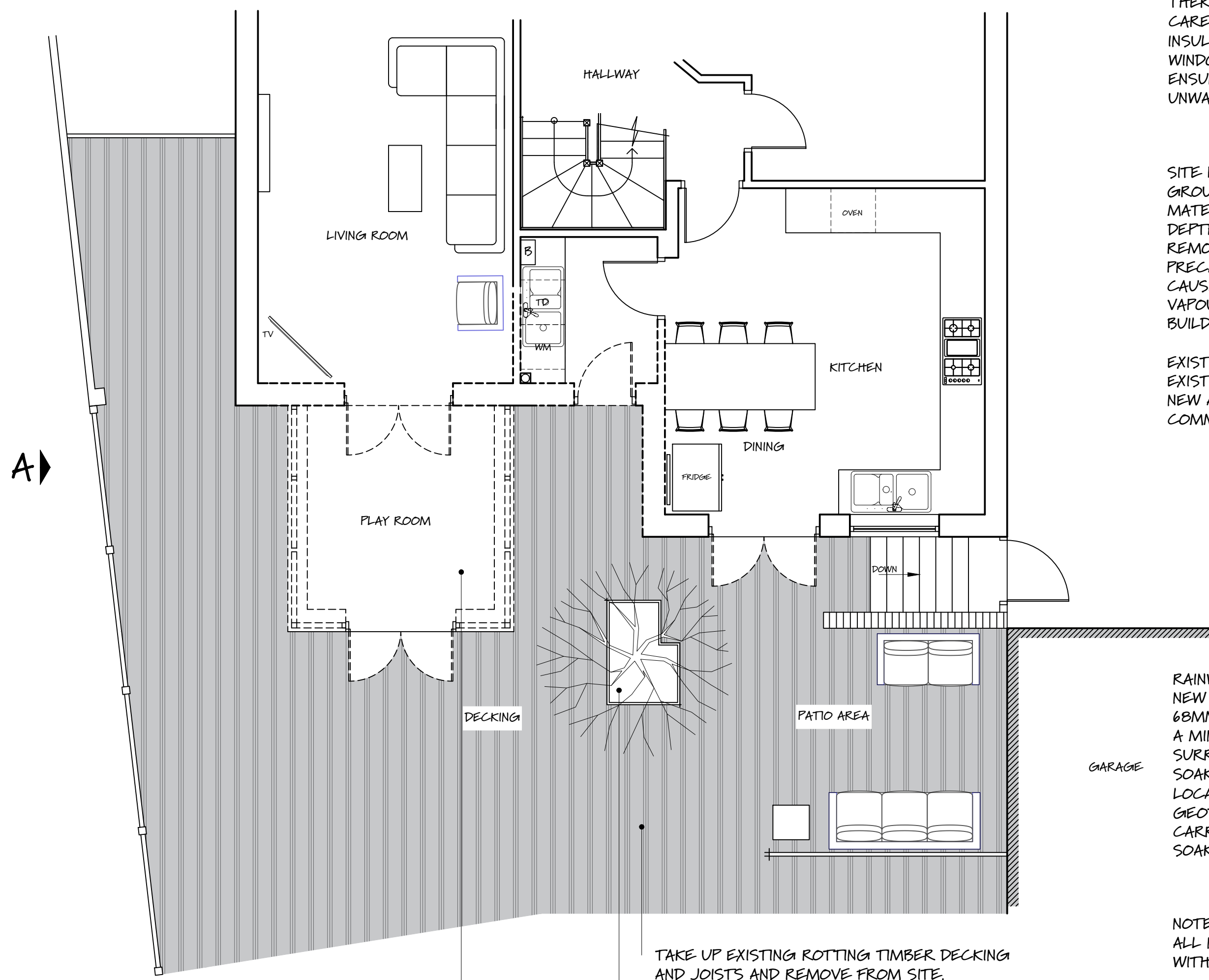


NOTE: BROKEN LINEWORK DENOTES ITEM(S) THAT NEED TO BE DEMOLISHED AND OR REMOVED FROM SITE.



EXISTING GROUND FLOOR PLAN

TAKE UP EXISTING ROTTING TIMBER DECKING AND JOISTS AND REMOVE FROM SITE.

RELOCATE EXISTING SMALL POTTED TREE FURTHER INTO GARDEN

REMOVE EXISTING DOOR AND CONSERVATORY AND GRUB UP FLOOR SLAB AND FOOTINGS AND PREPARE TO RECEIVE NEW WORKS

CDM REGULATIONS:  
THE OWNER, SHOULD THEY NEED TO DO SO, MUST ABIDE BY THE CONSTRUCTION DESIGN AND MANAGEMENT REGULATIONS 2007 WHICH RELATE TO ANY BUILDING WORKS INVOLVING MORE THAN 500 MAN HOURS OR LONGER THAN 30 DAYS DURATION. IT IS THE CLIENT'S RESPONSIBILITY TO APPOINT A PLANNING SUPERVISOR ON ALL PROJECTS THAT REQUIRE COMPLIANCE WITH THE CDM REGULATIONS.

THERMAL BRIDGING:  
CARE SHALL BE TAKEN TO LIMIT THE OCCURANCE OF THERMAL BRIDGING IN THE INSULATION LAYERS CAUSED BY GAPS WITHIN THE THERMAL ELEMENT, (IE AROUND WINDOW AND DOOR OPENINGS). REASONABLE PROVISION SHALL ALSO BE MADE TO ENSURE THE EXTENSION / NEW BUILD WORKS ARE CONSTRUCTED TO MINIMISE UNWANTED AIR LEAKAGE THROUGH THE NEW BUILDING FABRIC.

SITE PREPARATION:  
GROUND TO BE PREPARED FOR NEW WORKS BY REMOVING ALL UNSUITABLE MATERIAL, VEGETABLE MATTER AND TREE OR SHRUB ROOTS TO A SUITABLE DEPTH TO PREVENT FUTURE GROWTH. SEAL UP, CAP OFF, DISCONNECT AND REMOVE EXISTING REDUNDANT SERVICES AS NECESSARY. REASONABLE PRECAUTIONS MUST ALSO BE TAKEN TO AVOID DANGER TO HEALTH AND SAFETY CAUSED BY CONTAMINANTS AND GROUND GASES E.G LANDFILL GASES, RADON, VAPOURS ETC. ON OR IN THE GROUND COVERED OR TO BE COVERED IN THE BUILDING.

EXISTING STRUCTURE:  
EXISTING STRUCTURE INCLUDING FOUNDATIONS, BEAMS, WALLS AND LINTELS CARRYING NEW AND ALTERED LOADS ETC BE EXPOSED AND CHECKED FOR ADEQUACY PRIOR TO COMMENCEMENT OF NEW WORK AND AS REQUIRED BY THE BUILDING CONTROL OFFICER.

RAINWATER DRAINAGE/SOAKAWAY:  
NEW RAINWATER GOODS TO MATCH EXISTING PROPERTY AND CONNECTED TO 68MM DIAM. DOWNPIPES. RAINWATER TO BE TAKEN TO NEW SOAKAWAY, SITED A MIN OF 5.0M AWAY FROM ANY BUILDING, VIA A 110MM DIAM PVC PIPE SURROUNDED IN 150MM GRANULAR MATERIAL LAID TO A 1.40 FALL. SOAKAWAY TO BE A MIN OF 1.0 CUBIC METRE CAPACITY (OR TO A DEPTH TO LOCAL AUTHORITY APPROVAL) WITH SUITABLE GRANULAR FILL AND WITH GEOTEXTILE SURROUND TO PREVENT MIGRATION OF FINES. IF NECESSARY CARRY OUT A POROSITY TEST TO DETERMINE DESIGN AND DEPTH OF SOAKAWAY.

NOTE:  
ALL NEW WORK, INCLUDING FOOTINGS, GUTTERINGS, ETC. TO BE KEPT WITHIN CURTLAGE OF OWNERSHIP.

THE PARTY WALL ACT  
ALTHOUGH NOT PART OF THE BUILDING REGULATIONS, THE REQUIREMENTS OF THE PARTY WALL ACT SHOULD BE NOTED AND IMPLEMENTED ACCORDINGLY. PLEASE REFER TO THE PARTY WALLS ACT 1996, WHICH PROVIDES A FRAMEWORK FOR PREVENTING AND RESOLVING DISPUTES IN RELATION TO PARTY WALLS, BOUNDARY WALLS AND EXCAVATIONS NEAR NEIGHBOURING BUILDINGS. A BUILDING OWNER PROPOSING TO START WORKS COVERED BY THE ACT MUST GIVE ADJOINING OWNERS NOTICE OF THEIR INTENTIONS IN THE WAY SET OUT IN THE ACT. ADJOINING OWNERS CAN AGREE OR DISAGREE WITH WHAT IS PROPOSED. WHERE THEY DISAGREE, THE ACT PROVIDES A MECHANISM FOR RESOLVING DISPUTES.

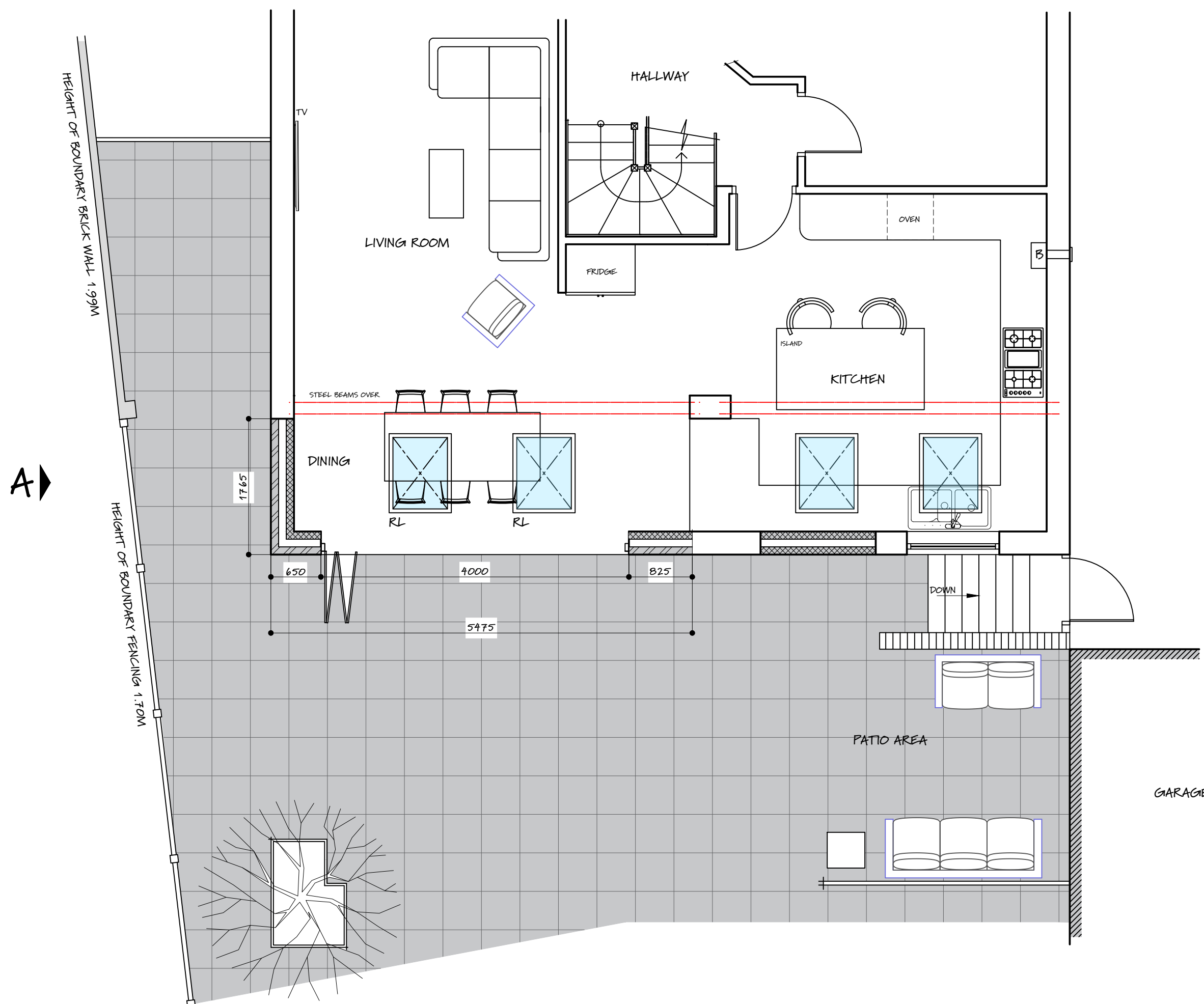
DRAINAGE:  
CONTRACTOR TO EXPOSE ALL DRAIN RUNS TO CONFIRM LAYOUTS AND DISCHARGE ROUTES

STEEL BEAMS:  
FOR STEEL BEAM SIZING, PADSTONES, PIERS AND FOOTING DETAILS PLEASE REFER TO STRUCTURAL ENGINEERS CALCULATIONS.

PADSTONES:  
CONCRETE PADSTONES TO ALL BEAM BEARINGS MIN 450 X 100 X 140MM.

FIRE SAFETY  
ANY PROPOSED RECESSED DOWNLIGHTING SHOULD BE PROVIDED WITH SUITABLY TESTED AND FIRE RESISTING BACKS AND SHOULD BE INSTALLED STRICTLY IN ACCORDANCE WITH THE MANUFACTURERS REQUIREMENTS TO PREVENT POTENTIAL FOR OVERHEATING FROM THE ROOF THERMAL INSULATION.

PROVIDE HEAT DETECTOR TO KITCHEN AREA.



PROPOSED GROUND FLOOR PLAN

PROPOSED PLANS



SITE LOCATION PLAN  
1:1250

CLIENT:  
MR & MRS LACEY-COLES  
PROPOSED SINGLE  
STOREY REAR EXTENSION  
1 BROOK RISE  
OAKDALE  
CAERPHILLY  
NP12 OES  
DESCRIPTION:  
EXISTING AND  
PROPOSED PLANS

**Zenith**  
DESIGN SOLUTIONS

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DATE: OCTOBER 2023  
SCALE: 1:50 @ A1 1:100 @ A3  
DRAWING NO. 18200KRISE/01

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partner  
**LABC**