

**Planning Statement to accompany application for extension to 56 Folley Road, Ackelton.**

**Introduction**

56 Folley Road Ackelton was originally two cottages that was granted permission on 16<sup>th</sup> March 1973, for “conversion of two dwellings into one dwelling”. Planning Ref: 73/0430

It is noted that single storey additions in the 1973 application, showed a new lounge and garage at ground level.

It is noted in correspondence with Shropshire Council that “*the original property is taken as that created following Planning Permission Ref: 73/0430 on 16th March 1973 for, 'Conversion of two existing dwellings into one dwelling'. The extension approved as part of this application is included in the area 'original property'. (Please see officer report for 23/01729/FUL, paragraphs 2.2, 6.2.1 and 6.3.1)*”

A subsequent application approved 4<sup>th</sup> December 1979 gave permission for a further single storey rear extension to provide a ground floor bedroom and ensuite. Planning ref: B79/799.

It is noted that there have never been any additions to this property from the original on the first floor. All extensions to date have been at ground floor level.

It is also worthy to note that the original cottage was generally rebuilt when implementing the 1973 application and can be clearly seen in the modern stretcher bond brickwork to the property as it stands to date. See figure 1. Below.



*Fig. 1. Showing modern brickwork at first floor level*

It is questionable therefore what of the original cottage remains as thus and therefore any intrinsic historical nature has been lost.

### Extent Permissions

There have been recent Certificate of Lawful development applications that grant the home owner the ability to extend their property and they are highlighted below:-

- i. Single storey rear extension, Ref: 23/04055/HHE. Floor area 87.3 square metres.
- ii. Side extension, Ref: 23/03145/CPL. Floor area 242 square metres.
- iii. Loft Conversion, Ref: 23/04058/CPL. Floor area 69.6 square metres.

Whilst the client can implement all the above permissions, this application now seeks to harmonize all of the above, and in part rationalize the extensions approved to create a modern family home for our client.

### Proposal

Our revised proposal seeks permission for a kitchen extension, internal alterations and orangery at ground floor level with a combined area of 139.4 sqm and considerably less than the (242+87.3 sqm) 329.3sqm approved in application 23/04055/HHE and 23/03145/CPL. So, there is a planning gain and justification for Very Special Circumstances that exist to approve this.

As suggested above, there have been no extensions to the original property at first floor level in its history, and therefore it seems appropriate to assume that a proposal at first floor would not intrinsically harm the setting or the nature of the original build.

We propose a modest first floor side extension to provide an additional bedroom and meditation room of 38 square metres and whilst implementing the loft conversion (23/04058/CPL) seek a minor amendment to raise the eave and insert dormer windows to the west elevation.

The design has been carefully considered to ensure that the proposals are subservient to the original building and can be clearly demonstrated in the proposed reduction in scale to the proposed first floor extensions, retaining the body of the original dwelling.

The proposed elevations have been overlaid with the existing profile of the current property to assist in visualizing the minor additions and ensure it would not result in “complete engulfment” as suggested by the case officer in previous application 23/01729/FUL. Please see Fig 2. Below.



Fig 2. Redline shows outline of current property and minimal change to skyline.

The extensions have been carefully considered to ensure that there is minimal or no impact on the neighboring properties and therefore safeguarding their amenity or privacy.

We have proposed using timber framing, plain clay roof tiles, traditional render and vertical tile hanging to maintain the local vernacular aesthetic and that of the immediate surroundings. Please see Figure 3. Below.



Fig.3. sketch indicating improved aesthetic and traditional use of materials to enhance.

### Conclusion

The new design has taken into account previous local authority correspondence and comments on initial application 23/01729/FUL and addresses those concerns.

We feel that the client has been pro-active in revisiting their design, working to provide a well-mannered and considered approach, that will not have any detrimental affect on the setting, but enhance and provide a modern, sustainable family home for future generations.

If it is felt necessary as part of the Authorities consideration, then a further Condition could be applied to the approval that would restrict any further Permitted Development extensions to the property as consideration for justification for Very Special Circumstances and thereby restrict and safeguard any future development in the Green Belt.