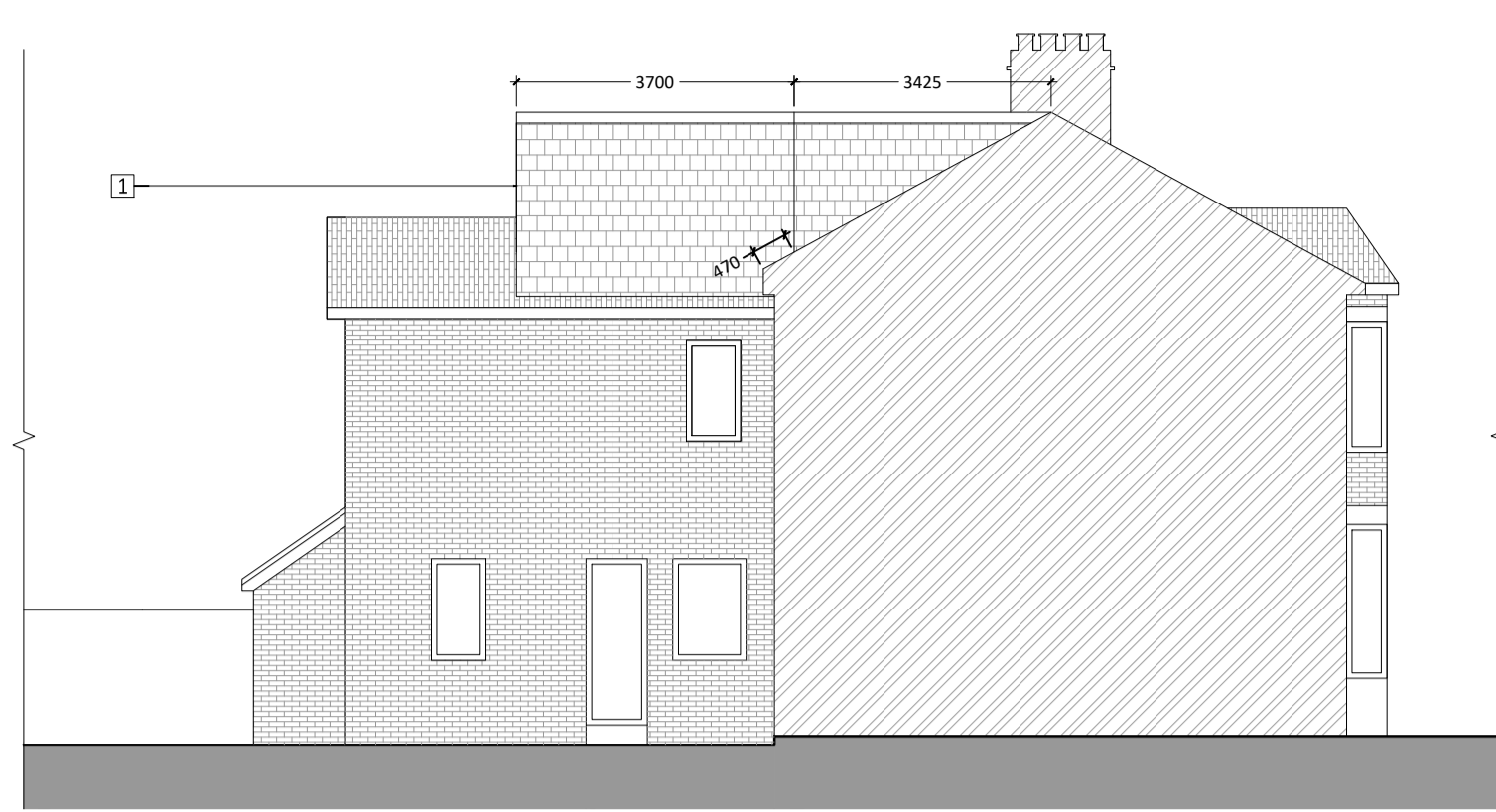
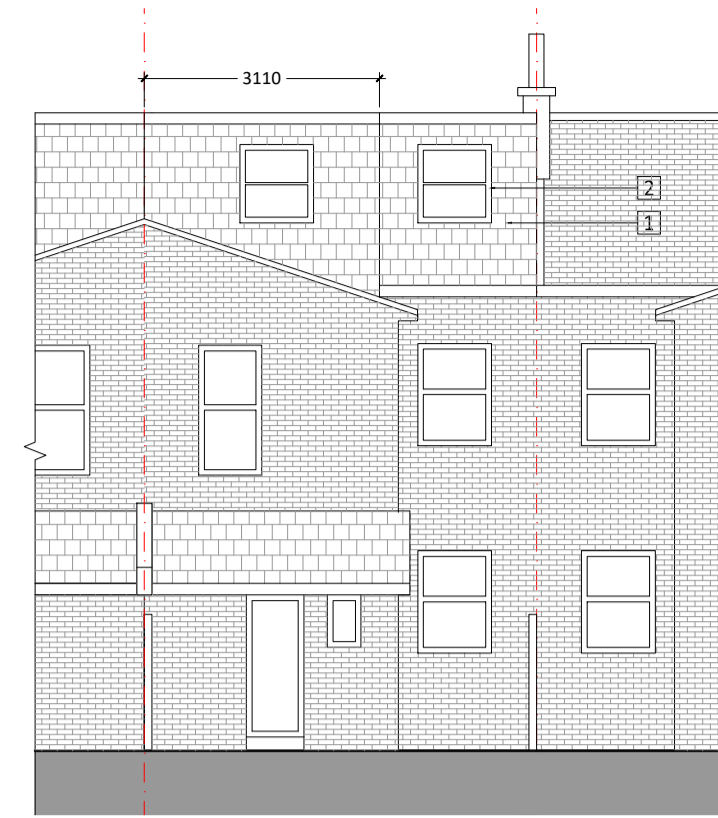


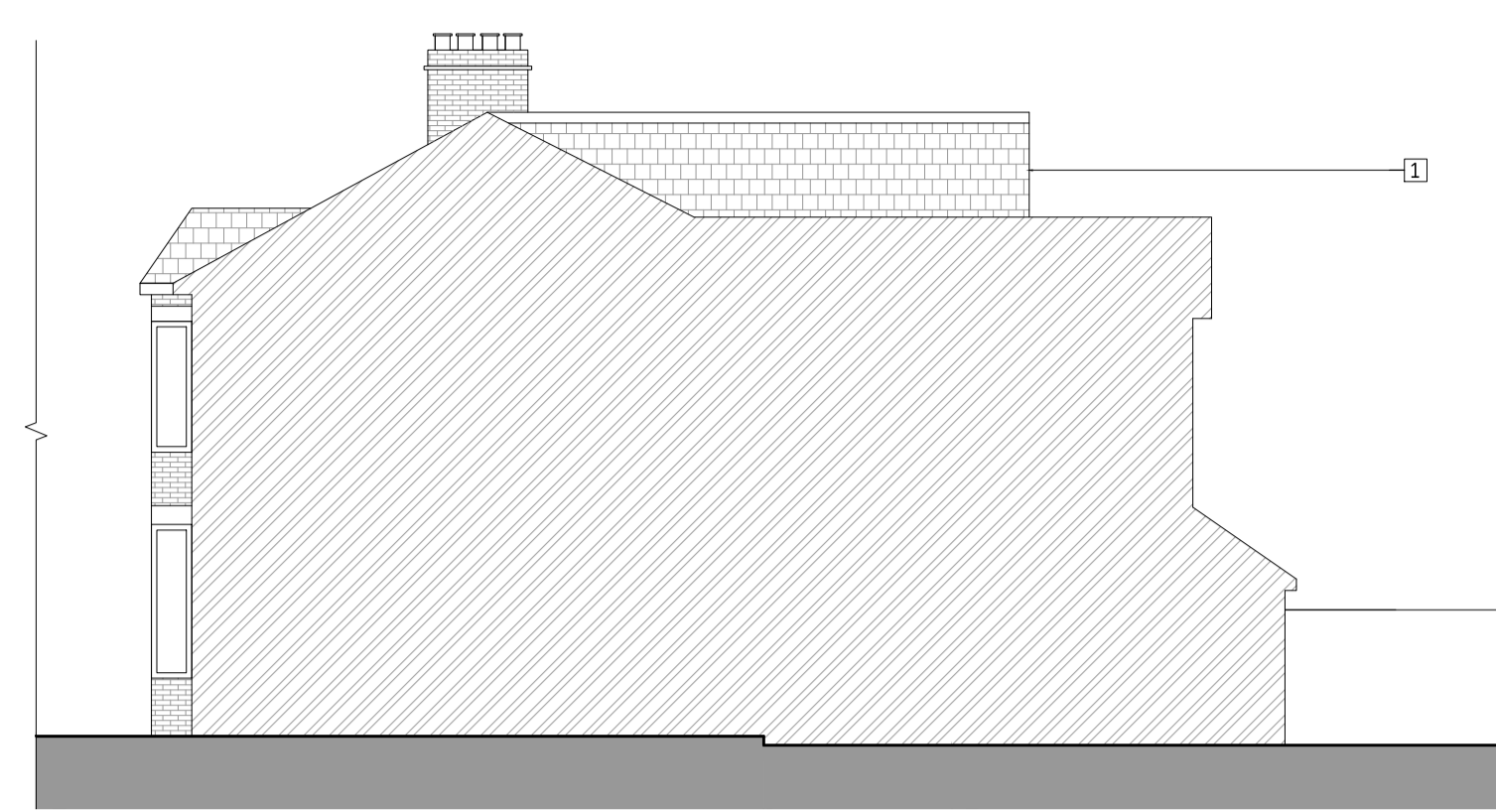
**E-1 Front Elevation**  
Scale 1:100



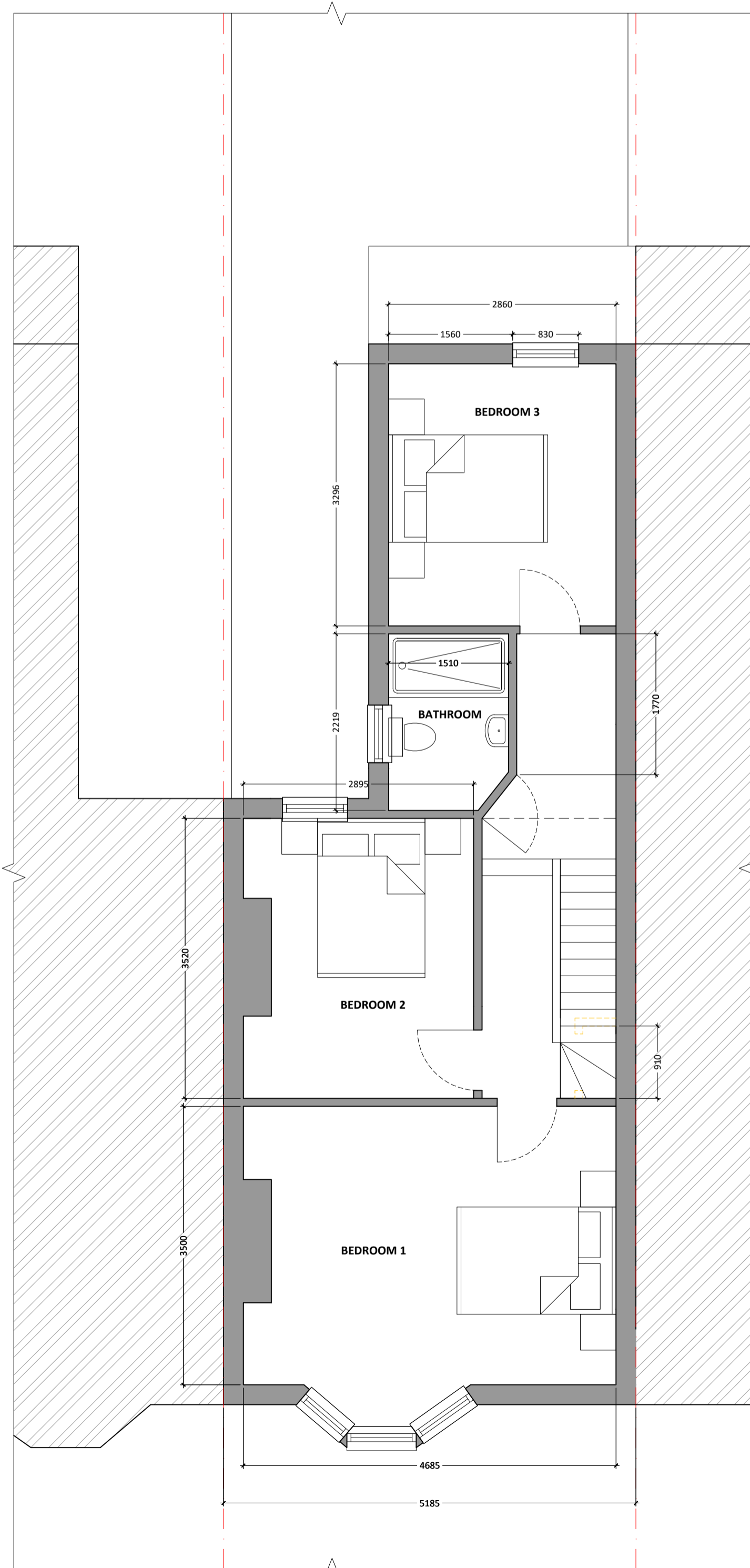
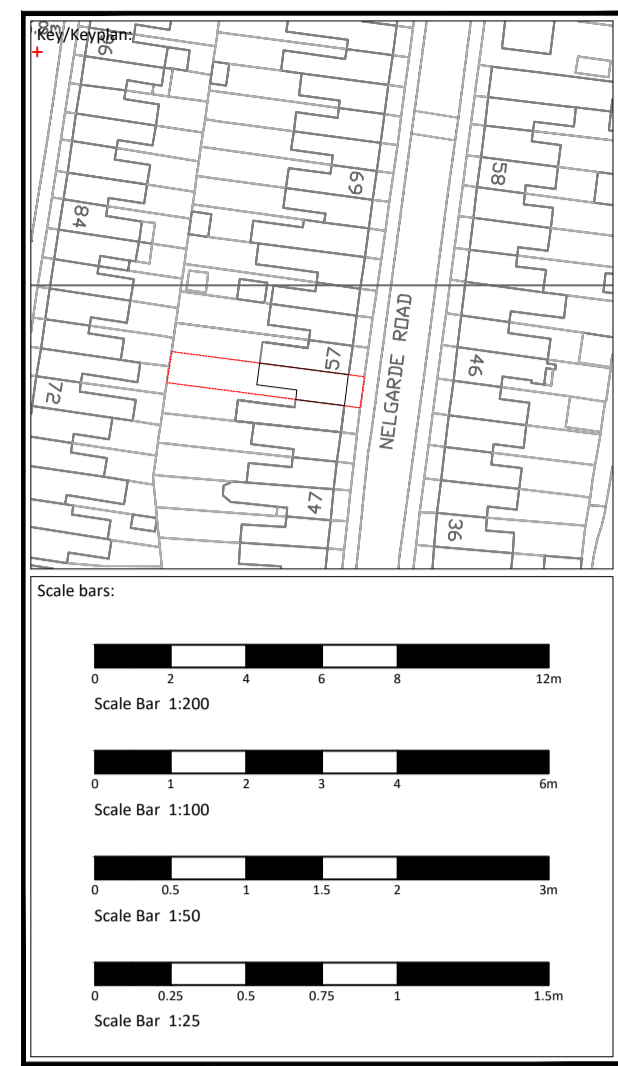
**E-2 Side Elevation**  
Scale 1:100



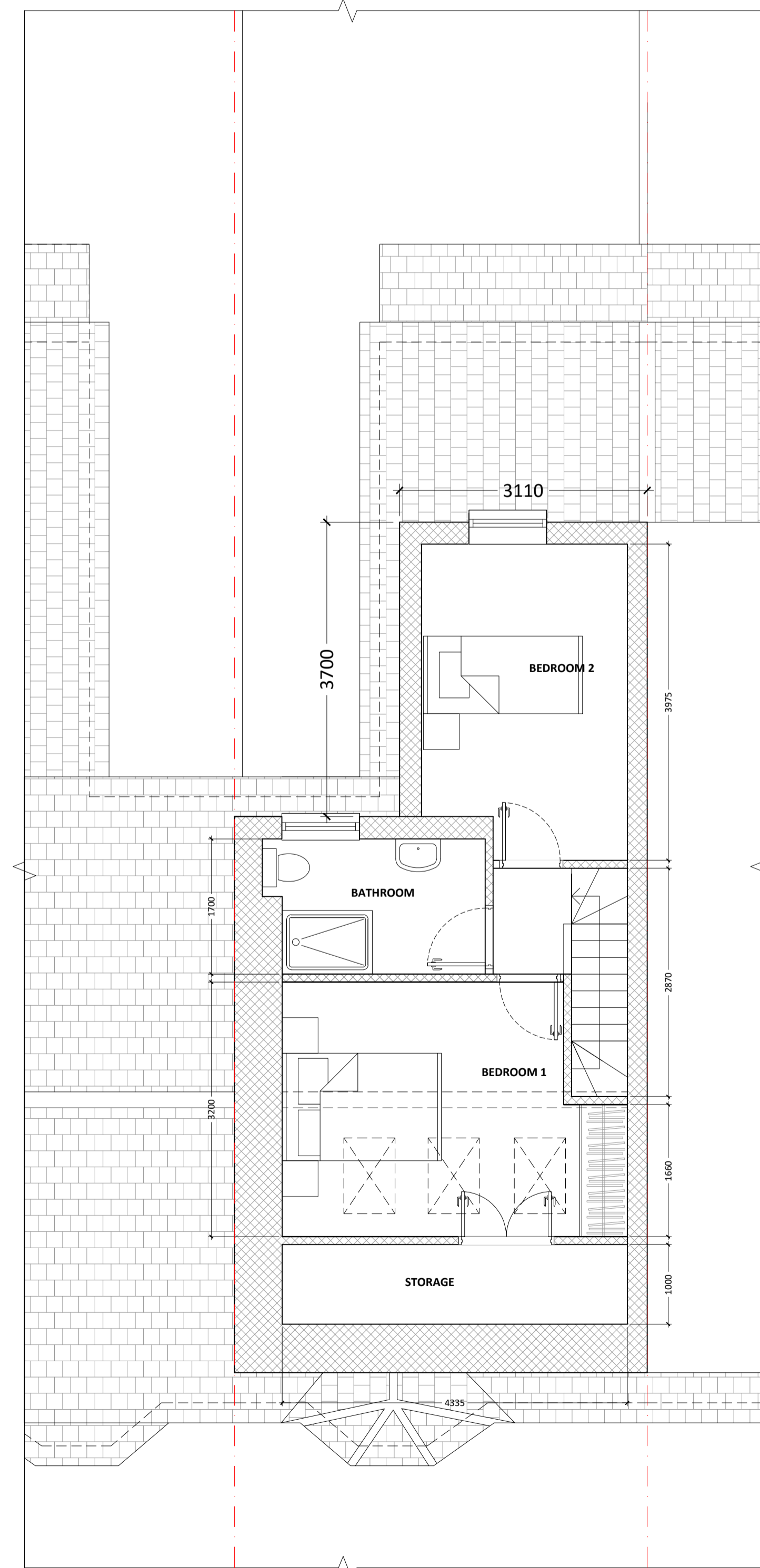
**E-3 Rear Elevation**  
Scale 1:100



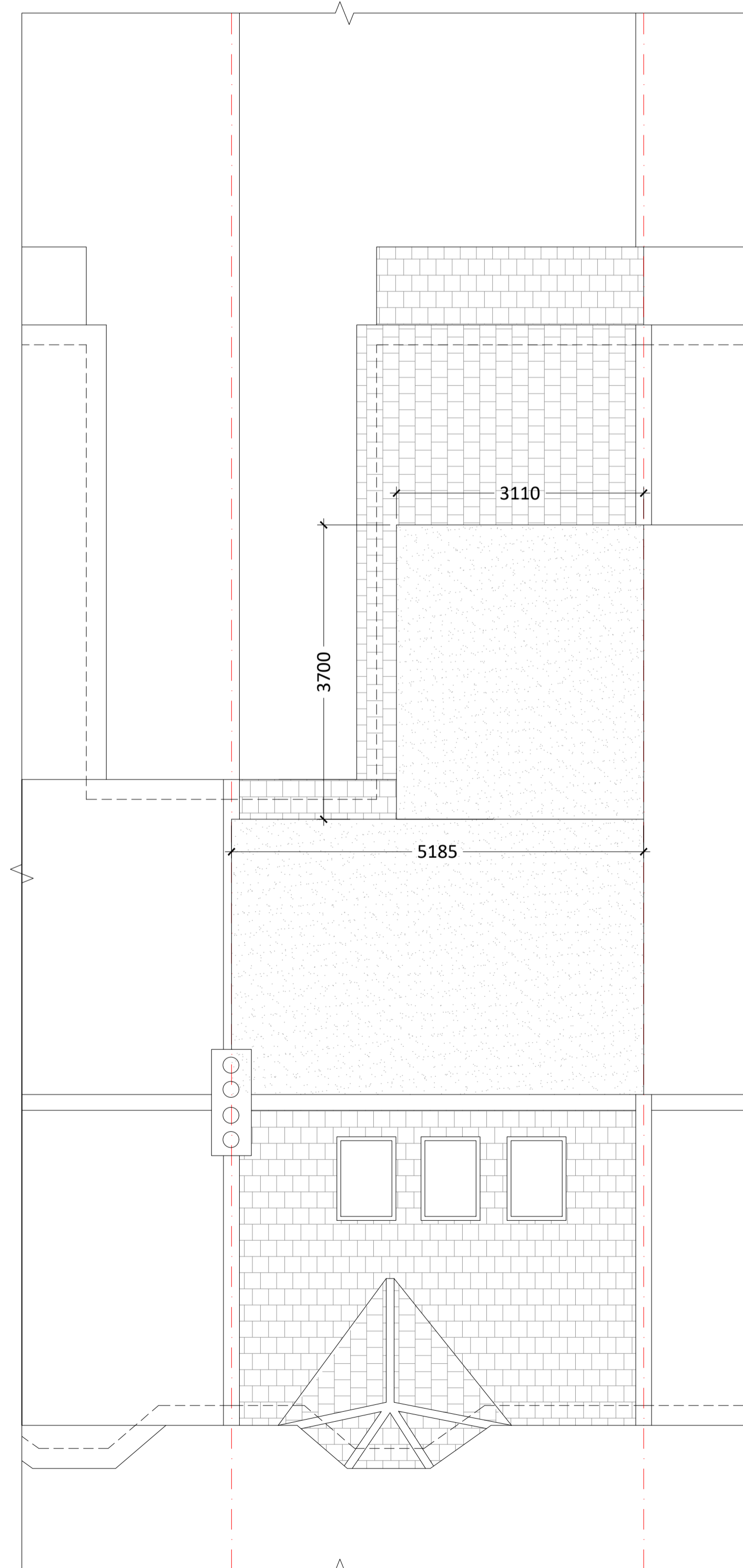
**E-4 Side Elevation**  
Scale 1:100



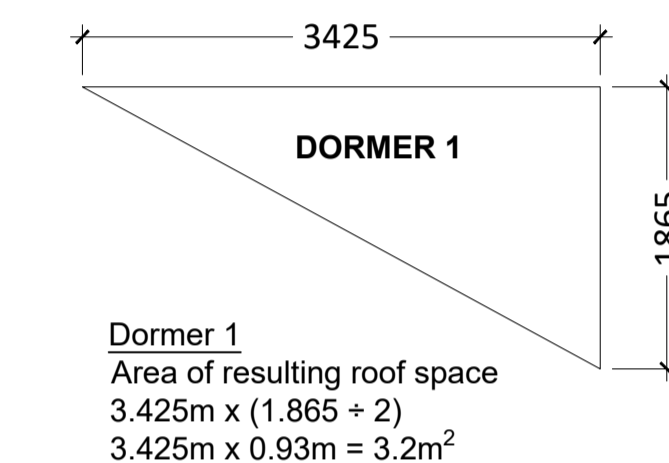
**First Floor Plan**  
Scale 1:50



**Loft Plan**  
Scale 1:50

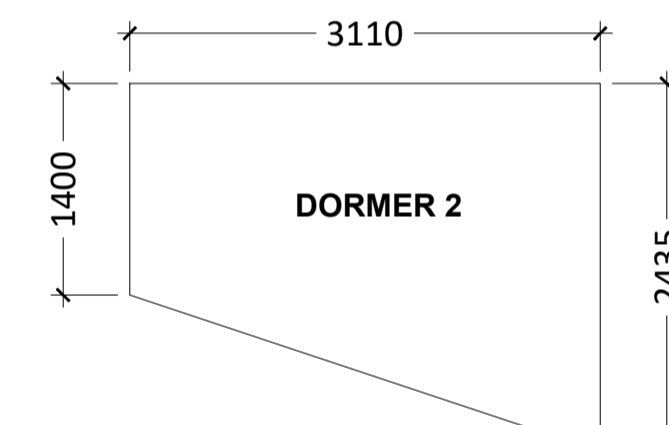


**Roof Plan**  
Scale 1:50



Dormer 1  
Area of resulting roof space  
 $3.425m \times (1.865 + 2)$   
 $3.425m \times 0.93m = 3.2m^2$

Dormer 1  
Volume calculation  
 $5.19m \times 3.2m^2 = 16.6m^3$



Dormer 2  
Area of resulting roof space  
 $3.11m \times (1.4 + 2.435) + 2$   
 $3.11m \times 2.63m = 6m^2$

Dormer 2  
Volume calculation  
 $3.7m \times 6m^2 = 22.2m^3$

**TOTAL DORMER 1 + DORMER 2**  
 $22.2 + 16.6 = 38.8m^3$

**DRAWING KEY**

- Site boundary
- Existing building fabric
- Proposed building fabric
- Demolished building fabric

**ELEVATION ANNOTATIONS KEY**

1. Tile hanging wall cladding
2. PPC Aluminium windows
3. Glazed Rooflight

Notes:  
This drawing should be read in conjunction with all relevant project information including specialist sub-contractor design and specification. Contractor to check all dimensions prior to fabrication and commencement of works. All works to be in accordance with the contract documentation and comply with all relevant legal standards. All workmanship to be in accordance with BS 8000 and Building Regulations Approved Document 7. Report any discrepancy to the Architect. If in doubt, ask. This drawing is the copyright of KHD Architecture Ltd.

**Revisions:**

Rev	Suit	Date	Description	Author	Checked

**LDC**

Project Name: <b>55 Nelgarde Road Catford SE6 4TB</b>	RIBA Stage:
Project Number: <b>55.NR</b>	Revision: <b>A</b>
Drawing Name: <b>Plans and Elevations As Proposed</b>	Suitability:
Drawing Number: <b>GA-01</b>	Date: <b>September 2023</b>
Date: <b>September 2023</b>	Scale: <b>as noted @ A1</b>
Client: <b>-</b>	



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