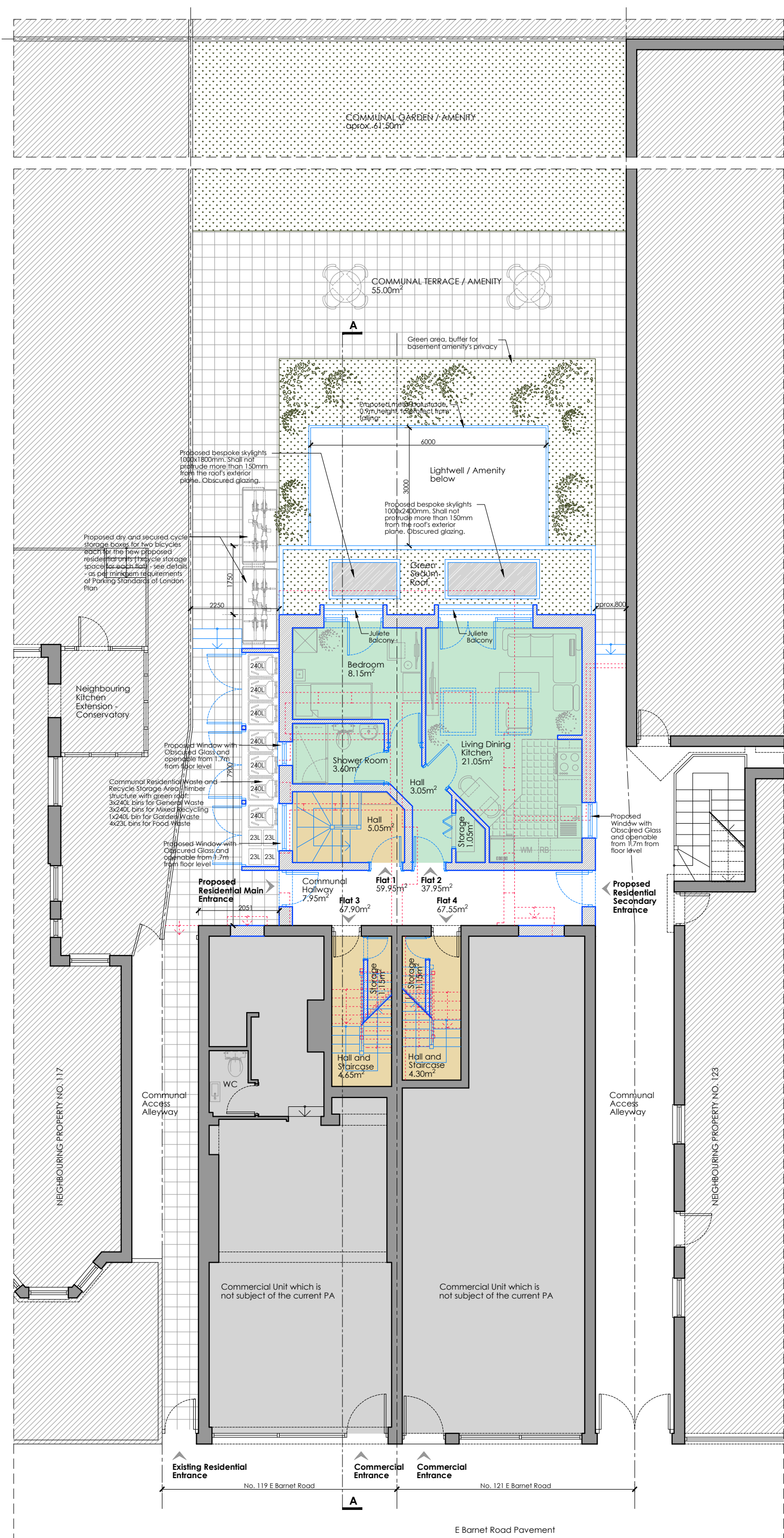
Project No: **007-2023** Site Address: **119-121 E Barnet Road EN4 8RF**

Project Stage: **PLANNING**

Drawing No: <b>EBR-PA-P01</b>	Revision: -
Drawing Title: <b>Proposed Basement Floor Plan</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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**PROPOSED BASEMENT FLOOR PLAN**  
 scale 1:100  
 GIA: 52.75m<sup>2</sup>



- WALLS / CEILINGS LEGEND:**
- EXISTING WALLS / CEILINGS
  - PROPOSED WALLS / CEILINGS
  - WALLS / CEILINGS TO BE DEMOLISHED
- LINES / HATCHES LEGEND:**
- DEMOLISHING INTERVENTIONS
  - PROPOSED INTERVENTIONS
  - NEIGHBOURING PROPERTIES
  - AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

- PROPOSED FLATS LEGEND:**
- FLAT 1 - GIA = 59.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
  - FLAT 2 - GIA = 37.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 1 PERSON
  - FLAT 3 - GIA = 67.90 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
  - FLAT 4 - GIA = 67.55 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



Rev: Date: Description:

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 tel: 07851442165

Client: -

Project No: **007-2023** Site Address: **119-121 E Barnet Road EN4 8RF**

PLANNING	
Drawing No: <b>EBR-PA-P02</b>	Revision: -
Drawing Title: <b>Proposed Ground Floor Plan</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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**PROPOSED GROUND FLOOR PLAN**  
 scale 1:100  
 GIA: 177.45m<sup>2</sup>

E Barnet Road

**WALLS / CEILINGS LEGEND:**

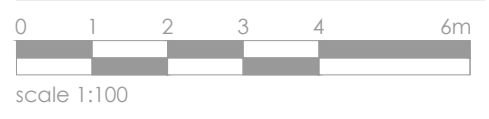
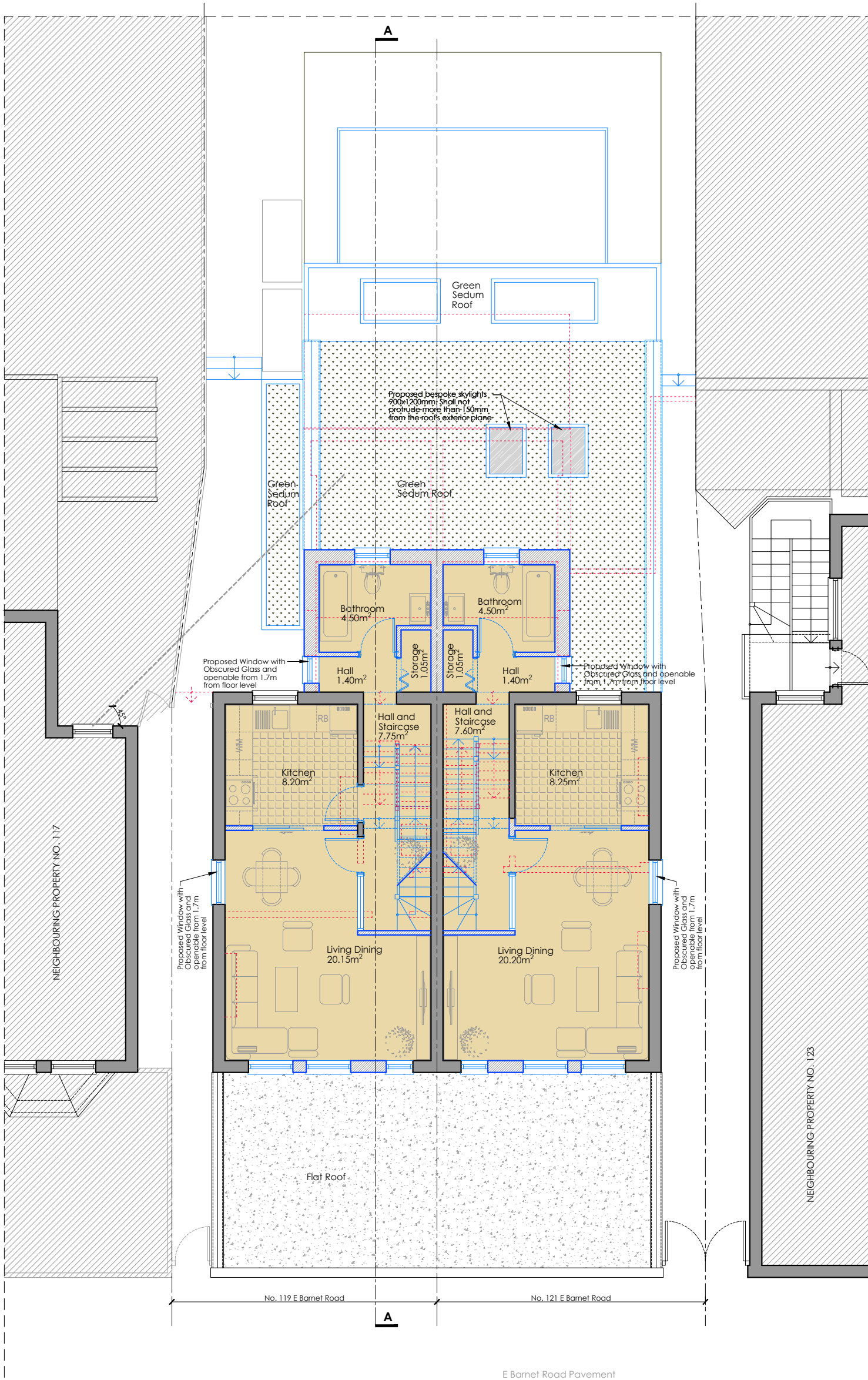
- EXISTING WALLS / CEILINGS
- PROPOSED WALLS / CEILINGS
- WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

- DEMOLISHING INTERVENTIONS
- PROPOSED INTERVENTIONS
- NEIGHBOURING PROPERTIES
- AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

**PROPOSED FLATS LEGEND:**

- FLAT 1 - GIA = 59.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 2 - GIA = 37.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 1 PERSON
- FLAT 3 - GIA = 67.90 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 4 - GIA = 67.55 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



Rev: Date: Description:

**73 Architecture**  
**address:** 162 Essex Road, Flat 1, London, E10 6BT  
**email:** 703architecture@gmail.com  
**tel:** 07851442165

Client: -

Project No: **007-2023** Site Address: **119-121 E Barnet Road EN4 8RF**

Project Stage: **PLANNING**

Drawing No: <b>EBR-PA-P03</b>	Revision: -
Drawing Title: <b>Proposed First Floor Plan</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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**PROPOSED FIRST FLOOR PLAN**  
 scale 1:100  
 GIA: 93.20m<sup>2</sup>

E Barnet Road



**WALLS / CEILINGS LEGEND:**

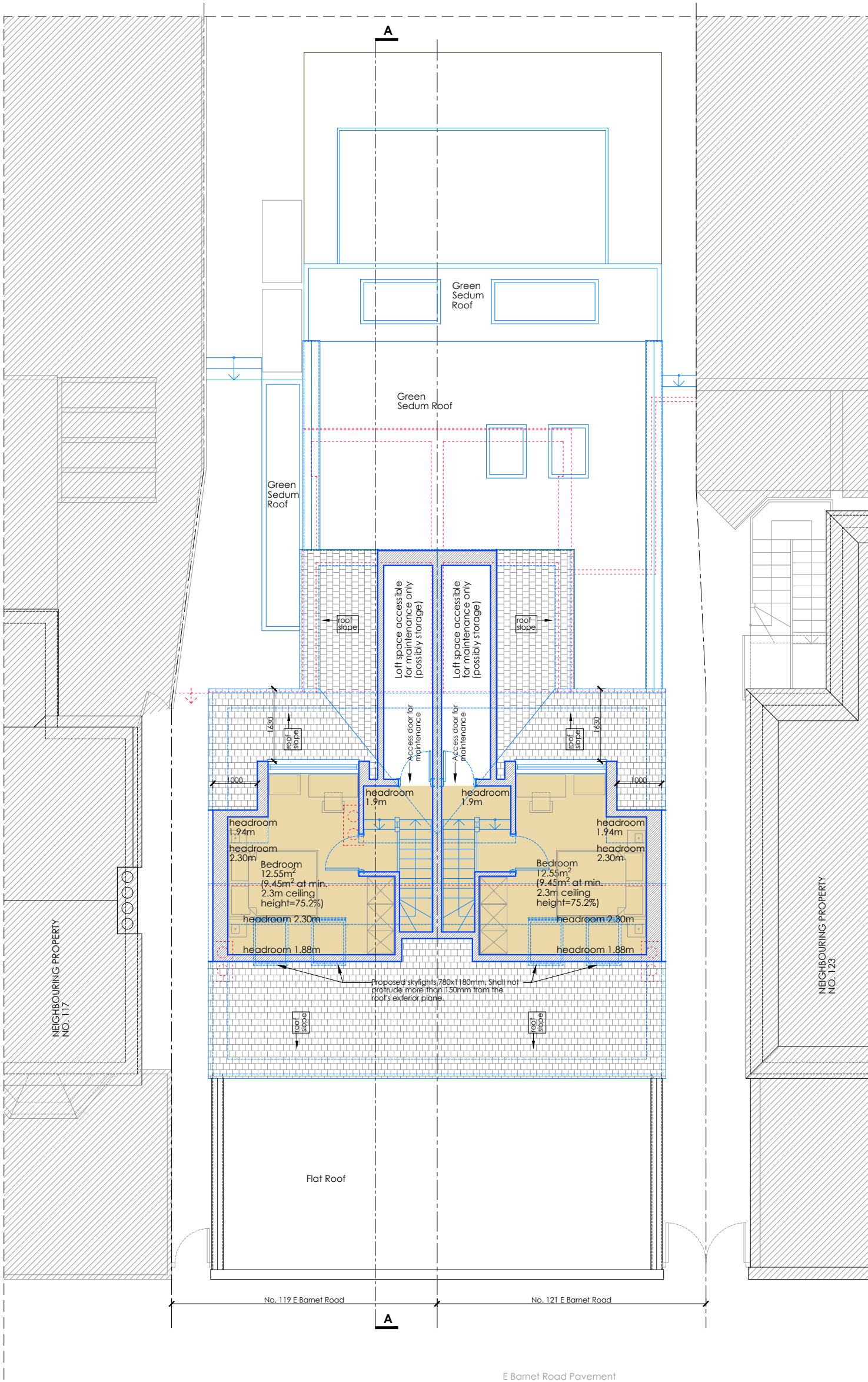
- EXISTING WALLS / CEILINGS
- PROPOSED WALLS / CEILINGS
- WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

- DEMOLISHING INTERVENTIONS
- PROPOSED INTERVENTIONS
- NEIGHBOURING PROPERTIES
- AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

**PROPOSED FLATS LEGEND:**

- FLAT 1 - GIA = 59.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 2 - GIA = 37.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 1 PERSON
- FLAT 3 - GIA = 67.90 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 4 - GIA = 67.55 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



**PROPOSED LOFT FLOOR PLAN**  
scale 1:100  
GIA: 34.60m<sup>2</sup>

E Barnet Road



Rev: Date: Description:



address:  
162 Essex Road, Flat 1, London, E10 6BT  
email:  
703architecture@gmail.com  
tel:  
07851442165

Client:

Project No: 007-2023 Site Address: 119-121 E Barnet Road EN4 8RF

Project Stage:

**PLANNING**

Drawing No: <b>EBR-PA-P04</b>	Revision: -
Drawing Title: <b>Proposed Loft Floor Plan</b>	Status: <b>planning</b>

Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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**WALLS / CEILINGS LEGEND:**

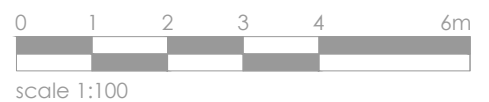
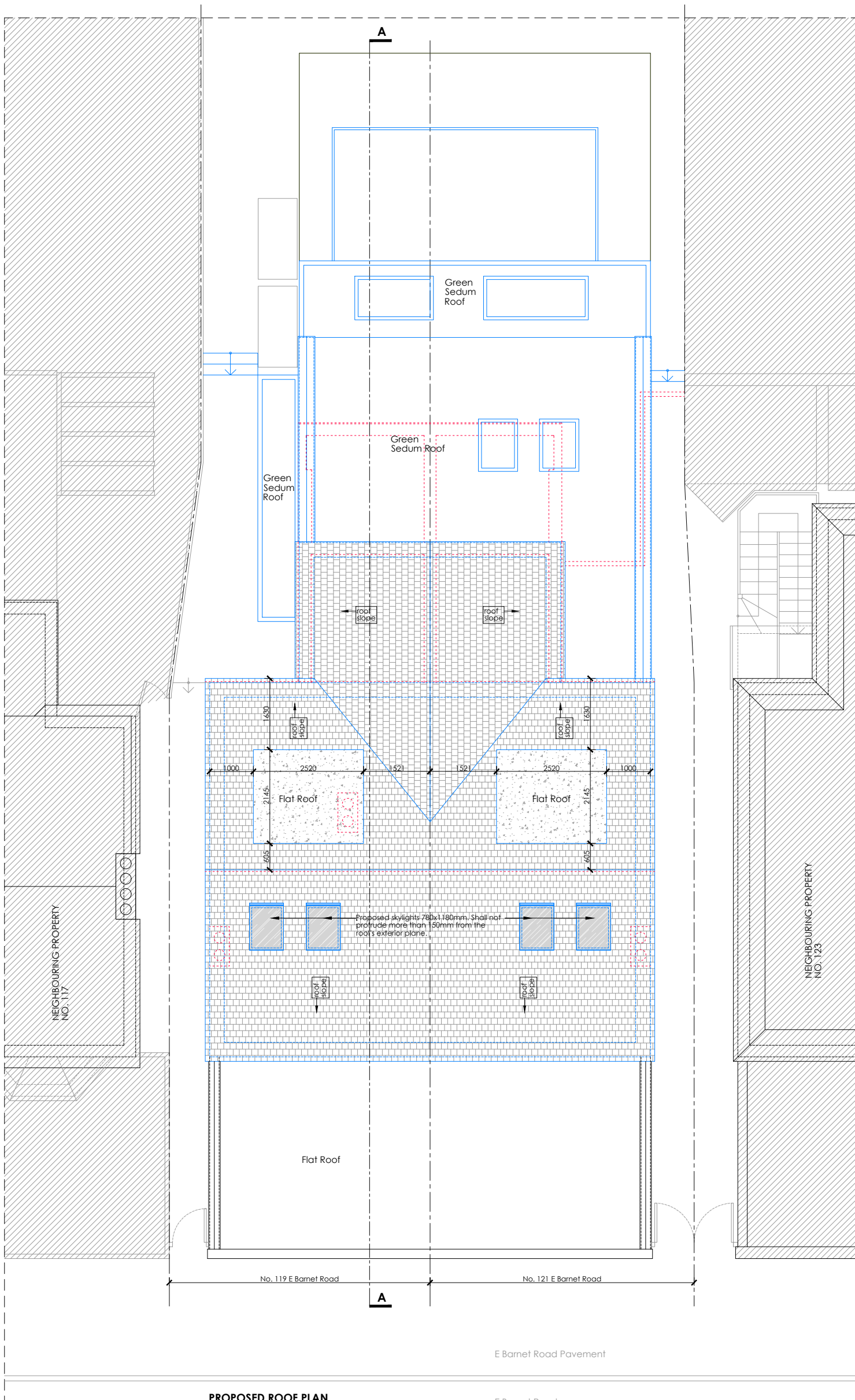
- EXISTING WALLS / CEILINGS
- PROPOSED WALLS / CEILINGS
- WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

- DEMOLISHING INTERVENTIONS
- PROPOSED INTERVENTIONS
- NEIGHBOURING PROPERTIES
- AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

**PROPOSED FLATS LEGEND:**

- FLAT 1 - GIA = 59.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 2 - GIA = 37.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 1 PERSON
- FLAT 3 - GIA = 67.90 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 4 - GIA = 67.55 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



Rev: Date: Description:



address:  
162 Essex Road, Flat 1, London, E10 6BT  
email:  
703architecture@gmail.com  
tel:  
07851442165

Client:

Project No: 007-2023 Site Address: 119-121 E Barnet Road EN4 8RF

Project Stage:

**PLANNING**

Drawing No: EBR-PA-P05	Revision: -
Drawing Title: Proposed Roof Plan	Status: planning
Scale: 1:100 @ A3	Date: 20.01.2024
Drawn by: VC	Checked by: VC

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**PROPOSED ROOF PLAN**  
scale 1:100

E Barnet Road

**WALLS / CEILINGS LEGEND:**

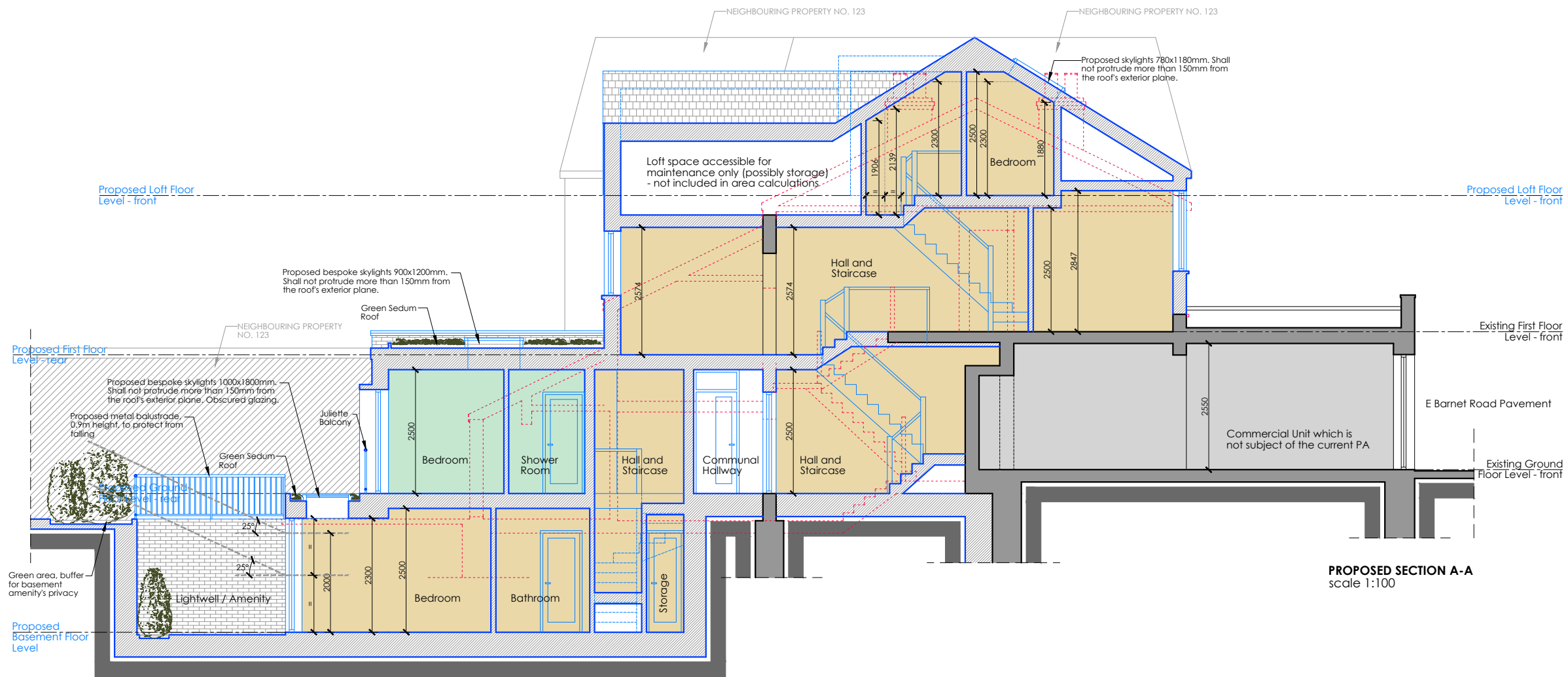
- EXISTING WALLS / CEILINGS
- PROPOSED WALLS / CEILINGS
- WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

- DEMOLISHING INTERVENTIONS
- PROPOSED INTERVENTIONS
- NEIGHBOURING PROPERTIES
- AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

**PROPOSED FLATS LEGEND:**

- FLAT 1 - GIA = 59.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 2 - GIA = 37.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 1 PERSON
- FLAT 3 - GIA = 67.90 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 4 - GIA = 67.55 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



**PROPOSED SECTION A-A**  
scale 1:100



Rev: Date: Description:

**73 Architecture**  
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**email:** 703architecture@gmail.com  
**tel:** 07851442165

Client:

Project No: **007-2023** Site Address: **119-121 E Barnet Road EN4 8RF**

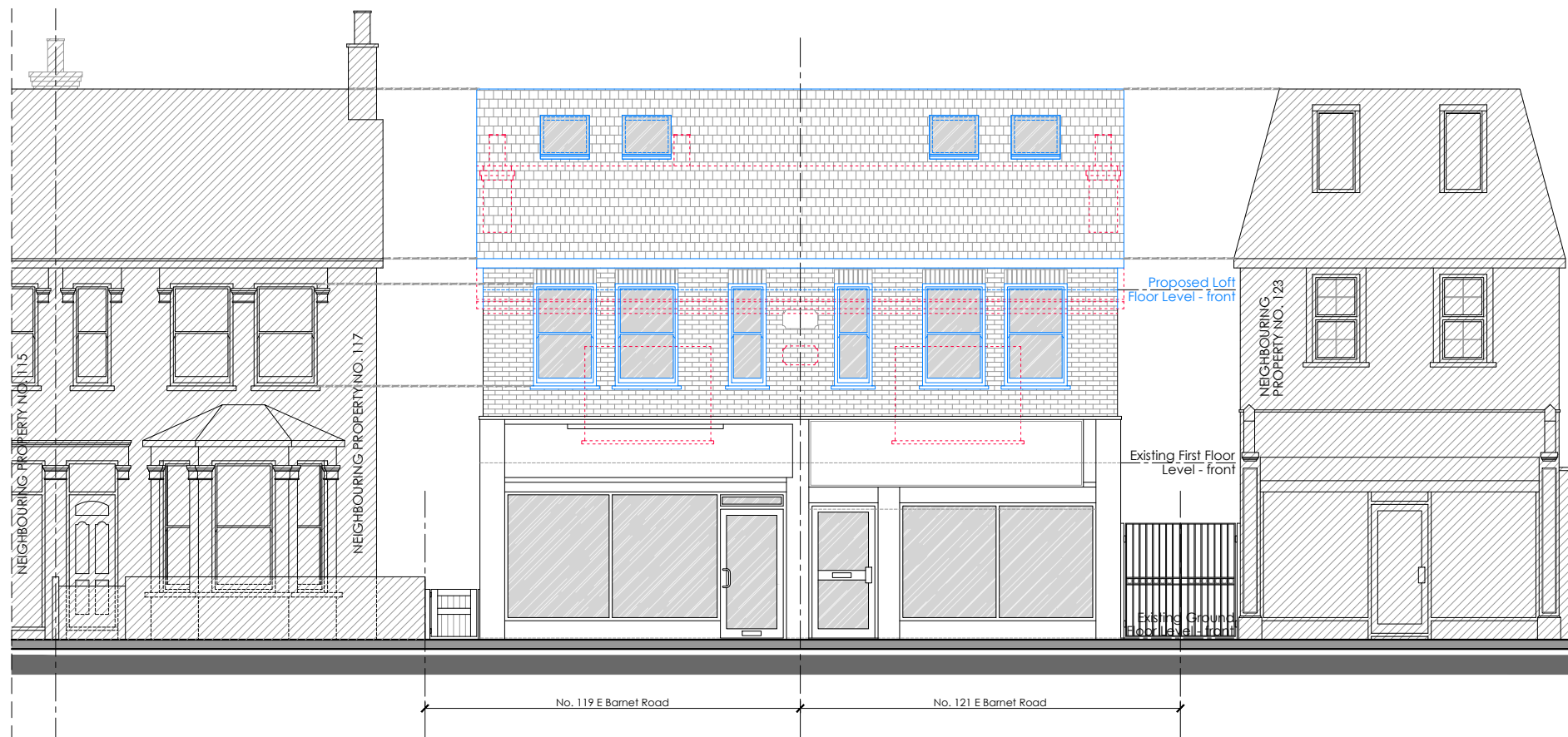
Project Stage:

**PLANNING**

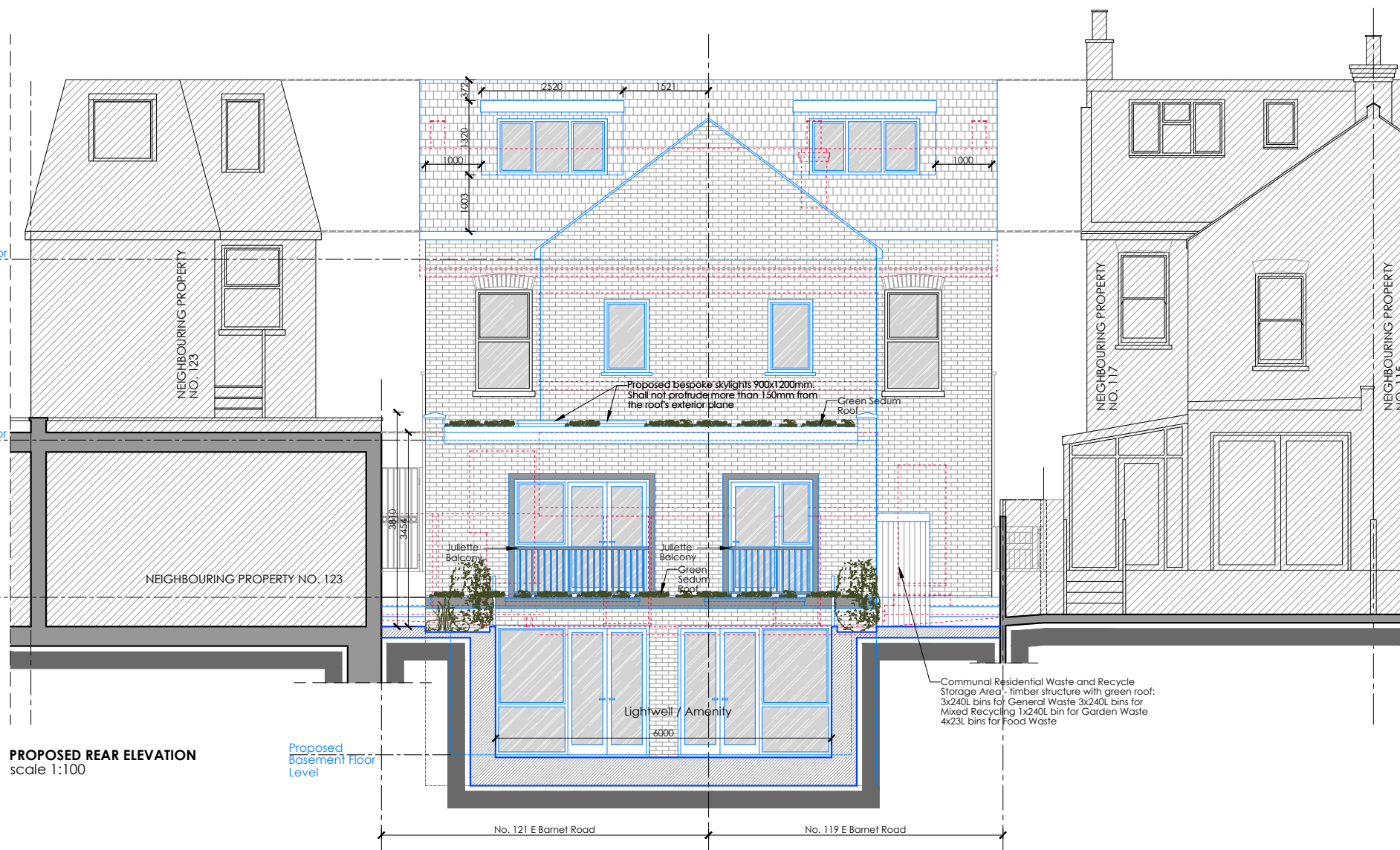
Drawing No: <b>EBR-PA-P06</b>	Revision: -
Drawing Title: <b>Proposed Section A-A</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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**PROPOSED FRONT ELEVATION**  
scale 1:100







**PROPOSED REAR ELEVATION**  
scale 1:100

**WALLS / CEILINGS LEGEND:**

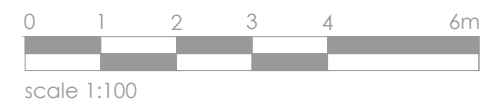
-  EXISTING WALLS / CEILINGS
-  PROPOSED WALLS / CEILINGS
-  WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

-  DEMOLISHING INTERVENTIONS
-  PROPOSED INTERVENTIONS
-  NEIGHBOURING PROPERTIES
-  AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

**PROPOSED FLATS LEGEND:**

-  FLAT 1 - GIA = 59.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
-  FLAT 2 - GIA = 37.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 1 PERSON
-  FLAT 3 - GIA = 67.90 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
-  FLAT 4 - GIA = 67.55 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



Rev: Date: Description:

**73 Architecture**  
address:  
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email:  
703architecture@gmail.com  
tel:  
07851442165

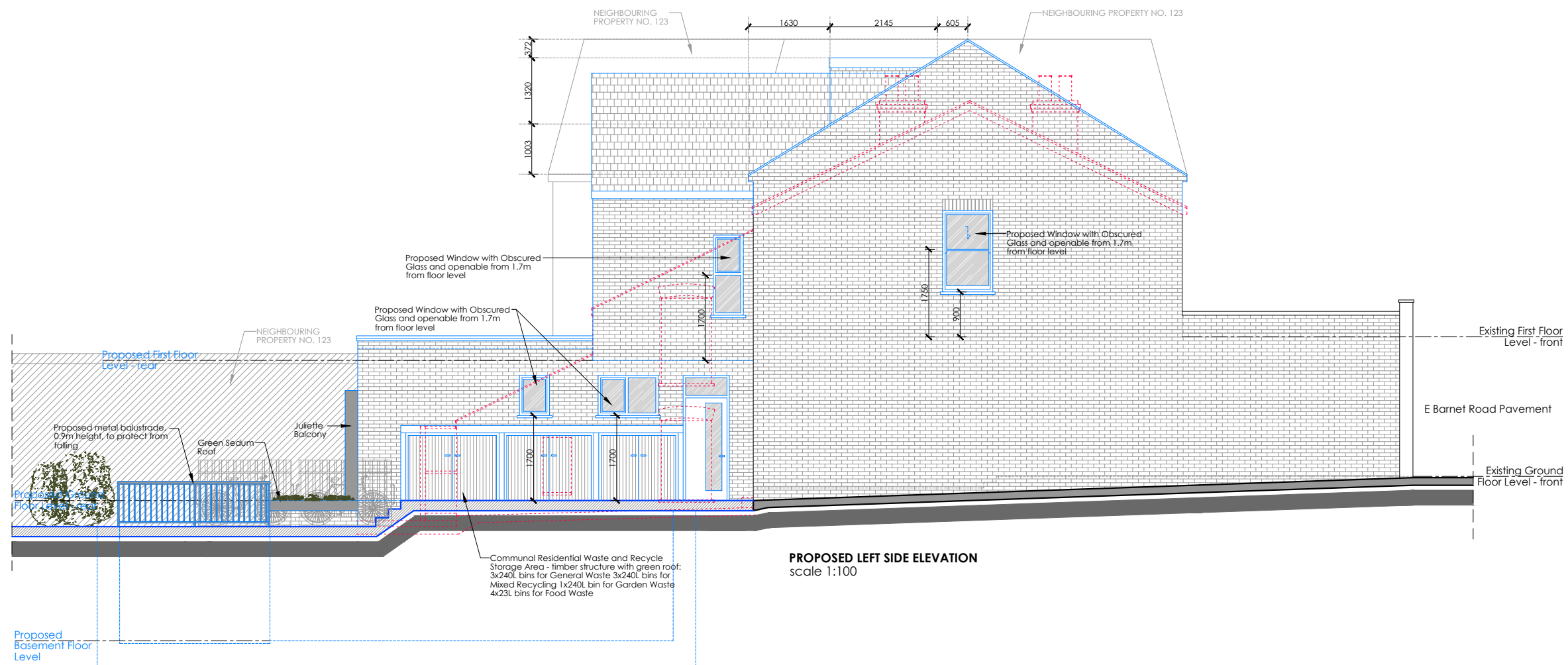
Client:  
-

Project No: Site Address:  
**007-2023 119-121 E Barnet Road EN4 8RF**

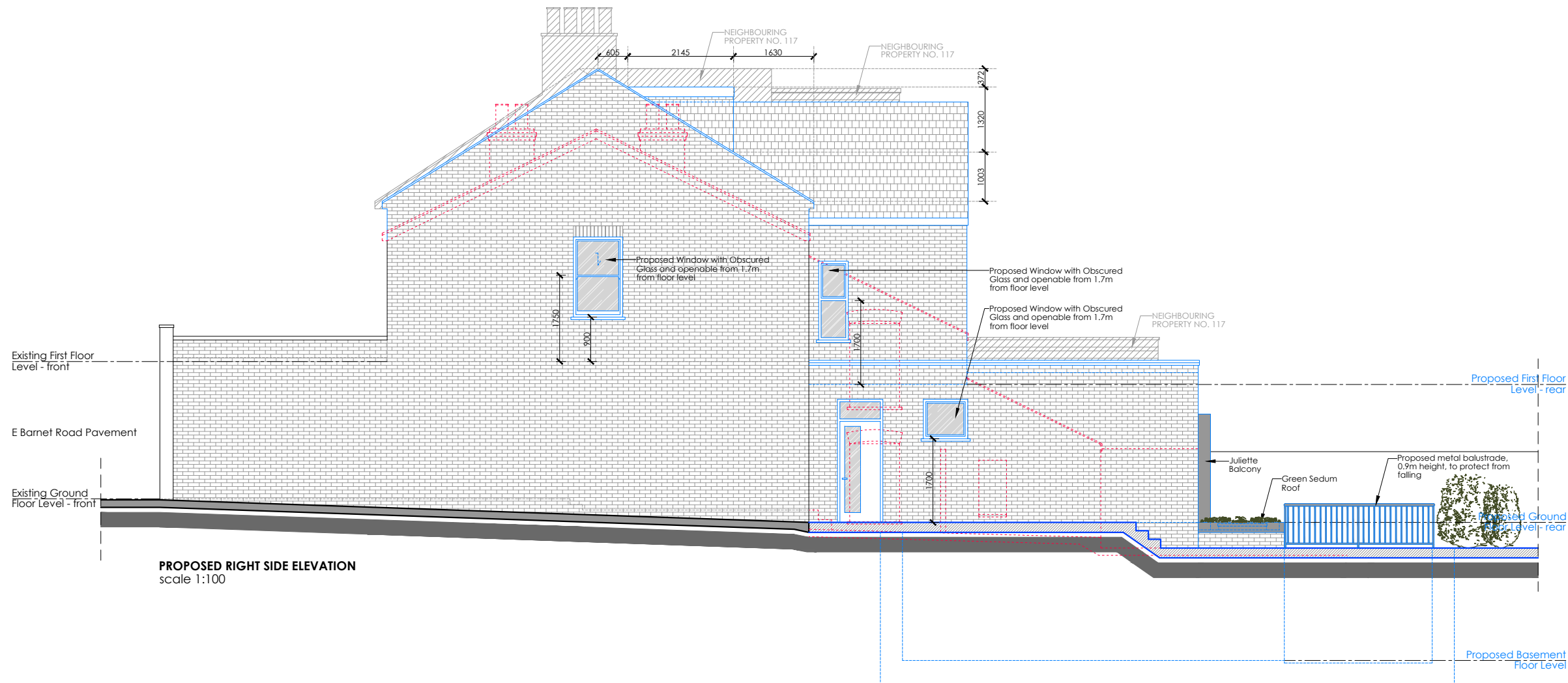
Project Stage:  
-

PLANNING	
Drawing No: <b>EBR-PA-P07</b>	Revision: -
Drawing Title: <b>Proposed Front and Rear Elevations</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

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**PROPOSED LEFT SIDE ELEVATION**  
scale 1:100



**PROPOSED RIGHT SIDE ELEVATION**  
scale 1:100

**WALLS / CEILINGS LEGEND:**

- EXISTING WALLS / CEILINGS
- PROPOSED WALLS / CEILINGS
- WALLS / CEILINGS TO BE DEMOLISHED

**LINES / HATCHES LEGEND:**

- DEMOLISHING INTERVENTIONS
- PROPOSED INTERVENTIONS
- NEIGHBOURING PROPERTIES
- AREAS WHICH ARE NOT PART OF THE CURRENT PLANNING APPLICATION

**PROPOSED FLATS LEGEND:**

- FLAT 1 - GIA = 59.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 2 - GIA = 37.95 m<sup>2</sup>  
ONE BEDROOM FLAT - 1 PERSON
- FLAT 3 - GIA = 67.90 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS
- FLAT 4 - GIA = 67.55 m<sup>2</sup>  
ONE BEDROOM FLAT - 2 PERSONS



Rev: Date: Description:

**73 Architecture**  
**address:** 162 Essex Road, Flat 1, London, E10 6BT  
**email:** 703architecture@gmail.com  
**tel:** 07851442165

Client: -

Project No: **007-2023** Site Address: **119-121 E Barnet Road EN4 8RF**

Project Stage: -

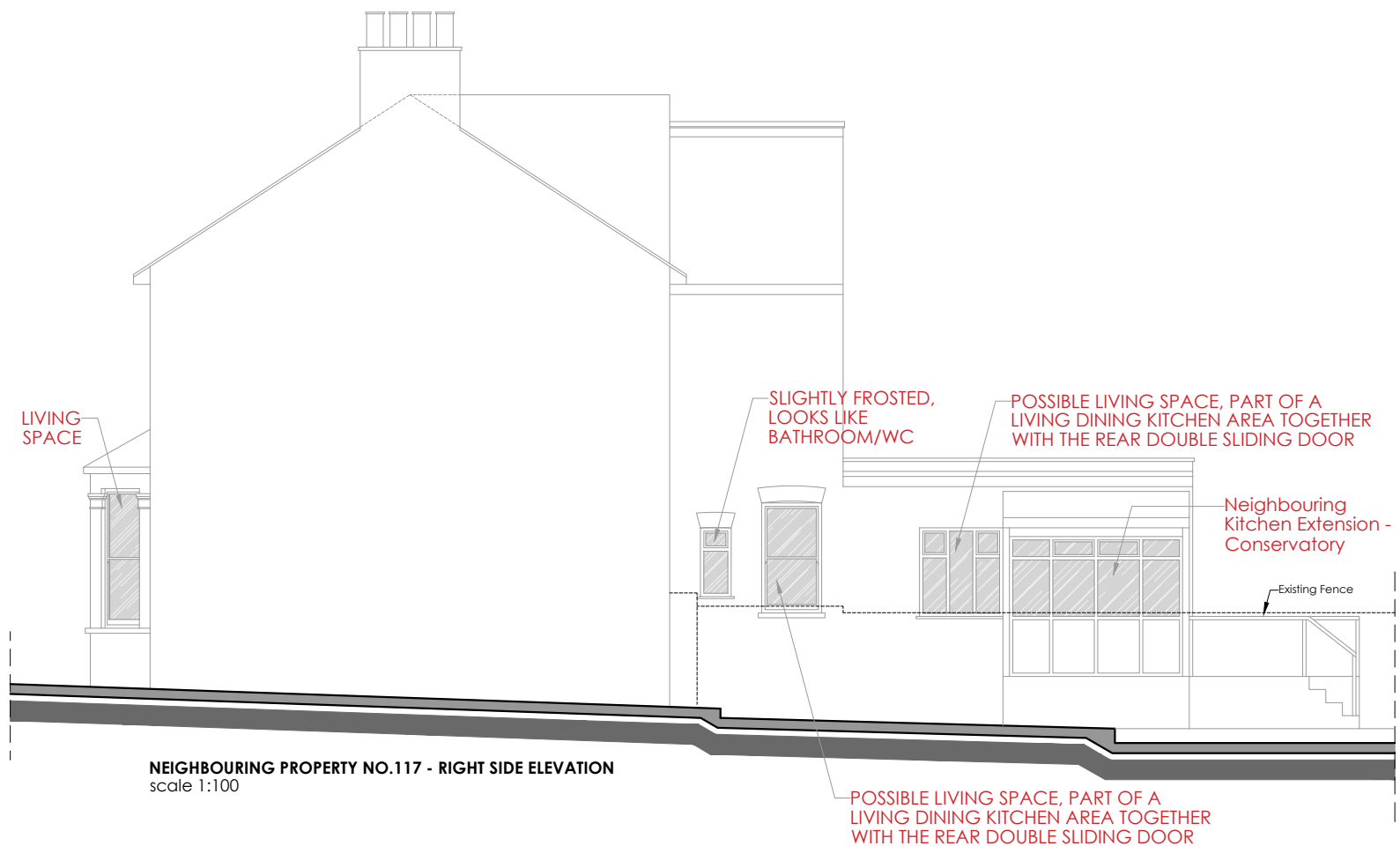
**PLANNING**

Drawing No: <b>EBR-PA-P08</b>	Revision: -
Drawing Title: <b>Proposed Left Side and Right Side Elevations</b>	Status: <b>planning</b>
Scale: <b>1:100 @ A3</b>	Date: <b>20.01.2024</b>
Drawn by: <b>VC</b>	Checked by: <b>VC</b>

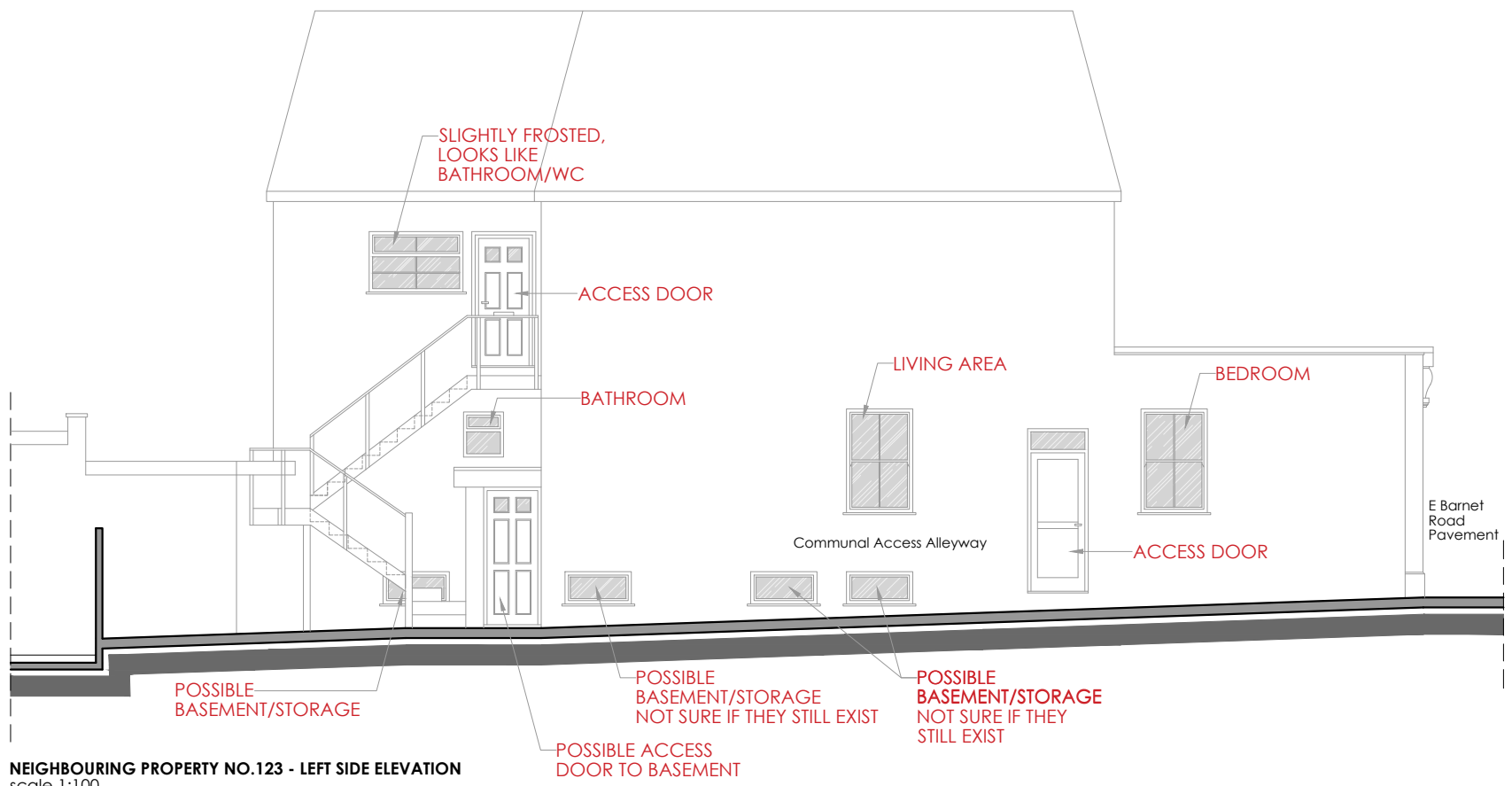
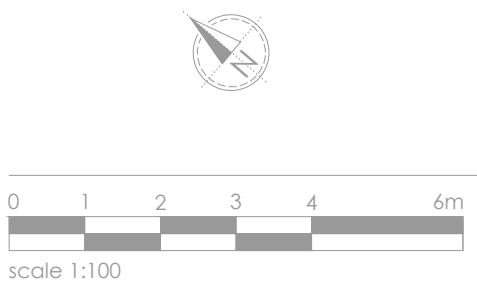
This drawing is the property of Vladuta Chirila (703 Architecture). This drawing is not for construction. Drawing measurements shall not be obtained by scaling. All dimensions to be verified prior to construction or product manufacture. Any discrepancies to be reported immediately to the Architect. This drawing shall be read in conjunction with associated models, specifications and related consultants documents.



Appendix C: 117 & 123 East Barnet Road Supporting Plans



**NEIGHBOURING PROPERTY NO.117 - RIGHT SIDE ELEVATION**  
scale 1:100



**NEIGHBOURING PROPERTY NO.123 - LEFT SIDE ELEVATION**  
scale 1:100

Rev:	Date:	Description:

**73 Architecture**  
**address:** 162 Essex Road, Flat 1, London, E10 6BT  
**email:** 703architecture@gmail.com  
**tel:** 07851442165

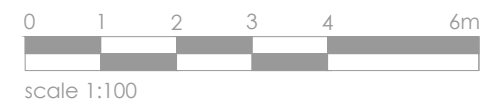
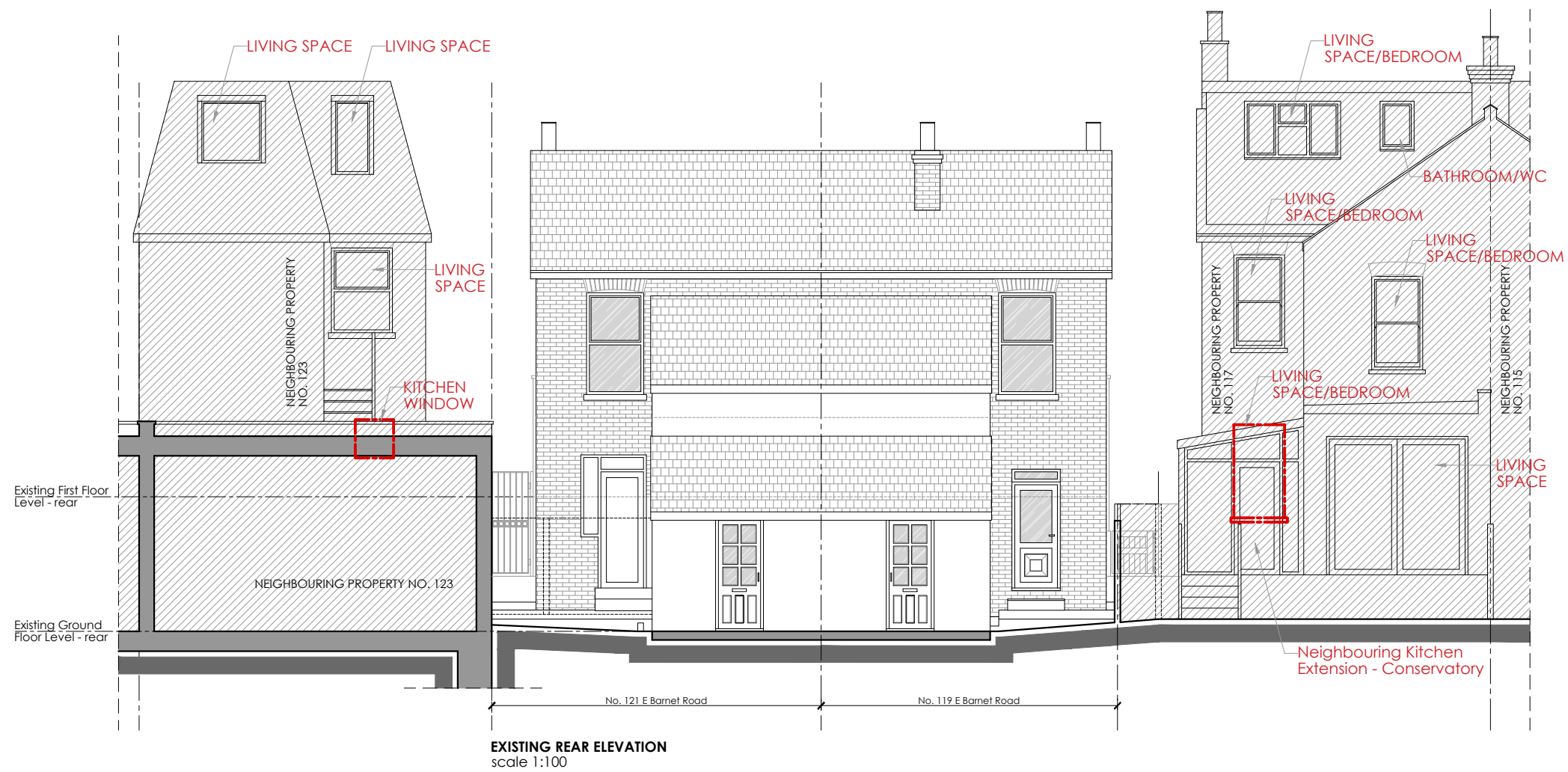
Client: -

Project No: **007-2023** Site Address: **119-121 E Barnet Road EN4 8RF**

Project Stage: **PLANNING**

Drawing No:	Revision:
<b>EBR-PA-E00</b>	-
Drawing Title:	Status:
<b>Neighbour no.123 - Left Side Elev.</b>	<b>DRAFT</b>
<b>Neighbour no.117 - Right Side Elev.</b>	
Scale:	Date:
<b>1:100 @ A3</b>	<b>22.11.2023</b>
Drawn by:	Checked by:
<b>VC</b>	<b>VC</b>

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Rev: Date: Description:

**73 Architecture**  
 address: 162 Essex Road, Flat 1, London, E10 6BT  
 email: 703architecture@gmail.com  
 tel: 07851442165

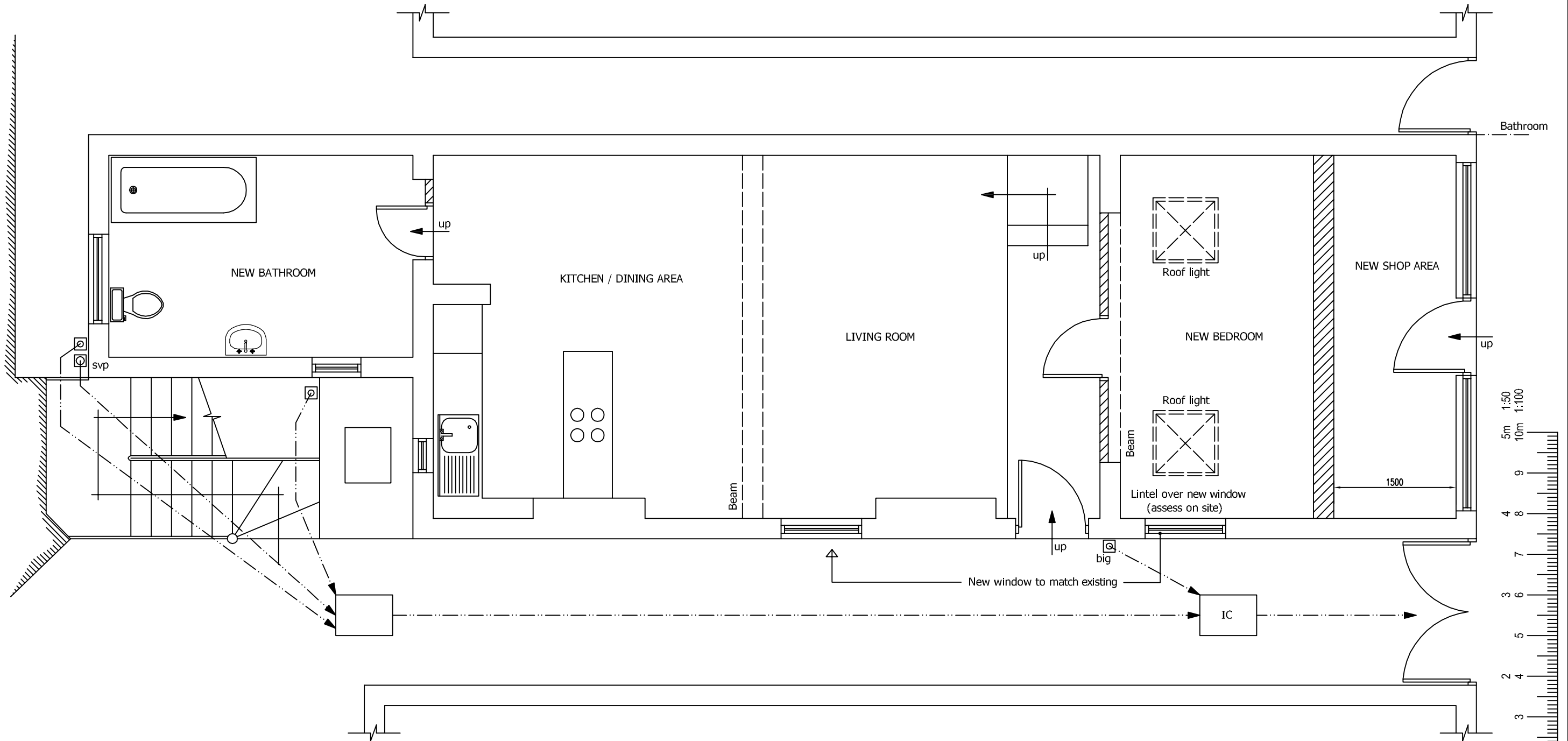
Client: -

Project No: 007-2023 Site Address: 119-121 E Barnet Road EN4 8RF

Project Stage: **PLANNING**

Drawing No:	EBR-PA-E00	Revision:	-
Drawing Title:	Neighbour no.123 - Rear Elev. Neighbour no.117 - Rear Elev.	Status:	DRAFT
Scale:	1:100 @ A3	Date:	22.11.2023
Drawn by:	VC	Checked by:	VC

This drawing is the property of Vladut Chirila (703 Architecture). This drawing is not for construction. Drawing measurements shall not be obtained by scaling. All dimensions to be verified prior to construction or product manufacture. Any discrepancies to be reported immediately to the Architect. This drawing shall be read in conjunction with associated models, specifications and related consultants documents.



**PROPOSED GROUND FLOOR PLAN**  
scale 1:50

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DRAWING STATUS		<b>PLANNING</b>	
REV.	DATE	NAME	DESCRIPTION
<b>DISCOUNT PLANS LTD</b> PLANNING AND DESIGN SPECIALIST'S HEAD OFFICE 68 RAGLAN AVENUE WALTHAM CROSS HERTFORDSHIRE EN8 8DD 07838135957			

**GENERAL NOTES:**  
Do not scale from this drawing, any dimensions shown are indicative only and are subject to verification on site. The contractor to set out, check and co-ordinate all dimensions on site during the course of the works and prior to setting out on site. This drawing to be read in conjunction with all other Architect's and Engineer's drawings, Structural Engineers calculations and any specialist supplier's drawings. Prior to commencement of building works the contractor should:-

1. Ensure that the working drawings and calculations are approved by Building Control and Planning Departments and that they are the current revised drawings before any works start on site.
2. Inform the Building control department that the works are about to commence on site after receiving an approved decision from building control in writing.
3. Verify boundary lines and ground conditions including checking positions of all gas; electrical, water and other services drainage ect. within the site prior to the commencement of excavations.
4. DPL are not responsible for builders changing design methods to proposed works. The client is responsible for works being carried out on a building notice.
5. DPL are not responsible for builders changing design methods to proposed works.

6. Request a copy of the Party Wall Award where works affect party wall or involve excavations within 3 meters of adjoining buildings.
7. Where works involve demolition to ensure that all elements of the building and adjoining structures are accounted for and that all necessary propping and temporary supports are in place.
8. Works carried out under a building notice or prior to approval of drawings are at the contractors/owners risk. (all drawings must be approved before works commence)
9. Any discrepancies, either between written dimensions and site dimensions or between this drawing and other consultant's or suppliers drawings, should be brought to the immediate attention of discount plans ltd before executing the structural, mechanical and electrical works.
10. All of DPL structural designs are subject to footings being 1m deep, if however the existing foundation is different a trial-hole will need to be dug to establish the existing foundation type and building control will need to advise on a different method of construction.

**PLANNING NOTES:** WWW.DISCOUNTPLANS.LTD.COM  
discountplansltd@gmail.com

1. All new proposed roof and wall finishes on this drawing to match existing materials.
2. All new proposed skylights shown on this drawing will be designed not protrude more than 150mm from the existing roof profile.
3. All new proposed windows shown on this drawing which overlook other property's are designed to be non opening and of obscure glazing.
4. For a permitted development loft design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is.
5. For a permitted development loft design the dormer designed on this drawing is set back from the eaves by 200mm, this note is a confirmation that it is.

All works to be carried out in accordance with the latest appropriate codes of practice and to comply with current building regulations.

**PRINT @ A3 SHEET SIZE**

<b>SITE ADDRESS</b>	
123 EAST BARNET ROAD, BARNET, HERTFORDSHIRE, EN4 8RF	
<b>DRAWING TITLE</b>	
PROPOSED DRAWINGS	
<b>DRAWN AT HEAD OFFICE</b>	<b>DRAWN BY</b>
SCALE as shown @ A3	DATE SEP 2011
<b>DRAWING No.</b>	<b>REVISION</b>
<b>DPL.04.</b>	-

CONTACT NUMBER: 07838 135 957

Appendix D: Vertical Sky Component – Numerical Results Plans

Project Name: No.119 - No.121 East Barnet Road, London, EN4 8RF  
 Project No: S11552 - Rev0  
 Report Title: Vertical Sky Component Analysis - Rev0  
 Date of Analysis: 08.12.2023

Vertical Sky Component - Numerical Results Rev0				
Receptor	VSC - Existing (%)	VSC - Proposed (%)	% Retained	
1	30.18	29.98	99.00%	
2	22.33	19.02	85.00%	
3	19.92	17.10	86.00%	
4	29.69	25.82	87.00%	
5	35.30	35.28	100.00%	
6	35.48	35.47	100.00%	
7	21.85	20.87	96.00%	
8	38.84	38.78	100.00%	
9	29.37	28.43	97.00%	
10	39.24	39.22	100.00%	
11	16.19	15.45	95.00%	
12	5.53	4.76	86.00%	
13	23.05	22.04	96.00%	
14	25.62	25.08	98.00%	
15	39.62	39.62	100.00%	
16	33.55	33.51	100.00%	

Appendix E: Annual / Winter Probable Sunlight Hours – Numerical Results Plans

Project Name: No.119 - No.121 East Barnet Road, London, EN4 8RF  
 Project No: S11552 - Rev0  
 Report Title: Annual Probable Sunlight Hours Analysis - Rev0  
 Date of Analysis: 08.12.2023

Annual Probable Sunlight Hours				
Window Receptors - Annual Hours	Existing %	Proposed %	% Retained	
1	64.00	63.00	98.00%	
2	37.00	32.00	86.00%	
3	38.00	33.00	87.00%	
4	61.00	53.00	87.00%	

Project Name: No.119 - No.121 East Barnet Road, London, EN4 8RF  
 Project No: S11552 - Rev0  
 Report Title: Winter Probable Sunlight Hours Analysis - Rev0  
 Date of Analysis: 08.12.2023

Winter Probable Sunlight Hours				
Window Receptors - Winter Hours	Existing %	Proposed %	% Retained	
1	21.00	21.00	100.00%	
2	3.00	2.00	67.00%	
3	7.00	3.00	43.00%	
4	12.00	6.00	50.00%	