

SUBSTRUCTURE LEGEND

- Air Brick
Void under beam and block floor to be min 150mm ventilated on at least two opposing sides with ventilators placed so air will have a free path between opposite sides and to all parts.
Airbricks to provide not less than 1500mm² per metre run of external wall or 500mm² per m² of floor area - whichever gives the greater opening area. Airbricks to be spaced at max 2m centres and at min 450mm from corners.
Note: Design based on Rytons PUFV airbrick with a free ventilation area of 7750mm².
Consumer unit
Wall mounted Elec meter box.
Cavity tray/ Lintel over and DPM behind
- 'Uni-box' gas meter box
Note: Airbricks to be min 150mm from meter box.
- Assumed span of beam and block/ ground floor as site specification. Refer to engineers and manufacturers design and details
- Denotes location of non-load bearing walls to ground floor. Line loads to S.E details
- Rainwater downpipe
- Soil Vent Pipe
Unless dimensioned otherwise, SVPs to be set-out 100mm from cill of SVP to wall face.
- Water Riser
Water service pipes to be installed and insulated in accordance with Byelaw 49
- Floor socket (GF only)
With relevant supporting text as follows:
WHB - Wash hand basin
WC - Water Closet
KS - Kitchen Sink
- BT entry point
- Gas spur to cooker
- Gas spur to boiler
- Hatch denotes 100mm internal loadbearing walls from above

- SUBSTRUCTURE NOTES**
- Outline of foundations indicative only. For actual arrangement refer to structural engineers design and details.
 - Dimensions taken to extents of cavity wall. For setting out of plinth (if applicable) refer to details.

INCOMING SERVICES LEGEND

All service entries are shown in the correct position however routes may vary. For further details refer to combined services plan.

- BT — 1 x BT intake
- W — 1 x Water intake
- GAS — 1 x Gas Intake
- ELE — 1 x Elec intake

NOTES:

Report all discrepancies, errors and omissions.

Verify all dimensions on site before commencing any work on site or preparing shop drawings.

All materials, components and workmanship are to comply with the relevant British Standards, Codes of Practice, and appropriate manufacturers recommendations that from time to time shall apply.

For all specialist work, see relevant drawings.

Existing drawing survey carried out by others. All dimensions, openings, levels etc to be checked on site prior to any construction work.

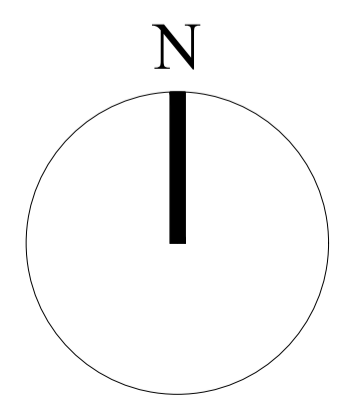
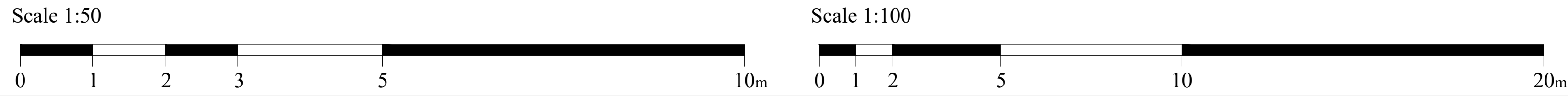
Drainage - All existing drainage runs including RWP's, SVP's, BIC's etc to be confirmed on site. Existing Manholes including Invert and Cover Levels to be confirmed.

Client and/or builder to confirm acceptance with Thames Water for Build Over consent of Mains Sewer.

BDK Design accept no responsibility for inaccuracies on drawings provided by others.

All Party Wall awards are the responsibility of the owner and we accept no liability for boundary inaccuracy.

Proposed Floor Plans
Scale 1:50@A1



REV:	DESCRIPTION:	BY:	DATE:
STATUS:			



PROJECT: Mr M Gardener 16 Highsted Road Sittingbourne Kent			
DESCRIPTION: Proposed Plans			
SCALE AT A1: AS SHOWN	DATE: Jan 2024	DRAWN: BK	CHECKED: BK
PROJECT NO: 79-PL	DRAWING NO: 79-PL-100.5	REVISION: B	