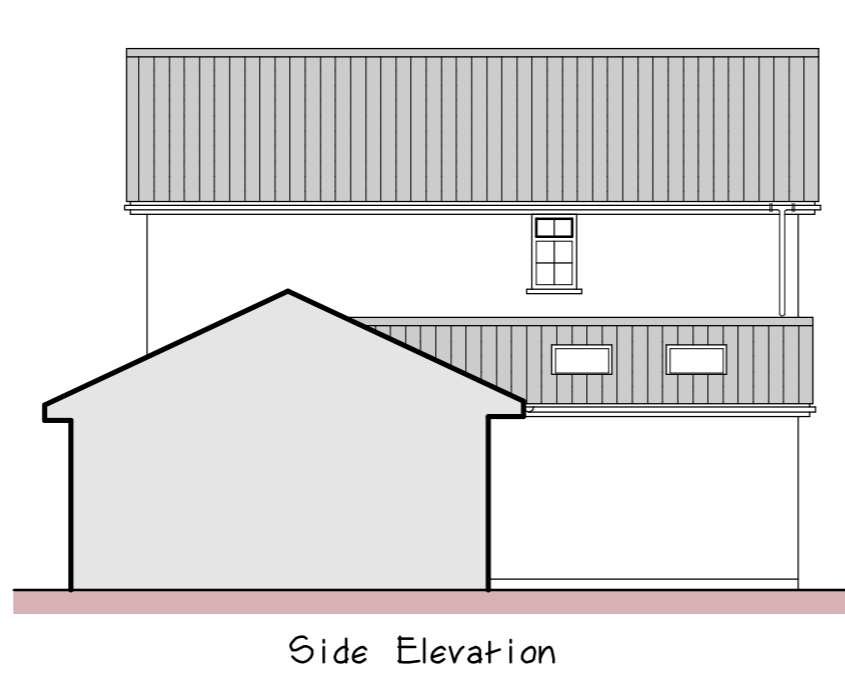
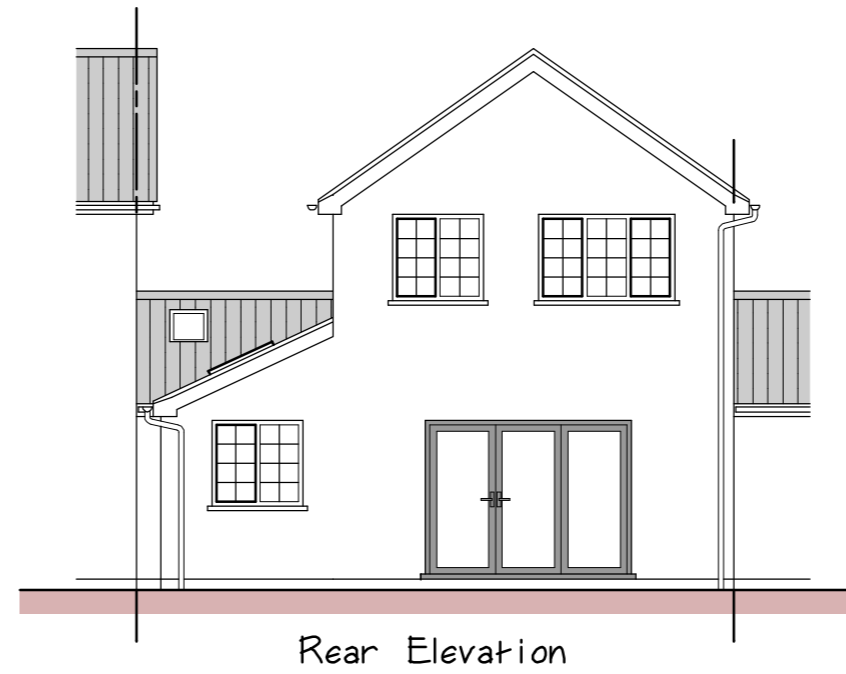


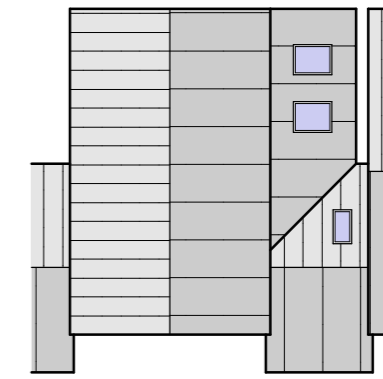
Front Elevation



Side Elevation



Rear Elevation



Proposed Roof Plan
1 : 200

HEATING.
Provide new radiator in Utility adequately sized for room to client's specification. New radiator to have thermostatic radiator valve fitted.

WALLS
Portion of single wall to rear of garage to have 50mm cavity and new inner skin of 9mm osb board, 125 x 50mm studwork infilled with 120mm Celotex GA4000 9mm osb board & 12.5mm Gyproc Duplex wallboard to inside of room.

Wall separating existing garage to be 12.5mm Gyproc Fircline board 9mm osb board 150 x 50mm studwork infilled with 140mm Celotex GA4000 9mm osb board 12.5mm Gyproc Duplex wallboard Wall taken up to underside of fire proofed ceiling and sealed with intumescent mastic.

DRAINAGE.
40mm Ø PVC wastes to sink & washing machine to have 75mm deep seal anti-vacuum traps & rodding eyes to BS 5572:1976. Wastes to connect to stub stack as shown under utility units. Stub stack to be fitted with Durgo air inlet valve on top. Durgo to be accessible for future maintenance. Drains below ground to be 100mm Ø 'Osma' UPVC pipes laid & surrounded in 150mm pea-shingle @ 1:40 falls to existing manhole. All shallow drain runs to be protected with 100mm concrete cover over. New plastic manholes on 150mm concrete base with suitable heavy duty cover fitted.

THESE DRAWINGS ARE FOR THE PURPOSES OF OBTAINING LOCAL AUTHORITY CONSENTS ONLY. THE BUILDER MUST OBTAIN APPROVAL OF THE LOCAL AUTHORITY FOR ANY CHANGES TO THE NEW CONSTRUCTION. THESE PLANS WERE PREPARED ON THE BASIS OF A NON-INTRUSIVE SURVEY - SHOULD ANY HIDDEN BEAMS BE FOUND OR THE DIRECTION OF ANY JOISTS, ETC BE DIFFERENT TO THE PLANS, THE DESIGNER SHOULD BE NOTIFIED.

BUILDER TO ENSURE ALL WORK TO ACCORDS WITH THE ACCREDITED CONSTRUCTION DETAILS FOR PART L OF THE BUILDING REGULATIONS.

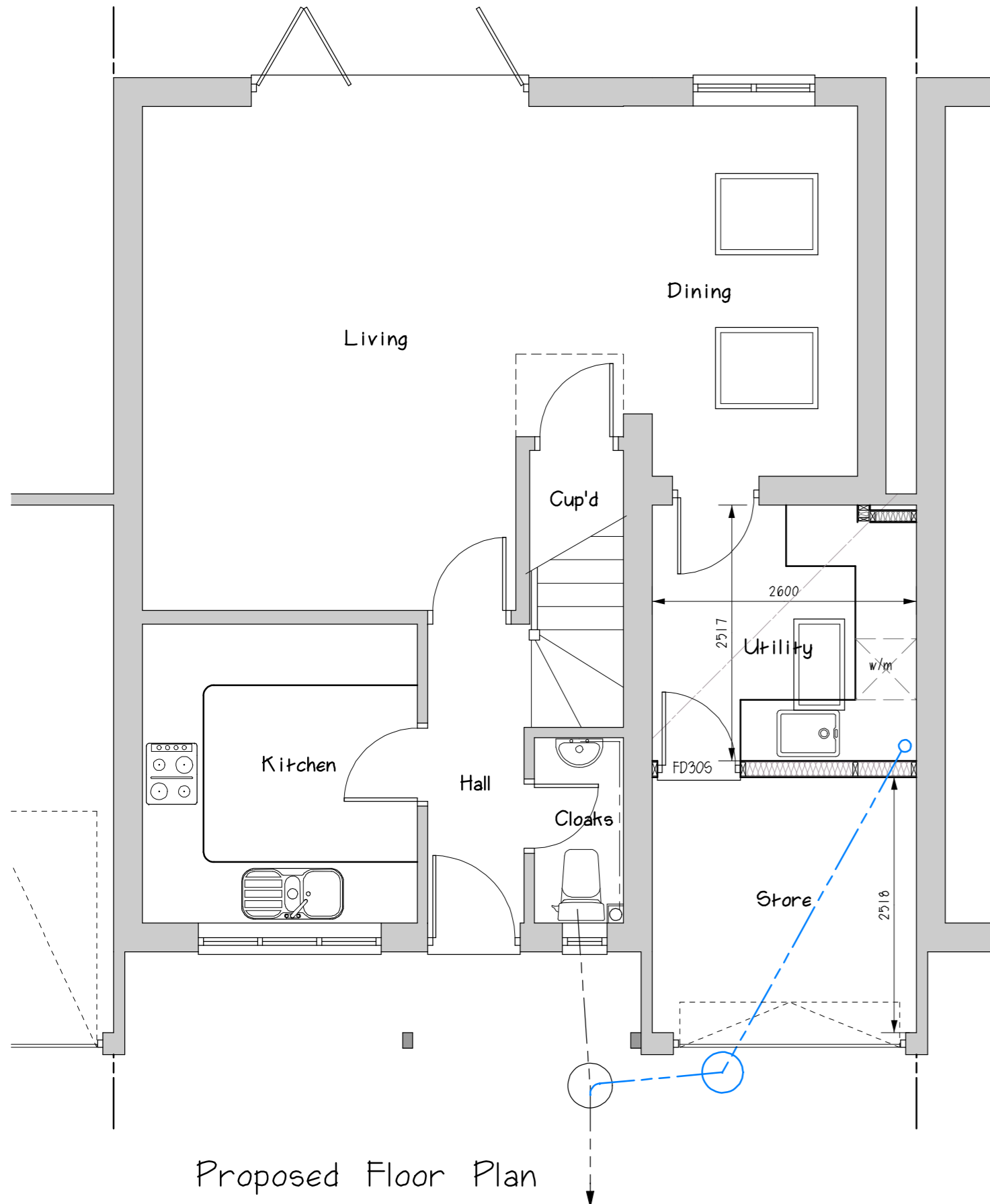
THE BUILDER MUST CHECK ALL DIMENSIONS ON SITE PRIOR TO ORDERING ANY FACTORY MADE UNITS, TRUSSES OR STAIRS.

THE BUILDER MUST ALSO CHECK ON SITE FOR ALL OVERFLOW PIPES, MAINS BOXES, MAINS SUPPLY POINTS, ETC. NOT INCLUDED IN THE SPECIFICATION WHICH WOULD IMPACT ON THE PROPOSAL/SPECIFICATION.

RESPONSIBILITY IS NOT ACCEPTED FOR ERRORS MADE BY OTHERS IN SCALING FROM THIS DRAWING. ALL CONSTRUCTION INFORMATION SHOULD BE TAKEN FROM FIGURED DIMENSIONS WHERE SHOWN

THE OWNER/CLIENT MUST, PRIOR TO COMMENCEMENT OF WORK, ENSURE ALL COSMETIC DESIGN FEATURES, ELECTRICS AND HEATING REQUIREMENTS ARE AGREED WITH HIS CHOSEN CONTRACTOR.

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Proposed Floor Plan

CEILING
Ceiling to be 2 layers 12.5mm plasterboard with skim coat to provide 1/2 hour fire resistance to roof void. Ceiling over Utility insulated with 2 layers 175mm fibreglass quilt insulation. Void over insulation to be fully ventilated through existing garage.

ROOFLIGHT
New Velux rooflight to be fitted between existing trusses. Rooflight to be tunnelled down to ceiling level with 100mm Celotex GA4000 insulation and 2 layers of 12.5mm plasterboard to provide 1/2 hour fire resistance.

GROUND FLOOR.
Provide 3 coats 'R.J.W.' D.P.M. to existing floor slab, taken up walls to be continuous with new and existing D.P.C.'s. Provide a thin sand blinding on rough finished surfaces as leveller for insulation.

Existing floor slab to be exposed for inspection by Local Authority and, if found inadequate, replaced with 150mm concrete slab reinforced with B785 mesh.

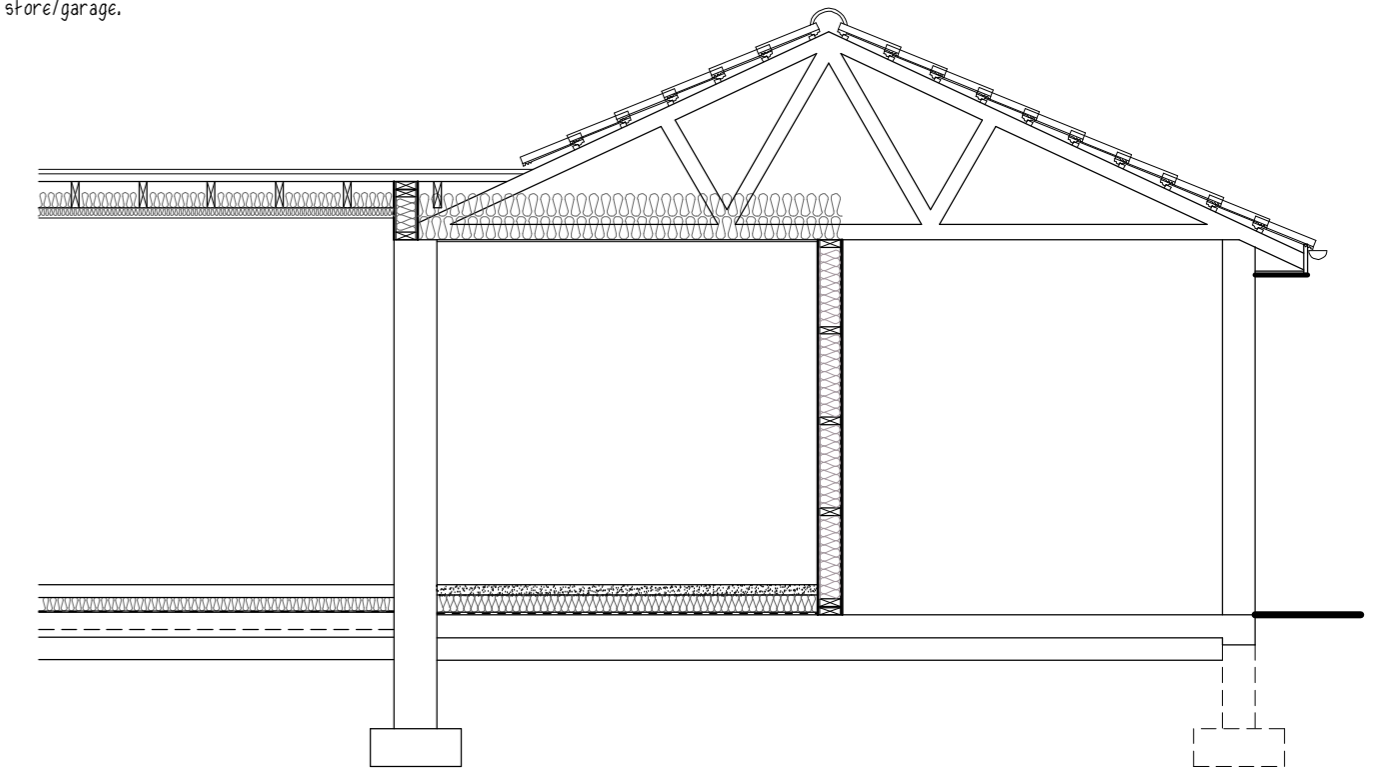
65mm sand/cement screed reinforced with chicken wire on 500 gauge vapour control barrier on minimum 65mm Celotex GA4000 floor slab insulation.

ELECTRICS.
All new electric points and lighting to be provided to client's specification.

All wiring and electrical work will be designed, installed, inspected and tested in accordance with the requirements of BS7671, the IEE 18th edition Wiring Guidance and Building Regulation Part P (electrical safety) by a competent person registered with an electrical self-certification scheme authorised by the Secretary of State. AND The competent person is to send to the local authority a self-certification certificate within 30 days of the electrical works' completion. The client must receive both a copy of the self-certification certificate and a BS7671 Electrical Installation Test Certificate.

VENTILATION.
Utility to have 30 l/sec mechanical extract fan ducted to external air & operated by light switch with 15 minute over-run to provide 3 No. air changes per hour.

FIRE PRECAUTIONS
Door to store/garage to be 1/2 hour fire resistant with self-closing device fitted and 100mm non-combustible threshold into store/garage.



Sheet size A2

Scale Bar 1:50
0 1m 2m 3m

Scale Bar 1:100
0 2m 4m 6m

Scale Bar 1:500
0 10m 20m 30m

Scale Bar 1:1250
0 25m 50m

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CONTRACT Proposed Garage Conversion at
78 Elder Road
Bisley
GU24 9SA

DRAWING PROPOSED PLANS

CLIENT
Mr & Mrs D Ehret

SCALE
1:50 1:100

DRG No. 23/24 / 036 / 2
REV C