

23081- 78A & 78 Main Street, Frodsham, WA6 7AU

Rev 0- 30.01.24

Design and Access Statement

Proposal: This application seeks to convert the existing vacant ground floor commercial shop into residential to form an extension of the existing first floor residential property.

The proposal includes for the removal of the existing poor quality lean-to located to the side/ rear (which increases external amenity space), alterations to the existing shop front to balance the existing streetscape and front railings for improved privacy between Main Street and the ground floor living areas.

Background

The applicant's family have owned the property since 1948, using it to run a grocery store. In 1958/9 the building was extended and the first floor accommodation was created, which the applicants currently live within. The applicants intend to continue living within the property upon completion of the proposed ground floor conversion.

Following on from the applicants family grocery store, in the 70's the store was rented to a range of different uses including a sports shop, DIY shop and more recently a charity shop.

As is unfortunately the case with many commercial premises, Covid 19 caused the shop to close in March of 2020, this resulted in loss of rent to the owners and the charity shop never returned. The ground floor commercial premises have remained unoccupied and unused since March 2020. Prior to this the shop has always been easily rented, however, no interest has been registered with the applicants since its closing in

2020. Hence the proposals to add the existing ground floor commercial premise to the existing first floor residential accommodation for the applicants.

The proposals will conform in all respects with the increased Building Regulation insulation and heating performance requirements of the new Part L **'emergency upgrade'** requirements that recently came into action in June of last year. These requirements have come into effect to assist with reduction of energy usage, they will be fully accommodated and exceeded within this proposal.

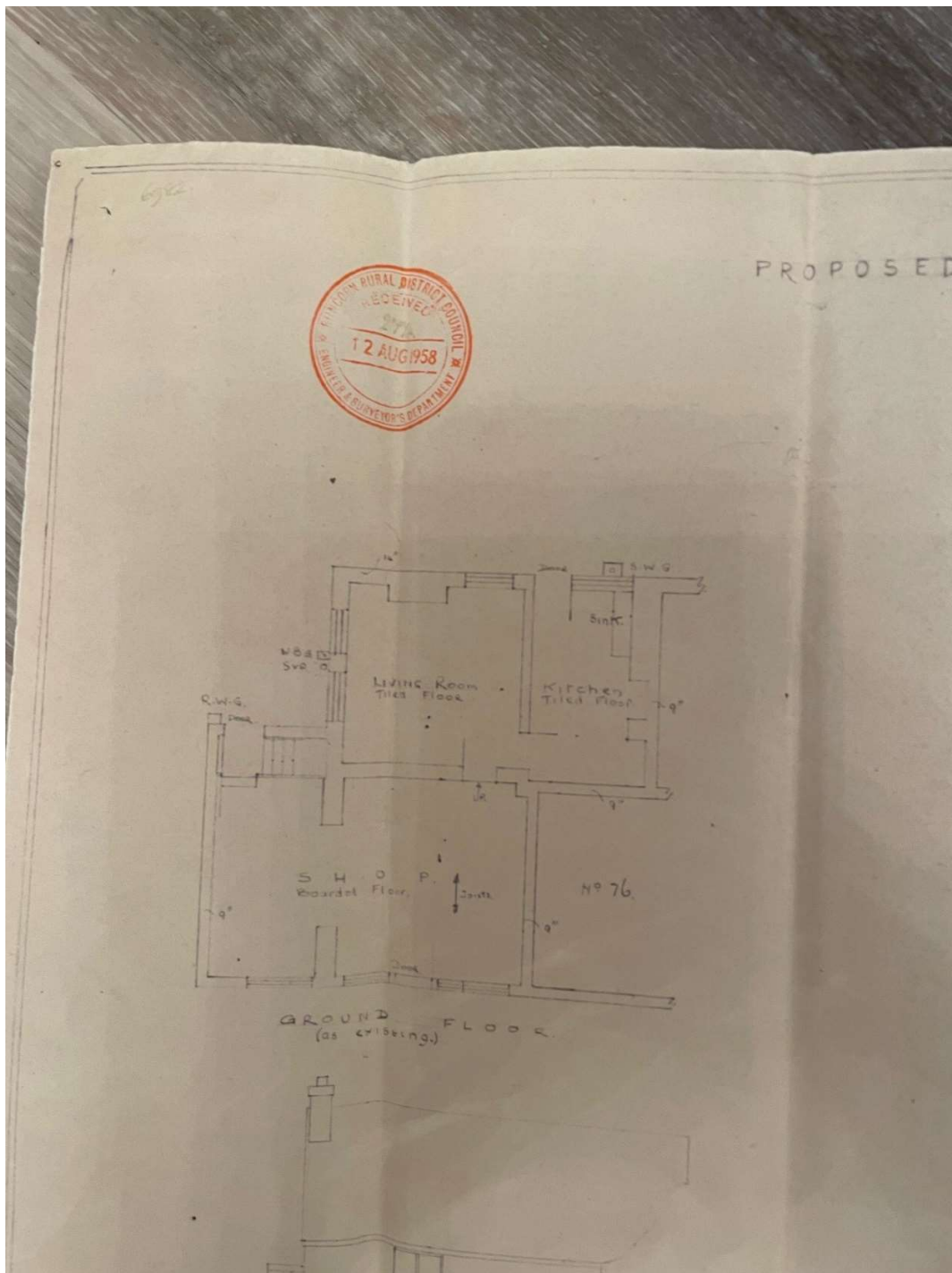
The property is located within the Conservation Area. Main Street has a range of properties with differing scales and characteristics. This property is attached to a matching residential property number 76 Main Street. The proposed alterations to the front elevation have been carefully and thoughtfully developed to assist with balancing the existing Main Street streetscene by matching the proportions and layout of the attached property number 76 front windows and doors, enhancing the property and Conservation Area through its development.

The site enjoys a well-situated, sustainable location within the heart of Frodsham and the quality of the proposal will reflect the qualities of the site and surrounding area.

The proposed alterations will be constructed using high quality materials and have design characteristics that mirror and enhance the existing property, site and surrounding area.

Planning History

As previously mentioned, the property was extended and first floor accommodation created in 1958/9.



There are a number of similar applications/ permissions for conversion of commercial to residential on Main Street, some of these are as follows:

- **[Change of use from restaurant to three apartments](#)** 

64 Main Street Frodsham WA6 7AU

Ref. No: 23/02470/FUL | Received: Thu 03 Aug 2023 | Validated: Thu 03 Aug 2023 | Status: Awaiting decision

- **[Conversion of unused office space on first and second floors to form 2x 2 bedroom apartments.](#)**

First and Second Floors 105 Main Street Frodsham WA6 7AB

Ref. No: 20/04625/PDO | Received: Tue 08 Dec 2020 | Validated: Tue 08 Dec 2020 | Status: Decided

- **[Conversion of offices at ground floor to two residential units \(renewal of application 16/02071/FUL\)](#)**

Hill View House 63 Main Street Frodsham Cheshire

Ref. No: 20/00381/FUL | Received: Fri 31 Jan 2020 | Validated: Fri 31 Jan 2020 | Status: Approved

- **[Erection of 6 dwellings and the conversion and refurbishment of the Public House \(A4 use\) to create 1 dwelling \(C3 use\) with associated access, parking and amenity space](#)**

Cheshire Cheese 29 Main Street Frodsham WA6 7AZ

Ref. No: 19/04085/FUL | Received: Fri 08 Nov 2019 | Validated: Wed 20 Nov 2019 | Status: Approved

- **Change of use of former bank premises to proposed restaurant with ancillary bar (Use Class A3) in basement and ground floor. 2 no. apartments in the upper floors (Use Class C3) including minor external alterations, associated pavement seating to Main Street frontage, car parking to rear, external flue stack, and signage**

117 Main Street Frodsham Cheshire WA6 7AF

Ref. No: 19/03296/FUL | Received: Thu 29 Aug 2019 | Validated: Thu 29 Aug 2019 | Status: Approved

- **Redevelopment of The Old Hall comprising demolition (in part) of the hotel and ancillary buildings, conversion of the hotel and ancillary buildings into 3 residential units and the construction of 5 new dwellings with associated car parking, gardens and landscaping**

Old Hall Hotel Main Street Frodsham WA6 7AB

Ref. No: 22/02993/FUL | Received: Fri 05 Aug 2022 | Validated: Tue 27 Sep 2022 | Status: Approved

In addition, the proposed railing to the front are an established feature within the character of Main Street and the Conservation Area, with permission granted on the property directly opposite the site:

- **Erection of railings to front**

Old Hall Hotel Main Street Frodsham WA6 7AB

Ref. No: 19/02475/LBC | Received: Tue 02 Jul 2019 | Validated: Tue 02 Jul 2019 | Status: Approved

Old Hall Hotel Main Street Frodsham WA6 7AB

Ref. No: 19/02474/FUL | Received: Tue 02 Jul 2019 | Validated: Tue 02 Jul 2019 | Status: Approved

Supporting Permitted Development

Class MA supports the proposed conversion of the existing commercial ground floor shop space. The proposals have been vacant for in excess of 3 months (since March 2020), the cumulative floor area is less than 1,500 square metres, it is not a site of special scientific interest, listed building, scheduled monument, safety hazard or military explosive storage area. The building is not within an area of outstanding natural beauty, an area specified by the Secretary of State, the Broads, National Park, World Heritage site or Agricultural tenancy.

The existing site access remains unaltered, the existing front door is to be replaced and the existing rear doors are to be retained. The vehicular access to the site remains unaltered by the proposals. There are no contamination risks within the building, there are no flood risks, the impact of noise from commercial premises will not be greater than that of the existing residential unit and neighbouring attached residential property. The impact on the surrounding area has been carefully considered and the proposals allow for the external ground floor alterations to enhance the existing property and streetscene by mirroring the attached neighbouring property number 76. The impact on the area is minimal through the proposed conversion and it is an extension of the existing residential unit (not an additional residential unit). Acceptable levels of natural light will be provided to each converted area of the ground floor.

The property is located on Main Street in the centre of Frodsham and benefits from good public transport links, including buses and a train station. There are a number of public car parking spaces on Main Street directly adjacent to the property with the applicants having parking permits for these spaces. The proposed conversion is not considered to result in any unacceptable highways impact.

National Planning Policy Framework

The development of the site aids in the Sustainable Development of Frodsham as outlined in the National Planning Policy Framework. The site is sustainably located in the centre of Frodsham. The proposal will support the local economy through its proximity to local amenities. The development of the site will promote and support the longevity of these existing amenities. Overall, the proposal will enhance the vitality and functionality of the community and provide a beneficial use of the existing ground floor which is currently redundant and has been vacant for almost 4 years at the date of writing this statement, with no interest in the current use in this time.

The proposal will widen the choice of high-quality homes (aiding towards section 6 of the National Planning Policy Framework) that will meet the needs of different groups within the community.

The proposal allows for development of the site whilst maintaining the massing of Main Street and of the surrounding area, with no detrimental impact on neighbouring amenities.

The proposal maintains and enhances the character of Frodsham and the surrounding area whilst providing a dwelling in a respectful way that reflects the needs of the community.

Reasons for the Proposals

The applicants have lived in Frodsham for over 60 years, wishing to remain on the Main Street and part of the community they are a part of. The applicants are in their 60's and the proposals will allow the application to create a property with ground floor living accommodation that will allow them to continue living on the accessible and sustainable location of Main Street for as long as possible.

In addition, the proposals will support the community through provision of good homes in well-connected neighbourhood, supporting strong and healthy communities, building the local economy to create a thriving place.

Use

Existing first floor use is residential.

Existing ground floor use is commercial

Proposed use is for all to become a single residential unit.

Amount

The existing first floor residential accommodation measures approximately 74 square metres, excluding the small 0.8 square metre ground floor access Hallway and rear Utility Link.

The existing garden to the rear measures approximately 65 square metres, this does not include the amenity space to the side or front owned by the applicants.

The front amenity area that is proposed to have a new metal railing with metal gate installed measures approximately 11 square metres and will provide privacy to the proposed ground floor front elevation windows and door.

The proposed conversion of the existing ground floor commercial premises to residential will add approximately 70 square metres to the existing residential accommodation. The careful removal of the existing lean-to reduces the floor area of the existing ground floor by approximately 1.6 square metres.

Therefore, the overall internal floor area of the proposed residential unit will be approximately 145 square metres.

Scale

The proposals do not increase the scale of the existing massing in any way, the removal of the side/ rear lean-to reduces the overall scale and provides additional external amenity space. The scale and proportions of the proposed ground floor front elevation windows and external door have been carefully developed to balance the existing street scene and mirror the attached residential property number 76.

Layout

The existing site layout is retained with the addition of railings to the front allowing for additional privacy and amenity to the proposed ground floor conversion.

Appearance

The proposals will be in materials sympathetic to the surrounding area.

Conclusion

In conclusion, the proposed conversion of the existing ground floor shop is proposed following it being redundant since March 2020 when the last use as a Charity Shop closed due to Covid 19. The applicant's family have owned the property since 1948, which they used as a grocery shop. The applicants currently live within the first floor existing residential unit and the proposals are to convert the vacant ground floor shop to become part of the existing first floor residential accommodation. Alterations have been carefully considered and developed to the existing ground floor frontage to enhance the property and mirror the adjacent attached neighbouring property number 76, to ensure the proposals are in balance with its surrounding context and Conservation Area.

The property is located within the centre of Frodsham and provides a sustainable opportunity for the enhancement of the existing residential unit through the ground floor conversion.

The proposal provides high quality living spaces with natural light through the conversion, with no impact on neighbouring amenities. The proposals will not be detrimentally impacted by the existing Main Street commercial premises.

The proposal will contribute towards the economy and support Frodsham due to its proximity to local amenities. The proposal will support a strong, vibrant and healthy community by providing a high quality property that is accessible to local services and reflect the community's needs and cultural well-being.

Access Statement

The existing vehicular access point will be retained and the existing ground floor front pedestrian door will be replaced with a new pedestrian door. The existing rear access doorways will be retained.

The existing sloping and stepped floor of the ground floor spaces will be rationalised into a consistent finished floor level. A ground floor accessible Shower Room is to be incorporated into the proposals to enhance the accessibility of the properties to a wider demographic of residents, again assisting with meeting the requirements of the community.