

EXISTING HOTEL

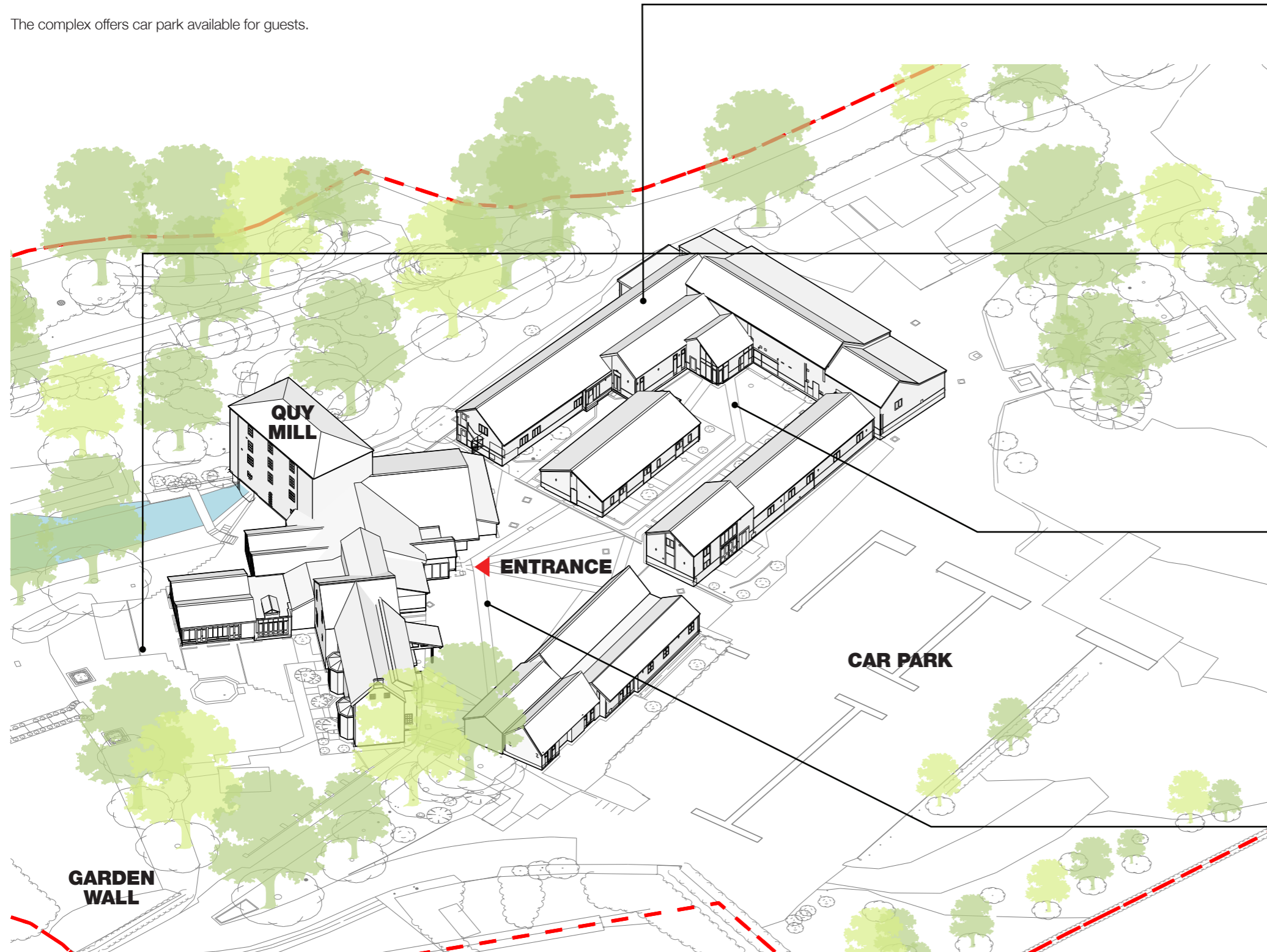
The current hotel has a total of 51 guestrooms, along with the spa and gym facilities.

The historic building and its rear gardens are suited for hosting weddings, conferences, and other events.

The complex offers car park available for guests.

The current entrance to the hotel is located on the historic building.

None of the existing buildings forming the complex exceed the height of ground plus one level, with the exception of the Grade II listed mill.



Pool & Spa Facilities



Rear Gardens



Barn Style Outbuildings

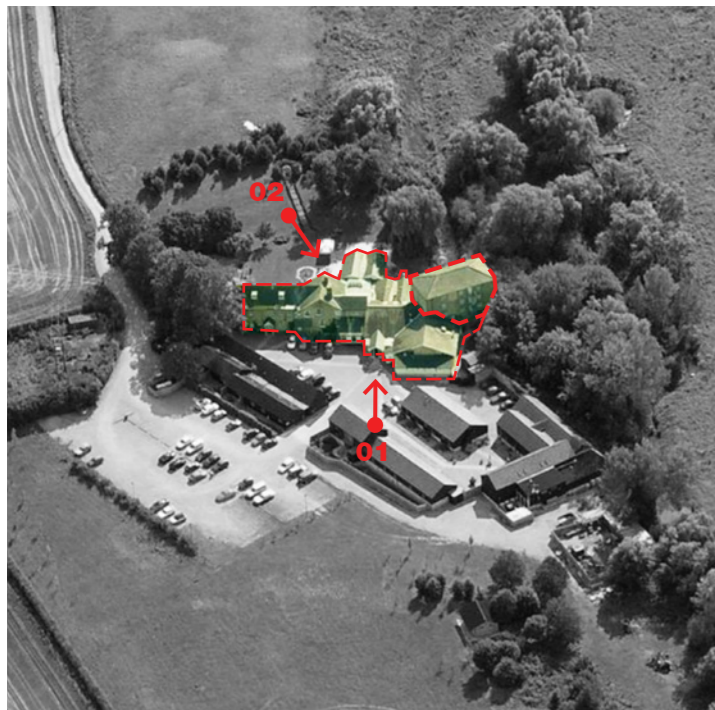
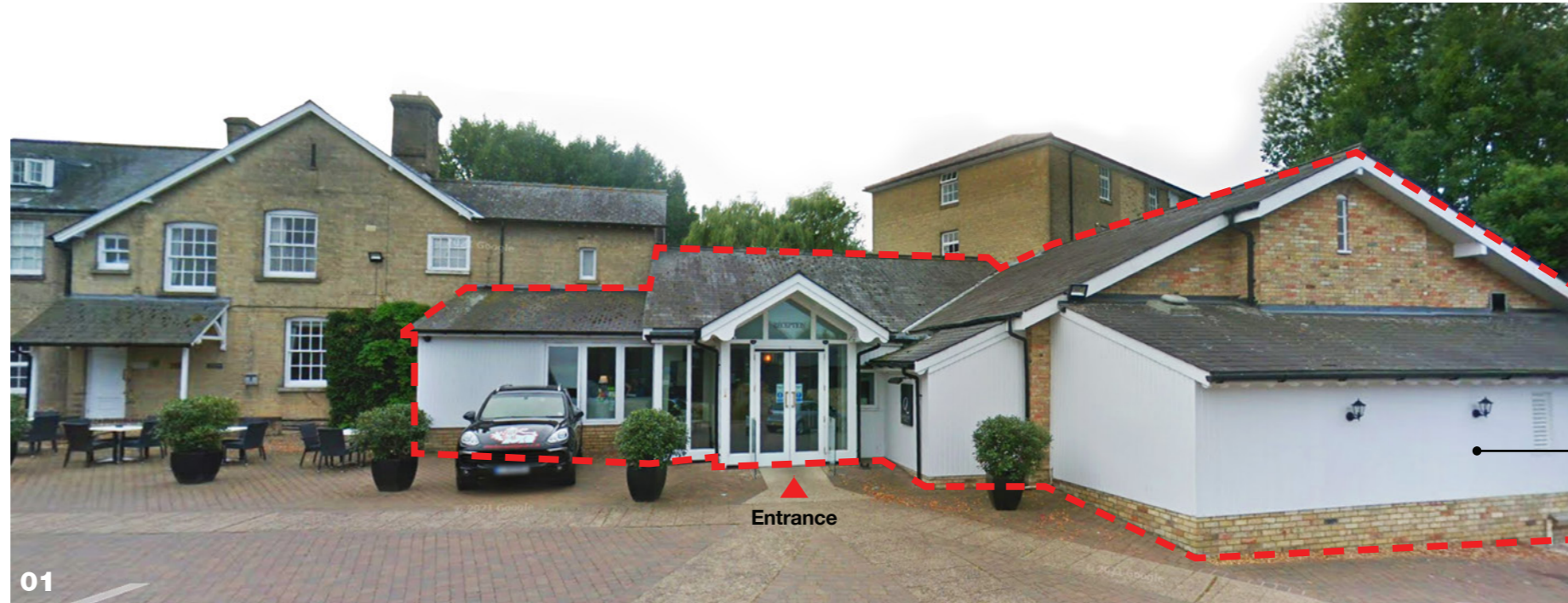


Hotel Entrance

HISTORIC BUILDING

The entrance to the hotel is located on the north elevation of the historic building. Over time, this 19th century building has been the subject of various extensions and modifications, including the addition of glazed links and lobby extensions.

On the southern side, a garden area is accessible as an amenity space that can be utilized for outdoor seating and during events.



[01] Current hotel entrance
[02] View of the rear gardens

BARN STYLE BUILDINGS

The existing barns have been refurbished and re-clad with black painted timber weatherboards and slated roof, reminiscent of their original use.

Currently, these buildings provide additional hotel accommodation as well as gym, pool, and spa facilities.



01



02

[01] Existing pool
[02] Spa entrance

OUTDOORS SPACE

The outdoor area located in front of the main entrance to the hotel currently serves as a combination of car park and amenity space.

Under the existing arrangement, the barn-style outbuildings can only be accessed from the exterior, operating as separate buildings from the main hotel structure.



Quy Mill
(Grade II listed)
Mill House
(Curtilage listed)



Barn style outbuildings

Quy Mill
(Grade II listed)



Barn style outbuildings



Barn style outbuildings

PLANNING HISTORY

The previous application for the extension and refurbishment of Quy Mill Hotel, reference number 23/01287/FUL, was denied on July 28, 2023.

A summary of the Planning Decision Notice is provided on this page, along with the design team's responses addressing the comments in the new planning submission.

01 SCALE OF DEVELOPMENT

'The proposal exceeds what is acceptable in terms of scale of development in the greenbelt. The amount of new built form in terms of footprint and massing, impacts on the openness of the greenbelt. It is considered that this would have an adverse impact on the purposes of the greenbelt.'

RESPONSE

The massing and scale of the proposal have been significantly decreased. The total newly proposed area has been reduced by 14%, and the overall massing of the proposal has also undergone significant reduction.

This adjustment is made to ensure that the newly proposed buildings better align with the massing and typology of the existing buildings on the site.

02 HOTEL FRONT EXTENSION

'Concerns are raised regarding the size and scale of the new two-storey wing of hotel rooms (and new front entrance) at the north side of the complex of buildings. Its 88m width of unbroken terrace of two-storey height would seem very large compared to the typical size of built form at the site. The proposed wing at the north end would become the longest building at the site and its uniform two-storey height may appear visually prominent from the point of view of the approach to the hotel entrance on the north side.'

'The proposal would lead to a significant large hotel wing extension to the north of the site. This new proposal is a large deep building with a double roof and rises to a full two storeys. The design is barn like in terms of materials, but the scale of the building combined with the scale and framing of the openings do not fit with the relatively low-key style of the Mill and surrounding buildings. Due to its height and position on a raised bit of land the new hotel wing rises above the lower outbuildings and has the potential to dominate the courtyard.'

RESPONSE

The main hotel wing, located at the north end of the site, has been redesigned to address concerns about its length and massing. The previously proposed block length has been divided into three blocks connected by glazed links. The height of the newly proposed blocks has also been reduced, ensuring that this new wing is more integrated within the existing group of barn buildings and does not obstruct views of the Grade II listed Quy Mill historic building.

03 LINK CORRIDOR

'The proposal would lead to a new link corridor from the proposed main hotel wing and the new main hotel wing itself. This is considered to be a dominant and uncomfortable addition to the setting of the heritage assets and did not respond to the materiality and character of the surrounding buildings. The link is still a dominant feature and has the effect of cutting the mill and house off from the remainder of the site and outbuildings.'

RESPONSE

The design of the link has been reviewed, shortened, and redesigned as a smaller and lighter glazed structure. The new glazed link is less perceived as a dominant structure and emphasizes the visual connection between the various courtyard spaces that are part of the proposed hotel complex.

04 QUY MILL RESTAURANT EXTENSION

'Insufficient information has been provided on the extension to the Mill. The proposal includes a glazed box with a linking glazed section which appears to use the existing opening from the Mill. There are no detailed drawings of the link and how this is attached to the Mill elevation. There is also no information on this extension and its impact on the setting of the Mill. The justification for these works is to increase the meeting room provision for the hotel. These proposed changes have not been subject to discussion and analysis and the increase of meeting provision is not considered sufficient justification.'

RESPONSE

Additional details and information have been included in the current application. The proposed glazed restaurant extension of the Quy Mill Building, due to its design and scale, is conceived as a subservient

extension. The internal works in the Grade II listed building are designed with the intention of preserving and enhancing the heritage and setting of the historic water wheel.

05 HISTORIC BUILDING INTERNAL WORKS

'The demolition plan shows the removal of the northern end walls to the rooms either side of the original central staircase. In addition, within the later part of the miller's house additional sections of wall are proposed to be removed either side of a central chimney breast and fireplace to open up what is the existing mill house dining area.'

RESPONSE

All internal works have been reviewed in accordance with the comments and directions from the conservation officer, ensuring that the setting of the Grade II listed building and the curtilage listed status premises is not detrimentally altered.

06 DRAINAGE STRATEGY

'Insufficient information has been submitted to demonstrate that the proposed development would provide a satisfactory drainage strategy to ensure that the development would not result in harm to flooding and drainage risk of the area. Further, information is required upon the proposed discharge rate and clarity on the connectivity of the proposed green roofs.'

RESPONSE

Additional information regarding the drainage strategy will be provided with this application.

07 PUBLIC RIGHT OF WAY

'A public right of way links the application site to the village of Stow Cum Quy, running along the access road from the village, passing through the eastern corner of the site and returning to the village across open fields to the north-east of the site. On the information submitted it is not clear that the proposed extension would not obstruct the public right of way.'

RESPONSE

The updated drawings included in this application confirm that the current proposal does not obstruct the existing public right of way.

PROPOSED MASSING

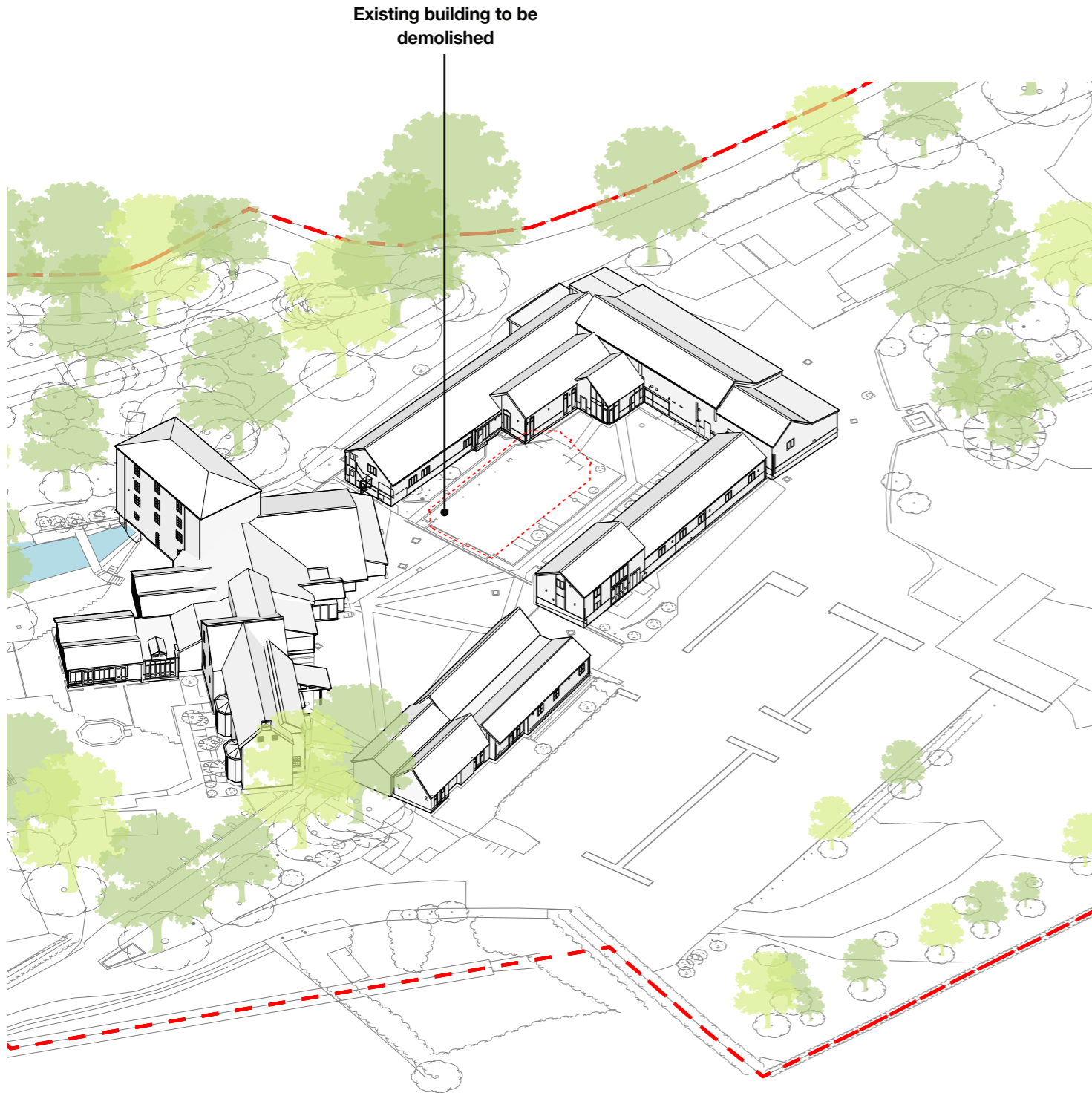
The main objective of the proposal is to connect the different buildings of the existing complex and improve the functionality and accessibility of the current hotel.

The proposal includes the demolition of one of the existing barn buildings to create a larger courtyard space in front of the expanded spa and pool building.

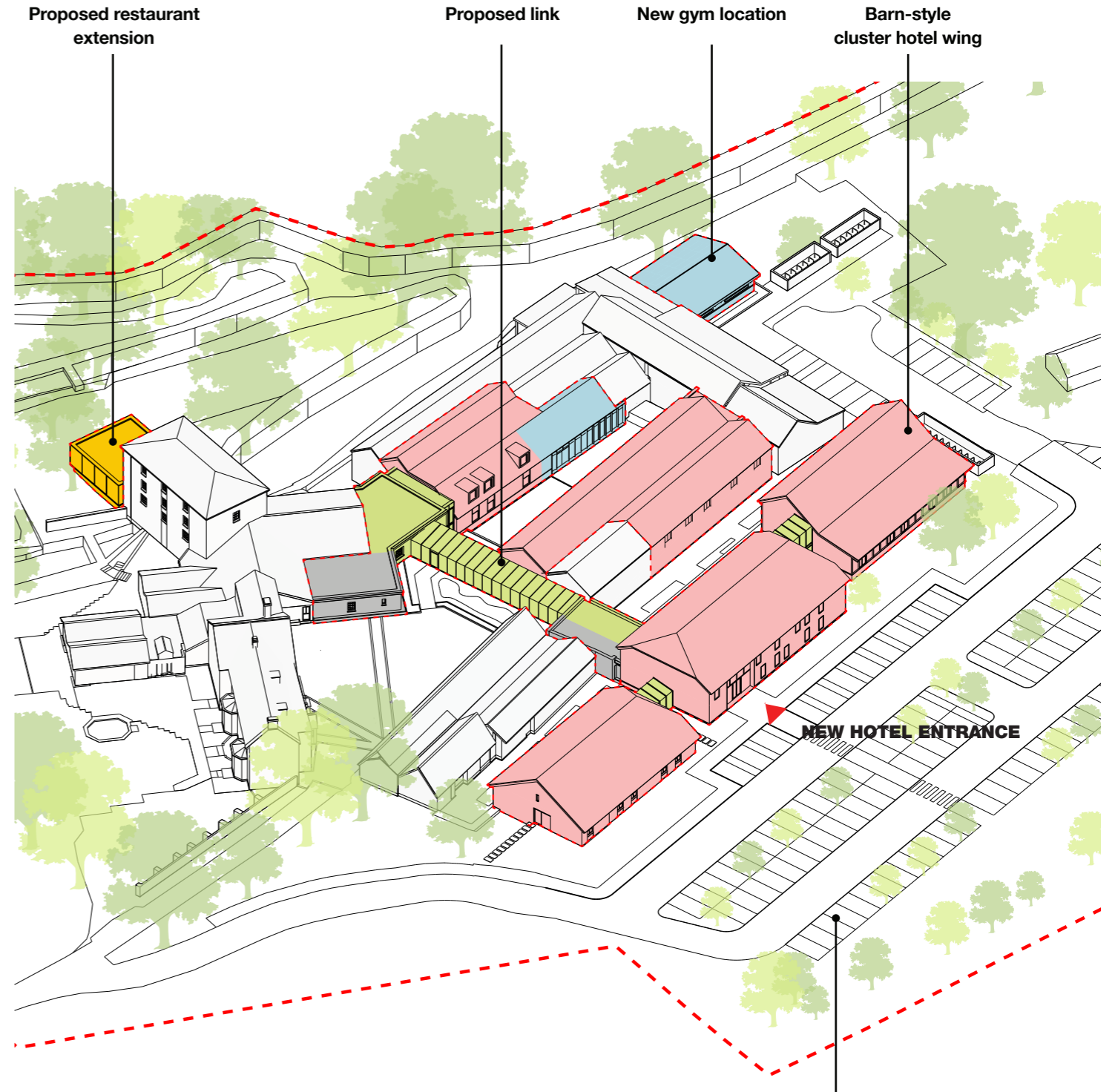
The remaining barn buildings will be extended to accommodate additional hotel rooms, expand the spa facilities, and provide space for administrative and back-of-house facilities.

Additionally, a cluster of three new barn-style buildings is proposed for the front of the site to increase the hotel's capacity.

- - - Site boundary TBC
- - - Proposed new massing
- New hotel rooms
- Restaurant extension
- BOH
- Spa + gym facilities
- Proposed links



01



02

New car park facilities

PROPOSED INTERNAL LAYOUT

The main guest entrance will be relocated to the front, situated on the newly proposed barn-style buildings, adjacent to the new car park.

A spine-like module will extend from the reception, connecting all the buildings and guiding guests to the various facilities within the complex.

The newly relocated service areas will be directly connected to the service lifts, ensuring efficient service delivery to all hotel rooms.

Extensions to the restaurant and gym on the ground floor will be proposed.

Additional parking spots will be installed near the entrance of the gym to accommodate users of the spa, gym, and pool.

The courtyards will be landscaped to enhance the viewing experience from the guestrooms and front-of-house areas of the hotel.

- Site boundary TBC
- Hotel rooms
- Bar / restaurant
- Meeting
- BOH
- Admin
- Pool & gym
- Links / circulation

