

# RED WORKS STUDIO

**PRE-OCCUPANCY CONDITIONS APPLICATION:**

**CONDITIONS 9, 10, 12, 13, 14 & 15**

81 SUMMERHOUSE DRIVE

BEXLEY

KENT

DA5 2EF

9TH FEBRUARY 2024

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## 1.0 INTRODUCTION

This Pre-Occupancy Conditions Application is produced for the proposed works at 81 Summerhouse Drive, Bexley, Kent, DA5 2EF

Planning permission was granted by Dartford Council on Monday 06 Jun 2022 and the reference number for that application is 21/O1521/FUL.

The application was granted with conditions, and this document is submitted as part of an application to discharge condition several pre-occupancy conditions. These being as follows:

- Condition 09 - Contaminated Land Process
- Condition 10 - 1.8m Privacy Screen
- Condition 12 - Waste and Recycling Provisions
- Condition 13 - Bicycles Storage
- Condition 14 - Electrical Vehicle Charging
- Condition 15 - Provision for Adaptable or Accessible Dwellings

A response is given to each of the above conditions in the following sections. Details are provided for each item for the case officer's review and we remain on hand should there be any questions or further information required.

## 2.0 PROJECT INFORMATION

### Site Address

81 Summerhouse Drive, Bexley, Kent, DA5 2EF

### Site Description

The site is a large plot (Nos 81 - 83) of land, that is currently vacant and overgrown. The 2 bedroom bungalow previously located on the site has been demolished, following approval of application 21/00050/FUL.

### Description of Proposed Works

Erection of 1 No. five bedroom house, and associated parking and amenity space provision.

The property is to be used as a single family home, by the applicants.

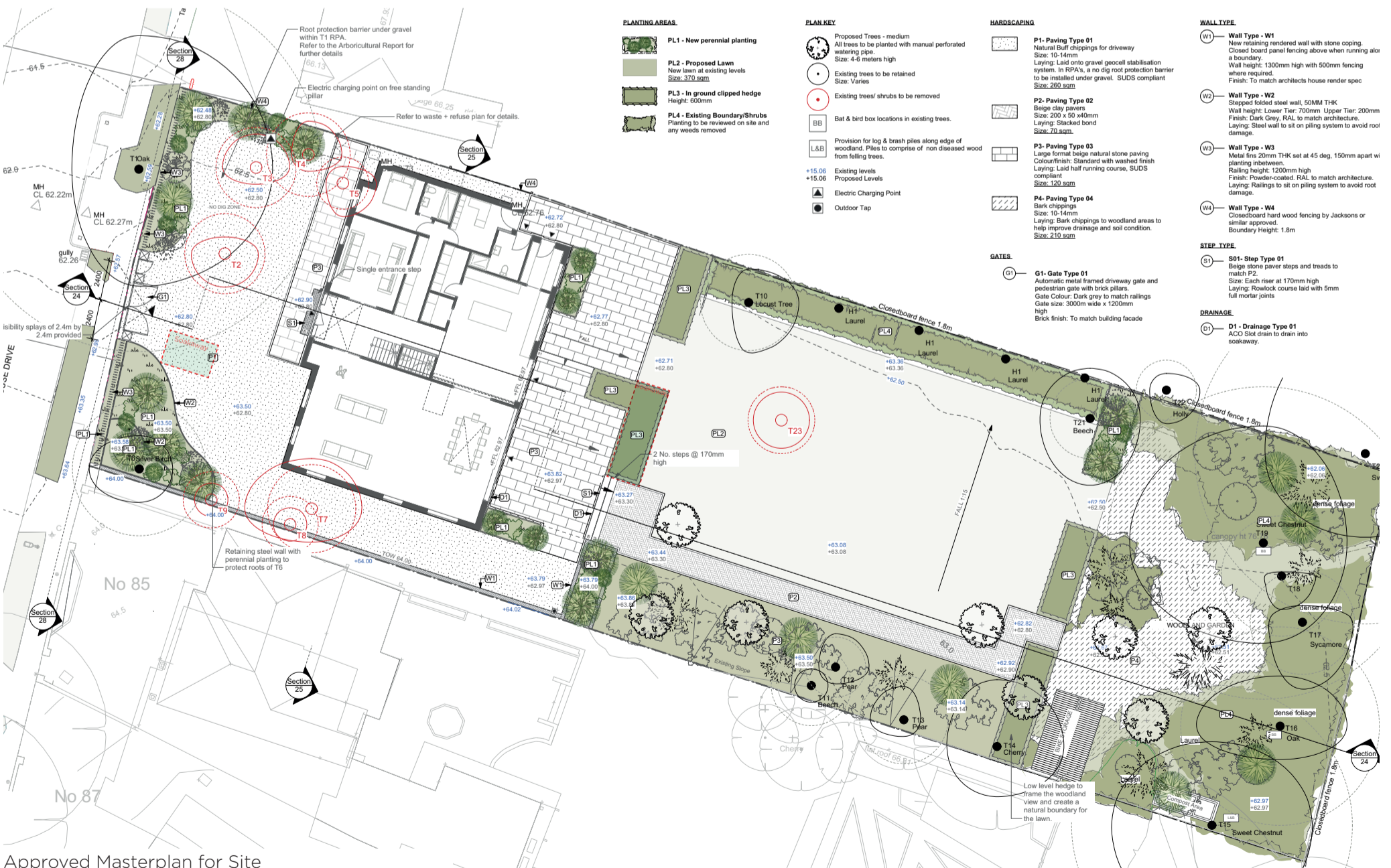


Site Location Plan - Not to Scale





Aerial View of Site



Approved Masterplan for Site

## 3.0 Contaminated Land - Condition 09

### **Condition 09:**

**Prior to occupation of the development hereby approved, a contaminated land closure report shall be submitted to and approved by the Local Planning Authority. The closure report shall include details of the proposed remediation works and the quality assurance certificates to show that the works have been carried out in full in accordance with the approved methodology. This shall include photographic evidence. Details of any post remediation sampling and analysis to show the site has reached the required clean-up criteria shall be included in the closure report together with the necessary documentation detailing what waste materials have been removed from the site.**

### Response:

Geosphere Environmental were appointed as consultants to carry out a series of soil and ground investigations across the site, the findings of which were submitted to Dartford as part of the approved application for pre-commencement Condition 05.

No contaminated land was discovered and a Discovery Strategy has been implemented during the construction stage as per the Geosphere Environmental letter dated 24th August 2022 (Appendix Item 1), which states:

#### 2.2 Summary

The ground investigation report did not recommend any specific remedial or mitigation measures with regard to the identified soil qualities, other than a Discovery Strategy (common practice). When comparing this to Planning Condition 5 of the approved planning application DA/21/01521/FUL it is interpreted that, based upon the available information, no further actions are necessary at this time in this regard.

Groundworks and excavations on site are now completed and there has been no need to stop works due to the discovery of any contamination.

Discharge of this condition is requested as no further action has been required.

## 4.0 Privacy Screen - Condition 10

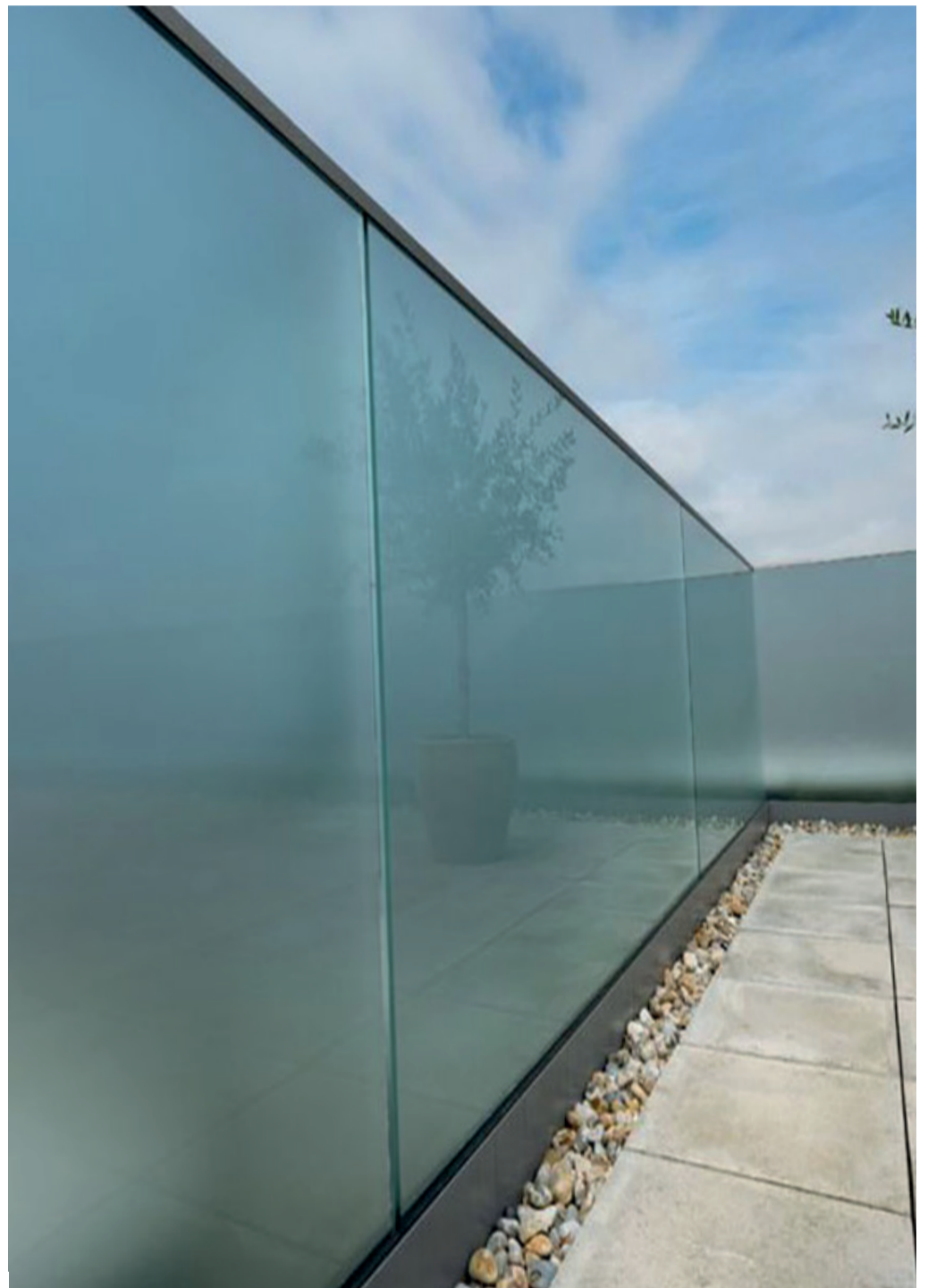
**Condition 10:**  
**Notwithstanding the approved plans, details of a 1.8m high privacy screen taken from the floor level of the terrace on the southern edge of the proposed roof terrace facing towards No. 85 Summerhouse Drive shall be supplied to and approved in writing by the Local Planning Authority. The privacy screen shall be installed in accordance with the approved details before the development is first occupied, and maintained thereafter in perpetuity.**

Response:

A 1.8m high privacy screen formed in toughened laminated glass is to be installed along the south edge of the first floor balcony.

The glazing will be frameless, held in a bottom metal bracket to match the other metal work of the property and with a slim cap to its top side.

Please refer to the attached elevation drawing TE\_415 Terrace Privacy Screen (Appendix Item 2).



## 5.0 Waste & Refuse - Condition 12

### Condition 12:

**Prior to occupation of the development hereby approved details of facilities for the storage and collection of waste and refuse within the curtilage of the site shall be submitted to and approved by the Local Planning Authority. Development shall be carried out and thereafter maintained in accordance with the approved details.**

Response:

The property is to be provided with a minimum of:

- 1x180 litre Green Residual Waste Bin
- 1x240 litre Grey Recycling bin
- 1x55 litre Black Glass Recycling box

These items will be housed outside, to the front of the property in the position shown on the Landscape Masterplan (Appendix Item 1). In order that bins can be wheeled easily, and from a short distance of less than 15m to the pavement on bin collection days.

The bins are to be stored within a bin store, similar to the one shown pictured, this will also house spare spaces, should the property owners require the use of more waste and recycling storage.



1 x 180 litre Residual waste bins

1 x 240 litre Grey recycling bins

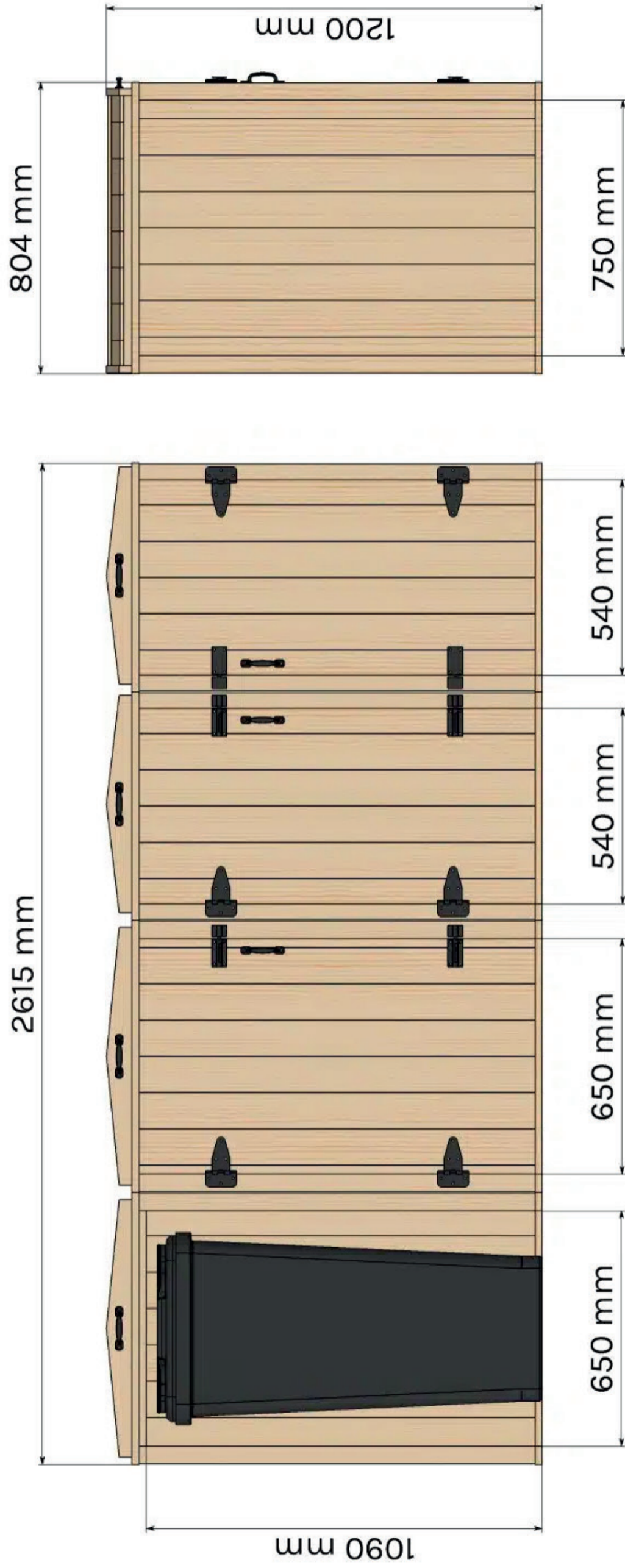


1 x 55 litre Black Glass recycling box

Note: These are examples of products for illustration purposes. The bins are to be ordered via Dartford's Waste Department to ensure council standard bin types are provided to the property.



# Bellus Quad Wheelie Bin Storage For 2 x 240 and 2 x 140/180 Litre Wheelie Bins



## 6.0 Bicycle Storage - Condition 13

### **Condition 13:**

**Prior to occupation of the development hereby approved, on site facilities shall be provided within the curtilage of the site for the secure and weatherproof storage of bicycles in accordance with details to have been submitted to and approved by the Local Planning Authority beforehand. Such facilities shall be maintained thereafter.**

### Response:

Provision for a permanent bike store has been made in the rear garden, and its position is shown on on the Landscape Masterplan (Item 1 in the Appendix).

The store is to measure 2.1m x 1.4m in plan and it is 1.35m high. It is to provide dry, secure storage for up to 5 bicycles for the the family.

The bike store is a timber clad product, that will be constructed on a simple concrete base or area of hardstanding, sized to suit.

Further product details are available at:

<https://www.brightonbikesheds.co.uk/tester/classic-bike-shed/>



## 7.0 Electric Vehicle Charging - Condition 14

### **Condition 14:**

**Prior to the occupation of the dwelling hereby approved, details of electric vehicle charging point(s) shall be submitted to and approved by the local planning authority. Such electric vehicle charging point(s) shall be implemented in accordance with the approved details.**

### Response:

A charging outlet is to be positioned to the front of the property, adjacent to the two car parking spaces provided.

The exact position is marked on the Landscape Masterplan.

The proposed product is the Pod Point PP-A-210051-1 which is a floor mounted stand suitable for installation of a single Pod Point Solo 3 EV Charger, see pictured.

More details here: <https://www.electricpoint.com/pod-point-ppa210051-freestanding-mount-solo-3-ev-chargers.html>



## 8.0 Accessibility - Condition 15

**Condition 15:**

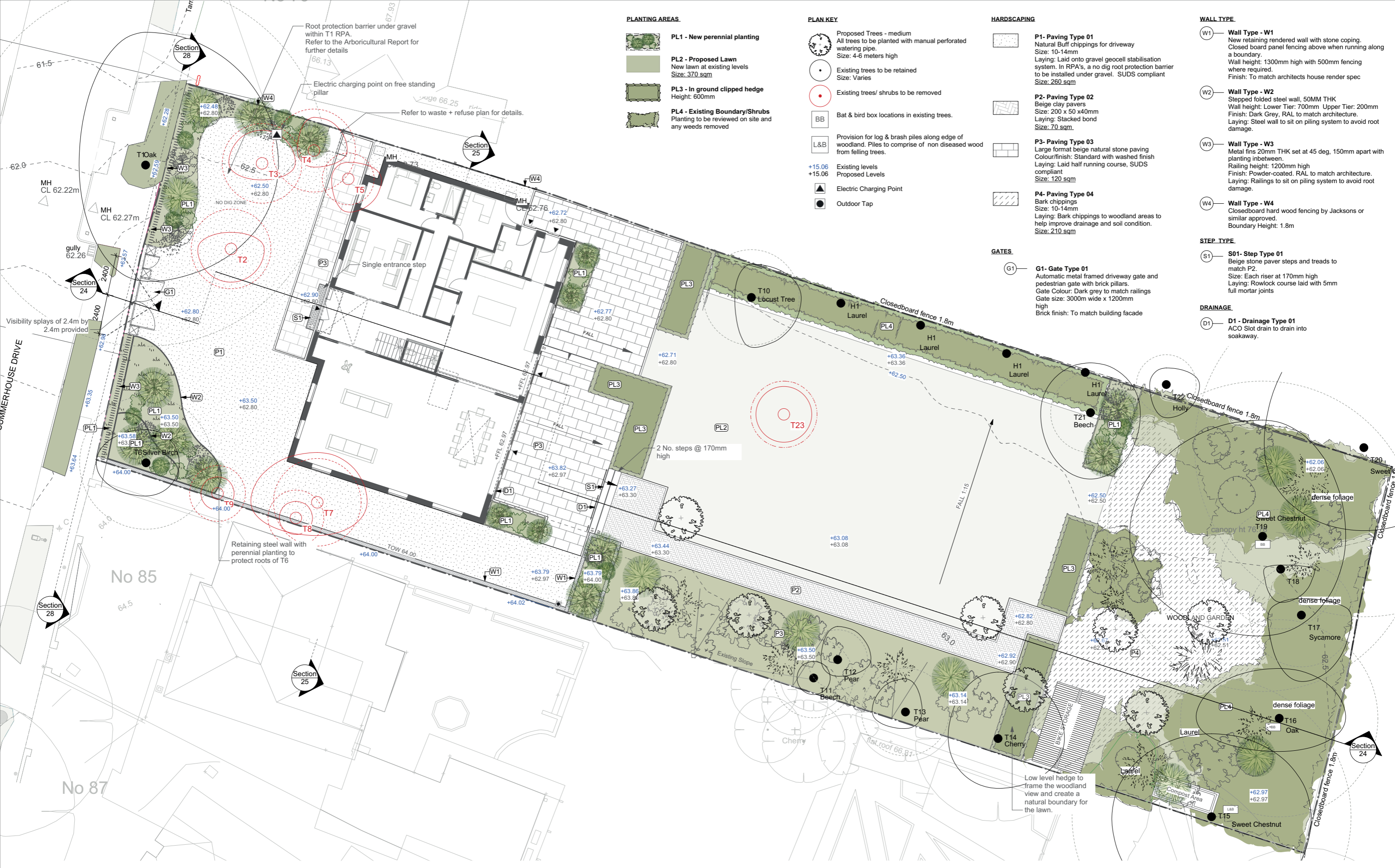
**No part of the development hereby approved shall be occupied until evidence has been submitted to the Local Planning Authority confirming that the Building Regulations Part M4(2) or Part M4(3) Wheelchair Adaptable or Accessible Dwellings have been implemented for the approved dwelling and signed off under Building Regulations 2015 (or any subsequent amendments).**

Response:

A full plans check of the proposal has been carried out by the project's Approved Inspector, Stroma Building Control and a copy of their letter confirming acceptance of the proposals is attached in the Appendix.

## 9.0 Appendix Items

- Item 1: Landscape Masterplan Drawing
- Item 2: Elevation showing 1.8m Privacy Screen
- Item 3: Bike Store Drawing
- Item 4: Geosphere Environmental Letter regarding Contaminated Land Process dated 24th August 2022
- Item 5: Stroma Approved Insector Letter



**PLANTING AREAS**

- PL1 - New perennial planting**
- PL2 - Proposed Lawn**  
New lawn at existing levels  
Size: 370 sqm
- PL3 - In ground clipped hedge**  
Height: 600mm
- PL4 - Existing Boundary/Shrubs**  
Planting to be reviewed on site and any weeds removed

**PLAN KEY**

- Proposed Trees - medium  
All trees to be planted with manual perforated watering pipe.  
Size: 4-6 meters high
- Existing trees to be retained  
Size: Varies
- Existing trees/ shrubs to be removed
- Bat & bird box locations in existing trees.
- Provision for log & brush piles along edge of woodland. Piles to comprise of non diseased wood from felling trees.
- Existing levels
- Proposed Levels
- Electric Charging Point
- Outdoor Tap

**HARDSCAPING**

- P1- Paving Type 01**  
Natural Buff chippings for driveway  
Size: 10-14mm  
Laying: Laid onto gravel geocell stabilisation system. In RPA's, a no dig root protection barrier to be installed under gravel. SUDS compliant  
Size: 260 sqm
- P2- Paving Type 02**  
Beige clay pavers  
Size: 200 x 50 x40mm  
Laying: Stacked bond  
Size: 70 sqm
- P3- Paving Type 03**  
Large format beige natural stone paving  
Colour/finish: Standard with washed finish  
Laying: Laid half running course, SUDS compliant  
Size: 120 sqm
- P4- Paving Type 04**  
Bark chippings  
Size: 10-14mm  
Laying: Bark chippings to woodland areas to help improve drainage and soil condition.  
Size: 210 sqm

**GATES**

- G1- Gate Type 01**  
Automatic metal framed driveway gate and pedestrian gate with brick pillars.  
Gate Colour: Dark grey to match railings  
Gate size: 3000m wide x 1200mm high  
Brick finish: To match building facade

**WALL TYPE**

- W1- Wall Type - W1**  
New retaining rendered wall with stone coping.  
Closed board panel fencing above when running along a boundary.  
Wall height: 1300mm high with 500mm fencing where required.  
Finish: To match architects house render spec
- W2- Wall Type - W2**  
Stepped folded steel wall, 50MM THK  
Wall height: Lower Tier: 700mm Upper Tier: 200mm  
Finish: Dark Grey, RAL to match architecture.  
Laying: Steel wall to sit on piling system to avoid root damage.
- W3- Wall Type - W3**  
Metal fins 20mm THK set at 45 deg, 150mm apart with planting inbetween.  
Railing height: 1200mm high  
Finish: Powder-coated. RAL to match architecture.  
Laying: Railings to sit on piling system to avoid root damage.
- W4- Wall Type - W4**  
Closedboard hard wood fencing by Jacksons or similar approved.  
Boundary Height: 1.8m

**STEP TYPE**

- S01- Step Type 01**  
Beige stone paver steps and treads to match P2.  
Size: Each riser at 170mm high  
Laying: Rowlock course laid with 5mm full mortar joints

**DRAINAGE**

- D1 - Drainage Type 01**  
ACO Slot drain to drain into soakaway.

**FOR PLANNING**



NO DIMENSIONS ARE TO BE SCALED FROM THIS DRAWING. USE FIGURED DIMENSIONS ONLY.  
ALL EXISTING DIMENSIONS, LEVELS, DRAIN RINGS AND SITE CONDITIONS ARE TO BE CHECKED PRIOR TO CONSTRUCTION OR COMMENCEMENT OF SHOP DRAWINGS.  
ALL DISCREPANCIES OR OMISSIONS ARE TO BE REPORTED TO THE DESIGNER.

INFORM THE DESIGNER BEFORE ANY WORK STARTS IF THE DRAWINGS EXCEED THE QUANTITIES IN ANY WAY.  
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studio@johndavieslandscape.co.uk

**Project name**  
81-83 Summerhouse Drive  
**Client**  
Dr. Parag Pandya

**Drawing name**  
Proposed Masterplan

**Drawing number**  
PL01

**Scale**  
1:100 @ A1

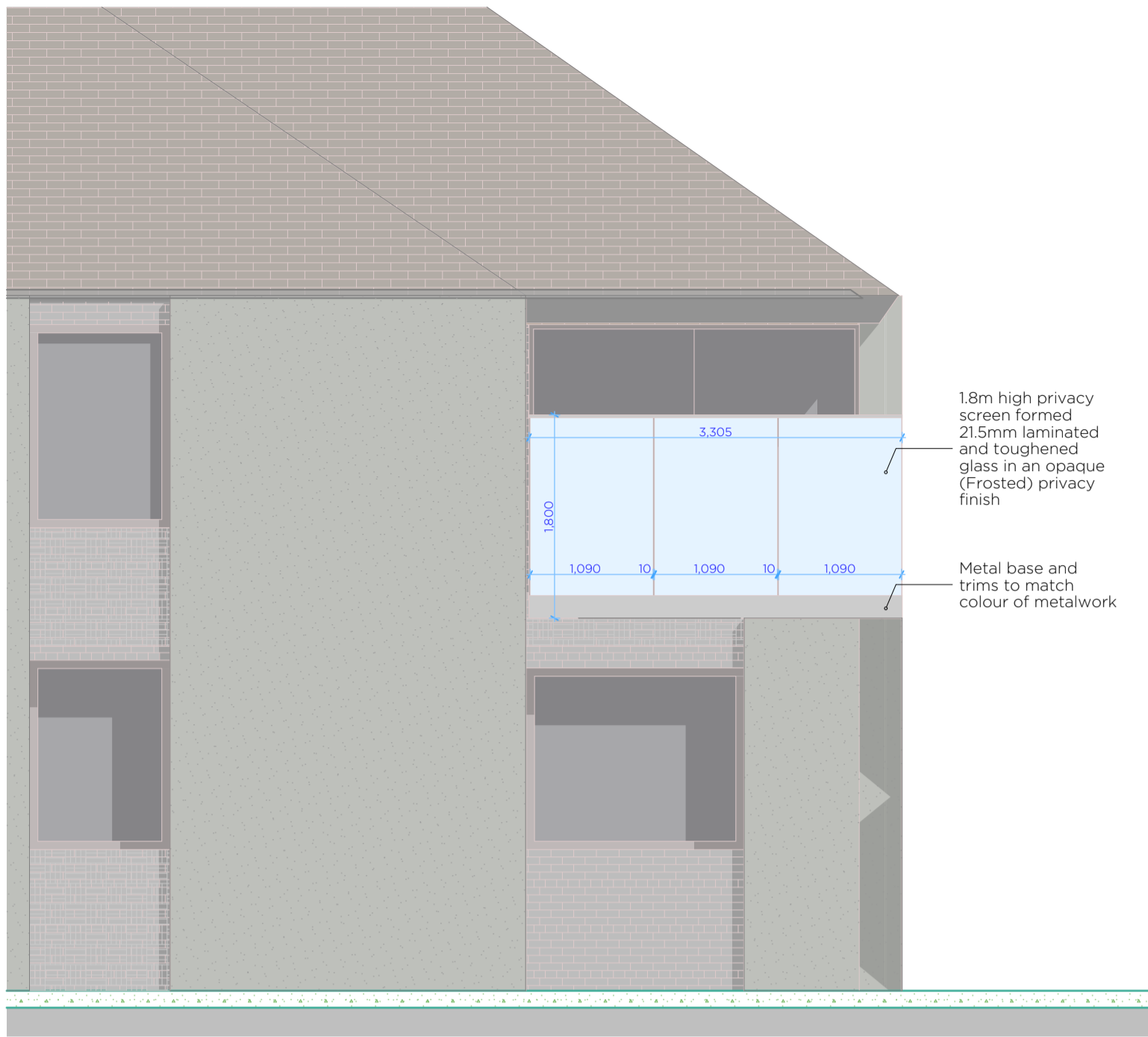
**Date of issue**  
07/12/2022

**Drawn by**  
AA

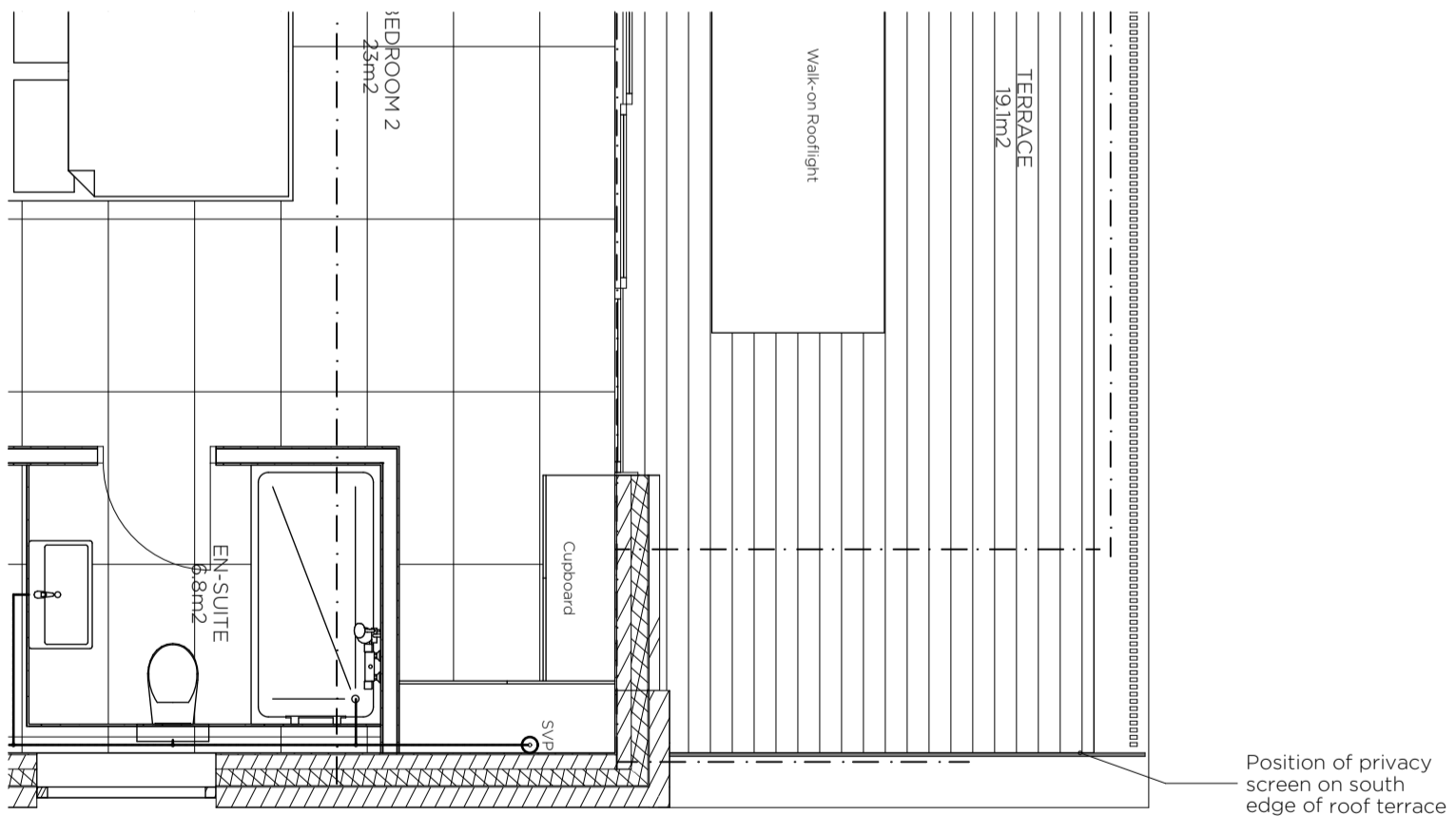
**Revision**  
A  
B

**Revision date**  
07/12/2022  
15/12/2022

**Revision notes**  
Issued for Comment  
Issued for Planning

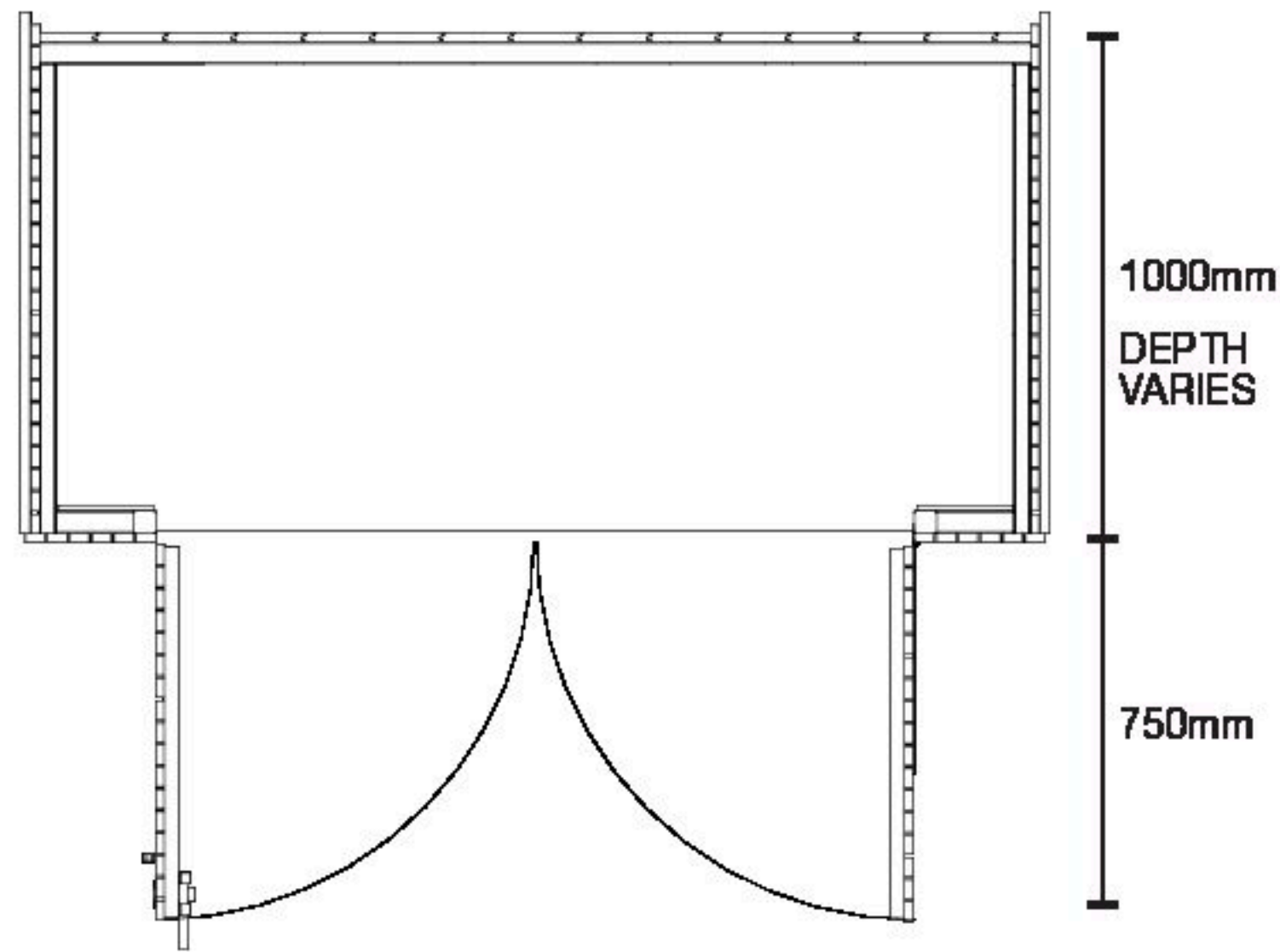


Part Elevation Showing 1st Floor Roof Terrace  
Scale 1:50 At A3

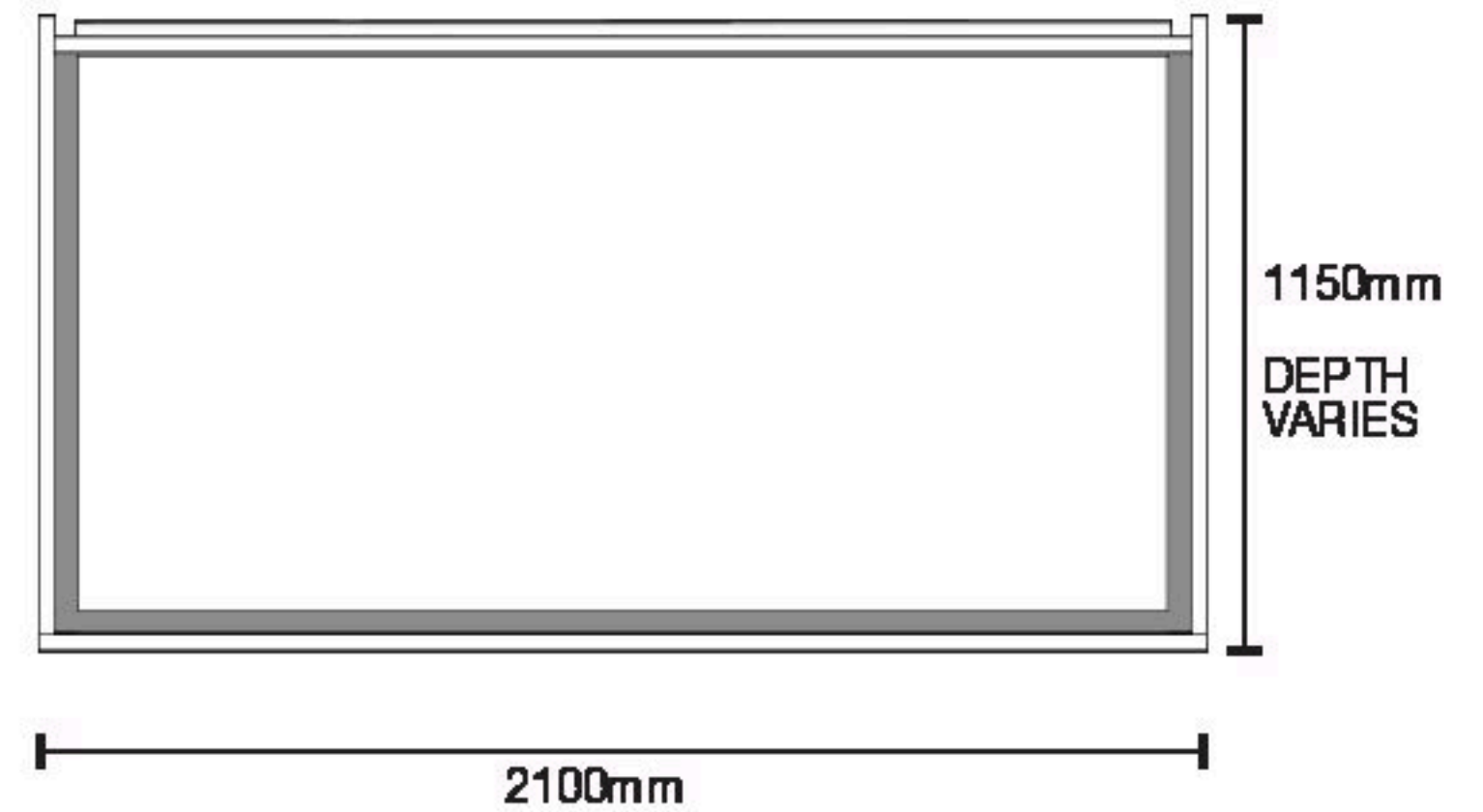


Part Plan Showing 1st Floor Roof Terrace  
Scale 1:50 At A3

<b>Notes:</b>  DO NOT SCALE THIS DRAWING (with exception granted for Local Planning Authorities for planning submissions.)  All dimensions are shown in millimetres unless stated otherwise. The contractor is to check and verify all building and site dimensions, levels and sewer invert levels at connection points before setting out, fabrication or works starting on site. Any discrepancies to be brought to the attention of the architect, if in doubt, ask.  This drawing is to be read and checked in conjunction with any relevant engineers' and other specialist drawings. Workmanship and materials to comply with the Building Regulations and British Standards code of practice. All materials shall be used in accordance with the manufacturer's instructions and specifications.  The drawing and the works depicted are the copyright of this practice and may not be reproduced except by written permission. Copyright Redworks Ltd.	<b>Project</b> 81-83 Summerhouse Drive Bexley, DA5 2EF	<b>Drawing Title</b> Terrace Privacy Screen	<b>Issue Status</b> CONSTRUCTION	<b>REV</b>	
	<b>Clients</b> Dr. Parag Pandya	<b>Revisions</b> No.   Comment   Date   Drawn   Chk	<b>Scale</b> 1:50 @ A3	<b>Date</b> 09/02/2024	<b>RED WORKS</b> <b>STUDIO</b>  21 Harold Road Crystal Palace London SE19 3PU  tel: 07572 483 694 email: info@red-works.co.uk
	<b>Project Number</b> 2103	<b>Drawing No.</b> TE_415	<b>Drawn By</b> AC		



**FLOOR PLAN**



**ROOF PLAN**

Dimensions of shed depth vary with size of bike shed. See dimension table below.

BIKE SHED SIZE	BASE DEPTH	INTERNAL DEPTH	ROOF DEPTH
1 BIKE	800mm	700mm	950mm
2 BIKES	900mm	800mm	1050mm
3 BIKES	1000mm	900mm	1150mm
4 BIKES	1150mm	1050mm	1300mm
<b>5 BIKES</b>	<b>1250mm</b>	<b>1150mm</b>	<b>1400mm</b>
6 BIKES	1350mm	1250mm	1500mm





Our Ref 6820,CO/Ltr01,JD,TP/24.08.22/V1  
Your Ref: Dartford Council ref: 21/01521/FUL

Parag & Mayuri Pandya  
38 Park Lane  
Greenhithe  
Kent  
DA9 9RZ

c/o Alex Caterall  
Red Works Studio, 21 Harold Road, London  
SE19 3PU

Date 24<sup>th</sup> August 2022

**For the attention of Parag & Mayuri Pandya**

By Email  
- alex@redworks.studio

Dear Parag & Mayuri Pandya

**81 Summer House Drive, Bexley DA5 2EF (Dartford Council ref: 21/01521/FUL)**

## 1. Introduction

Geosphere Environmental Limited have been commissioned by the above to provide this letter with regard to the soil investigation data for the above property.

It was understood that the site is to be developed into one (five-bedroom) residential property with associated soft landscaped areas including private gardens and car parking facilities. It is understood that the previous reports were based upon a proposal of a two-property design.

## 2. Background

The property has been subject to the following phases of investigation, from a contaminated land potential aspect:

- A Phase 1 Desk Study was undertaken by Geosphere Environmental Limited, report reference 3572,DS/DESK/LT,AH/11- 01-19/V1, dated 11 January 2019. This concluded that would be prudent to undertake a preliminary intrusive ground investigation as a result of a small number of factors to potentially affect the scheme.
- A Phase 2 intrusive ground investigation was undertaken by Geosphere Environmental Limited, report reference 3676,GI/GROUND/JG,SG/02-05-19/V1 dated 2<sup>nd</sup> May 2019. This is summarised below.
- 

### GEOSPHERE ENVIRONMENTAL LTD

Brightwell Barns, Ipswich Road, Brightwell, Suffolk, IP10 0BJ

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Registered Office: Brightwell Barns, Ipswich Road, Brightwell, Suffolk, IP10 0BJ | Registered in England and Wales | Registered NO, 7107630 | VAT NO, 985 4247 79

## 2.1 Phase 2 Ground Investigation Summary

Report reference 3676,GI/GROUND/JG,SG/02-05-19/V1 comprised and concluded:

- Drilling of eight windowless sampler boreholes (WS1 to WS8) extended to a maximum depth of 2.0mbgl, with three-no. follow-on dynamic probe holes to depths up to 4mbgl.
- Installation of three monitoring wells for subsequent ground gas and ground water level monitoring.
- Associated soil logging, sampling and in situ testing of the soils encountered.
- Ground conditions comprised up to 1.0m of Made Ground and topsoil materials underlain by natural soils of the Thanet Sand Formation extending to >2mbgl.
- The Made Ground did not exhibit indication of significant potential contamination.
- Significant groundwater or perched water was not encountered.
- Soil gas monitoring on four subsequent occasions; low concentrations of CO<sub>2</sub> were detected; a low risk was prescribed as a result with no specific gas protection measures required for proposed structures.
- Chemical analysis of seven selected samples for a suite of common potential contaminants.
- The above analysis reported concentrations of the analytes to be, in general, less than the screening concentrations for a residential (with plant uptake) land used scenario. This includes the absence of detectable asbestos within the soil samples. As a result, in general, the chemical soil quality is acceptable for the proposed land use.
  - This is with the exception of a single elevated concentration of lead (404mg/kg) in Made Ground; this was located at WS6.
- WS6 is located within the proposed driveway / parking area of the redevelopment.
- The exposure of contaminants (elevated concentrations) to the end user is only considered to be a risk where soil is exposed, for example, in garden areas or areas of soft landscaping. Where soils are covered by proposed onsite structures or areas of paving, the pathway by which contaminants can reach the end user is removed;
  - In addition, it is interpreted that in order to construct the any new paving / car parking surfaces, this soil may need to be removed and replaced with imported granular materials (likely to be sands / ballasts).
  - As a result the risk to the end user was determined to be negligible.
- A low risk to controlled waters was derived.
- Where construction workers (and the general public) are considered as the main potential receptor standard good practices were recommended to apply to construction workers, in particular to those in contact with the Made Ground soils, as a prudent measure. However the exposure type and period, in the event of elevated lead concentrations be elsewhere in the soils, would be very limited; the risk to construction workers is was derived to be low.
- No specific remedial or other risk mitigation factors were determined necessary.
- This is with the exception of a Discovery Strategy (for potentially contaminated or unsuitable soils that may be present) that was recommended to be implemented throughout the development of the site.

The geotechnical recommendations are not relevant to this summary.

## 2.2 Summary

The ground investigation report did not recommend any specific remedial or mitigation measures with regard to the identified soil qualities, other than a Discovery Strategy (common practice). When comparing this to Planning Condition 5 of the approved planning application DA/21/01521/FUL it is interpreted that, based upon the available information, no further actions are necessary at this time in this regard.

We trust that this summary assists your progression with the project.

Yours sincerely



**Jim Dawson**  
**Associate Director**  
**Geosphere Environmental Ltd**

**Enclosures:**

Appendix 1 – Report Limitations and Conditions  
Appendix 2 – Drawings



# APPENDICES

**GEOSPHERE ENVIRONMENTAL LTD**

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Registered Office: Brightwell Barns, Ipswich Road, Brightwell, Suffolk, IP10 0BJ | Registered in England and Wales | Registered NO. 7107630 | VAT NO. 985 4247 79

## Appendix 1 – Report Limitations and Conditions

This report refers, within the limitations stated, to the condition of the site at the time of the inspections. No warranty is given as to the possibility of future changes in the condition of the site.

This report has been prepared for the sole use of the Client for the purposes described and no extended duty of care to any third party is implied or offered. Third parties using any information contained within this report do so at their own risk.

This report is prepared and written for the use stated herein; it should not be used for any other purposes without reference to Geosphere Environmental Limited. The report has been prepared in relation to the proposed end-use should another end-use be intended a further re-assessment may be required. It is likely that over time practises will improve and the relevant guidance and legislation be amended or superseded, which may necessitate a re-assessment of the site.

The accuracy of any map extracts cannot be guaranteed. It is possible that different conditions existed on site, between and subsequent to the various map surveys appended.

Whilst the report may express an opinion on possible configurations of strata between or beyond exploratory holes discussed or on the possible presence of features based on visual, verbal or published evidence, this is for guidance only and no liability can be accepted for its accuracy.



## Appendix 2 – Drawings

Site Location Plan - Drawing ref. 3676,GI/001/Rev 0  
Proposed Development Plans – Drawing refs. 2103\_PL\_005\_Rev A and  
2103\_PL\_100\_Rev A  
Exploratory Hole Location Plan – Drawing ref. 3676,GI/002/Rev 0

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