

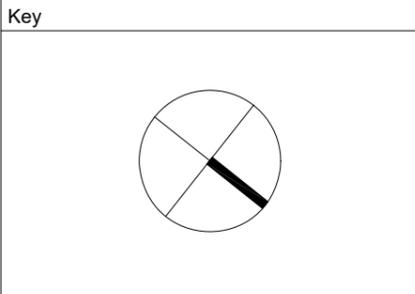
DO NOT SCALE FROM THIS DRAWING

All dimensions to be verified prior to the commencement of any work or the production of any shop drawing.

All omissions and discrepancies to be reported to the Architect immediately.

This drawing is to be read in conjunction with all related Architect's and Engineer's drawings and any other relevant information.

- Notes**
1. New engineered timber floor throughout ground floor as specified. Some areas of timber joist structure may need to be made good like-for-like if damaged beyond repair. Leveling of joists as required for new engineered floor.
 2. Acoustic insulation to party walls where indicated in drawing C-207.
 3. All mouldings + covings to be retained and redecorated where possible. Restore and paint all existing internal walls, doors, surfaces and any retained joinery to ground floor only to retain existing quality
 4. Original sash windows to ground floor front to be retained and made good after works. Existing shutters to be restored/redecorated if necessary to retain original quality.
 5. Central heating to be provided with radiators throughout ground floor
 6. All new light fixtures to include new switches and lighting, Corston Antique Brass, subject to client confirmation: please refer to architect's specification + schedules
 7. Contractor to make their own enquiries as to the safety and operability of the existing electrics, gas and plumbing. Retain where possible. No new pipework unless necessary for the new water system. New boiler necessary as specified.
 8. New Cat6A snagless shielded (SSTP/SFTP) cables throughout ground floor. Cat6A snagless shielded (SSTP/SFTP) cables to also be run to loft through internal riser as identified in M+E drawings.



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| Project | | |
| 48 Amott Road, London SE15 4JD | | |
| Drawing | | |
| Proposed Ground Floor Plan | | |
| Status | | |
| Construction | | |
| Drawn/Checked EH / NE | Date 15/01/24 | Scale 1/50 @A3 |
| Project number 015 | Drawing number NE-015-C-201 | Rev 04 |