

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON
SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV



www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

EXISTING

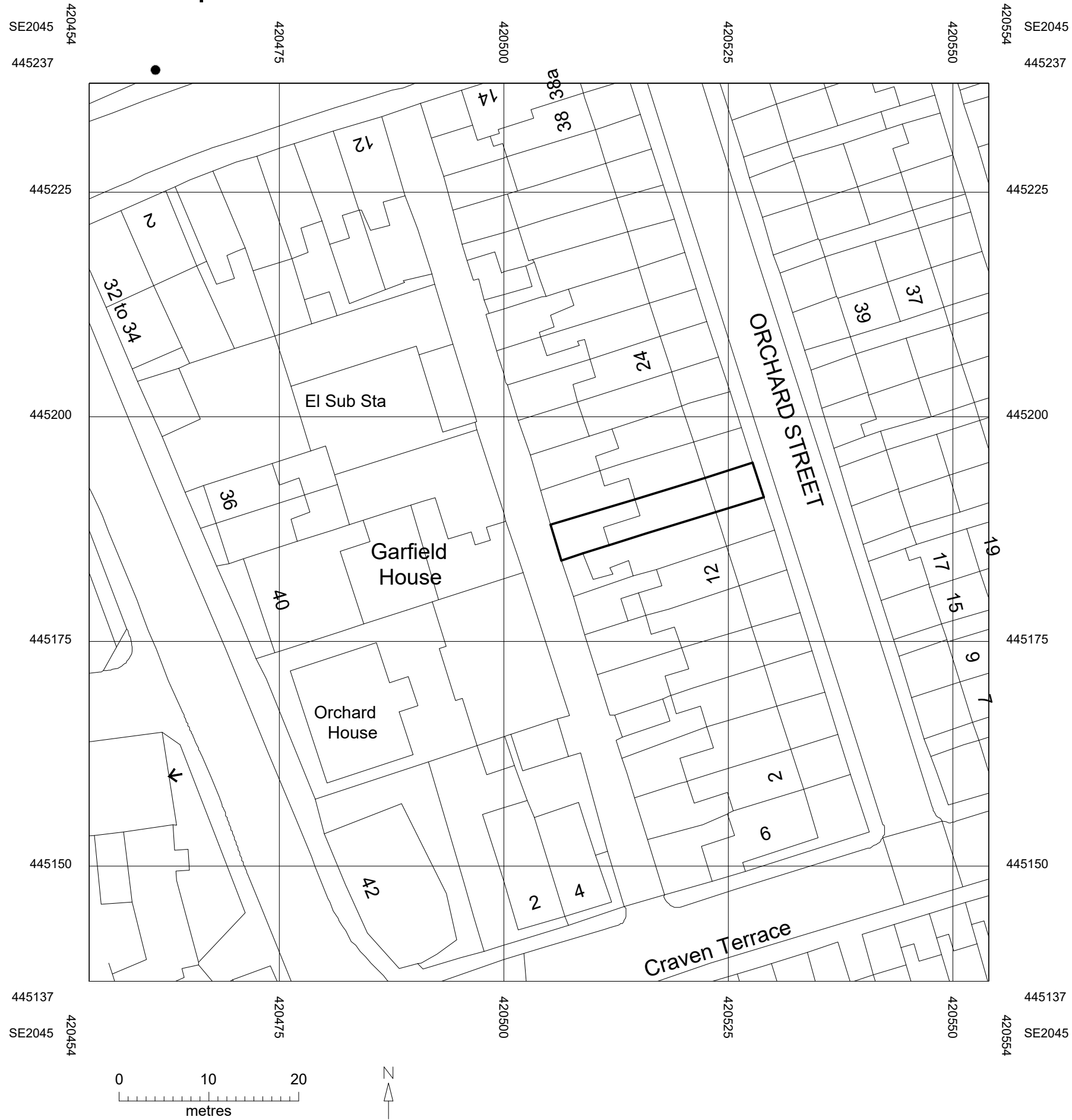
EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

CLIENT DETAILS:
**MS F GUSTAFSON,
16 ORCHARD STREET,
OTLEY,
LS21 1JU.**

DRAWING TITLE:
EXISTING LOCATION PLAN.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:1250	01/24	M4241/01/001	.





NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV

MAS DESIGN CONSULTANTS LTD 01943878398

www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

EXISTING

EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

CLIENT DETAILS:
**MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY,
LS21 1JU.**

DRAWING TITLE:
EXISTING BLOCK PLAN.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:500	01/24	M4241/01/002	.

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON
SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV



www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

EXISTING

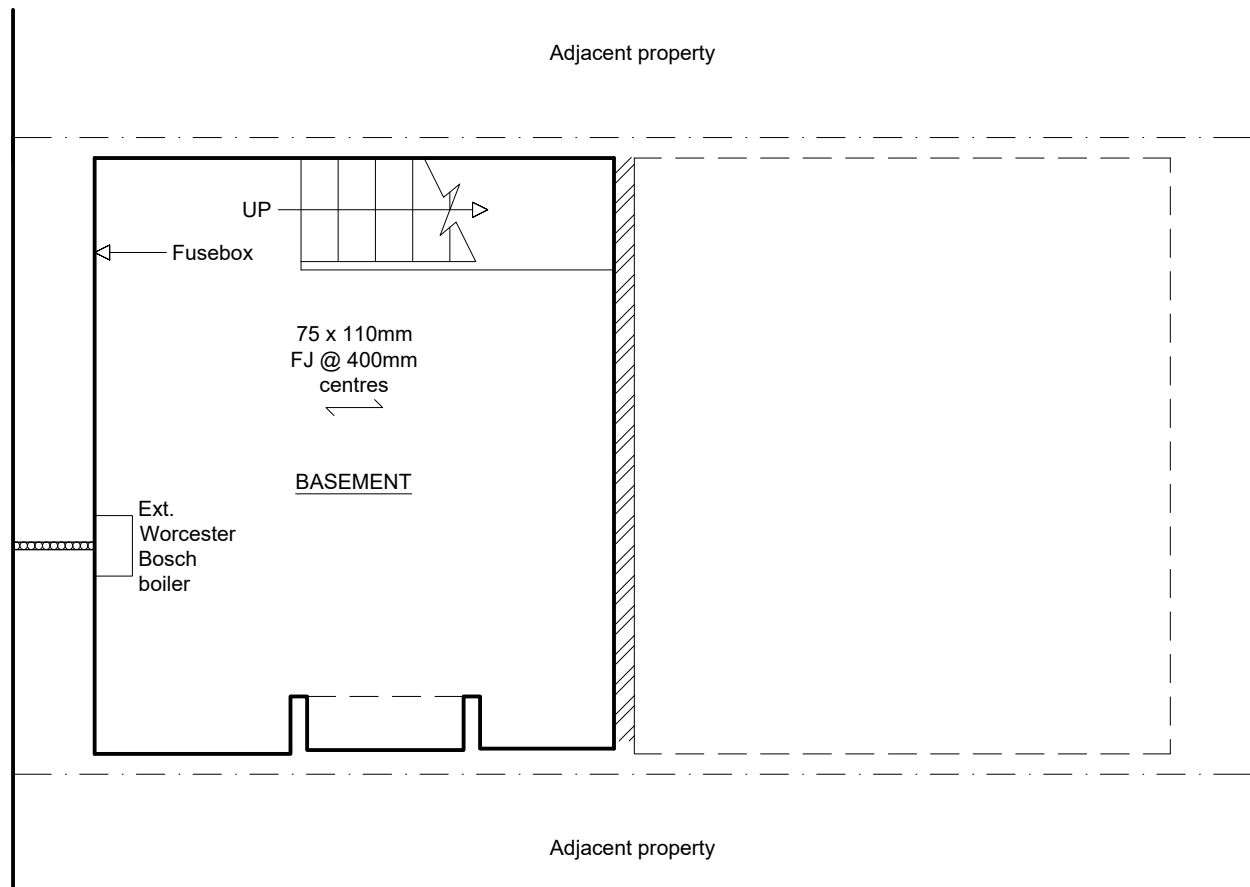
EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

CLIENT DETAILS:
**MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY,
LS21 1JU.**

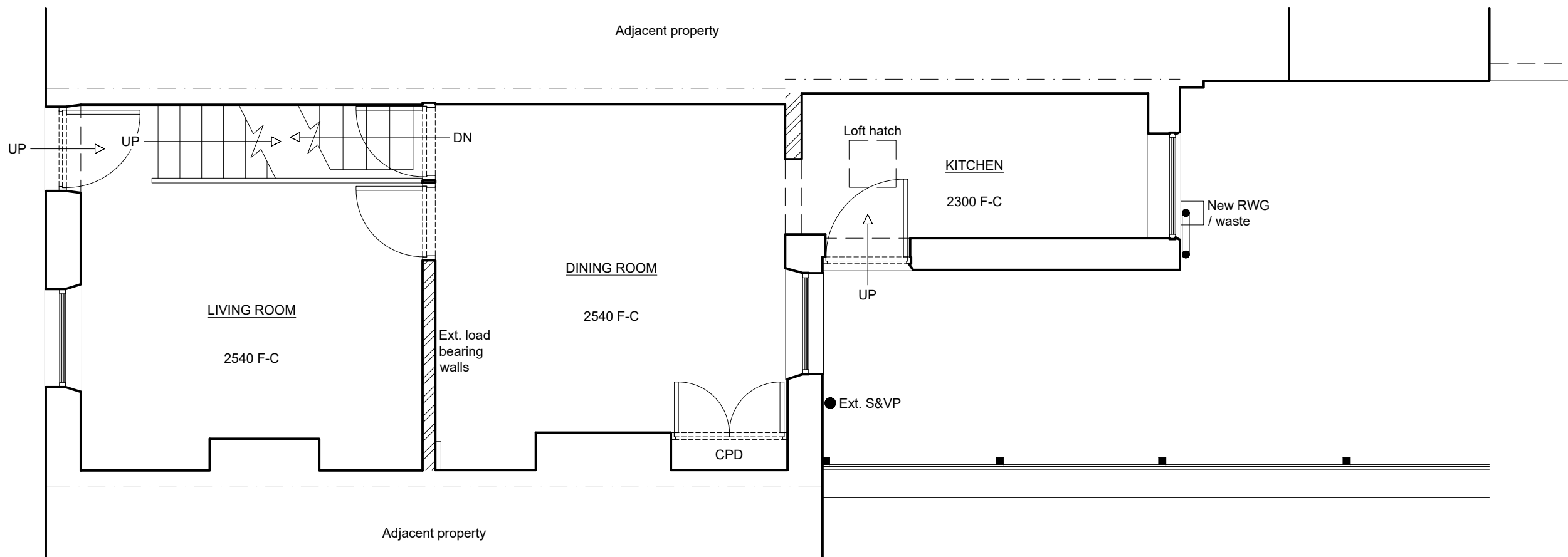
DRAWING TITLE:
EXISTING SITE PLAN.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:100	01/24	M4241/01/101	.





EXISTING BASEMENT FLOOR PLAN



EXISTING GROUND FLOOR PLAN

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON
SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV

01943878398

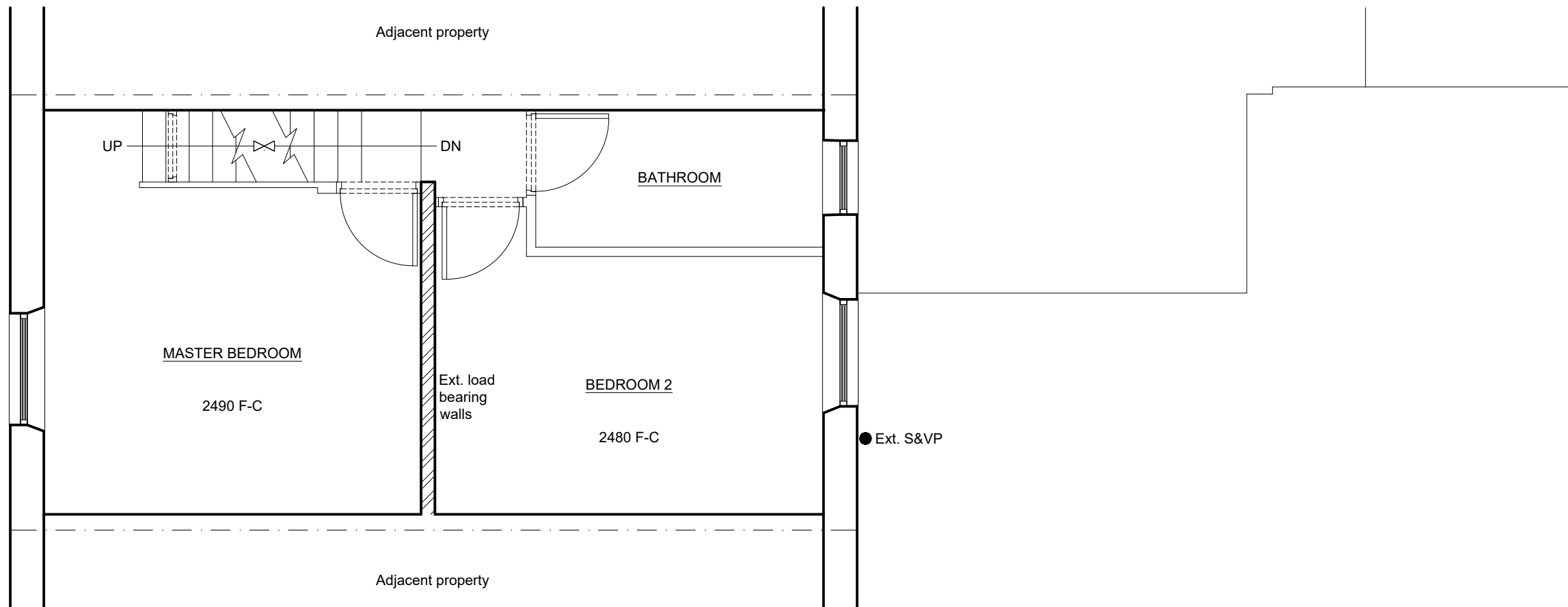
www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

EXISTING
EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

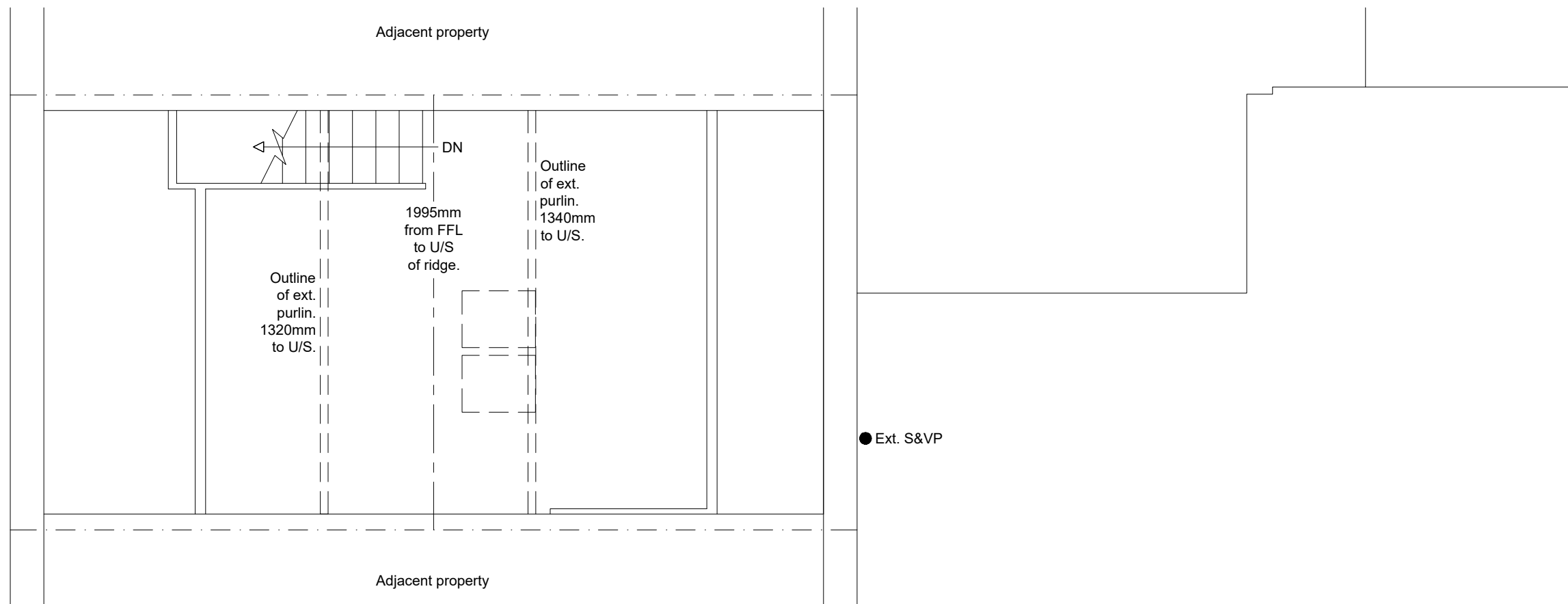
CLIENT DETAILS:
**MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY.
LS21 1JU.**

DRAWING TITLE:
EXISTING FLOOR PLANS.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:50	01/24	M4241/01/102	.



EXISTING FIRST FLOOR PLAN



EXISTING SECOND FLOOR PLAN

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com
For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.


Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV

 01943878398

www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

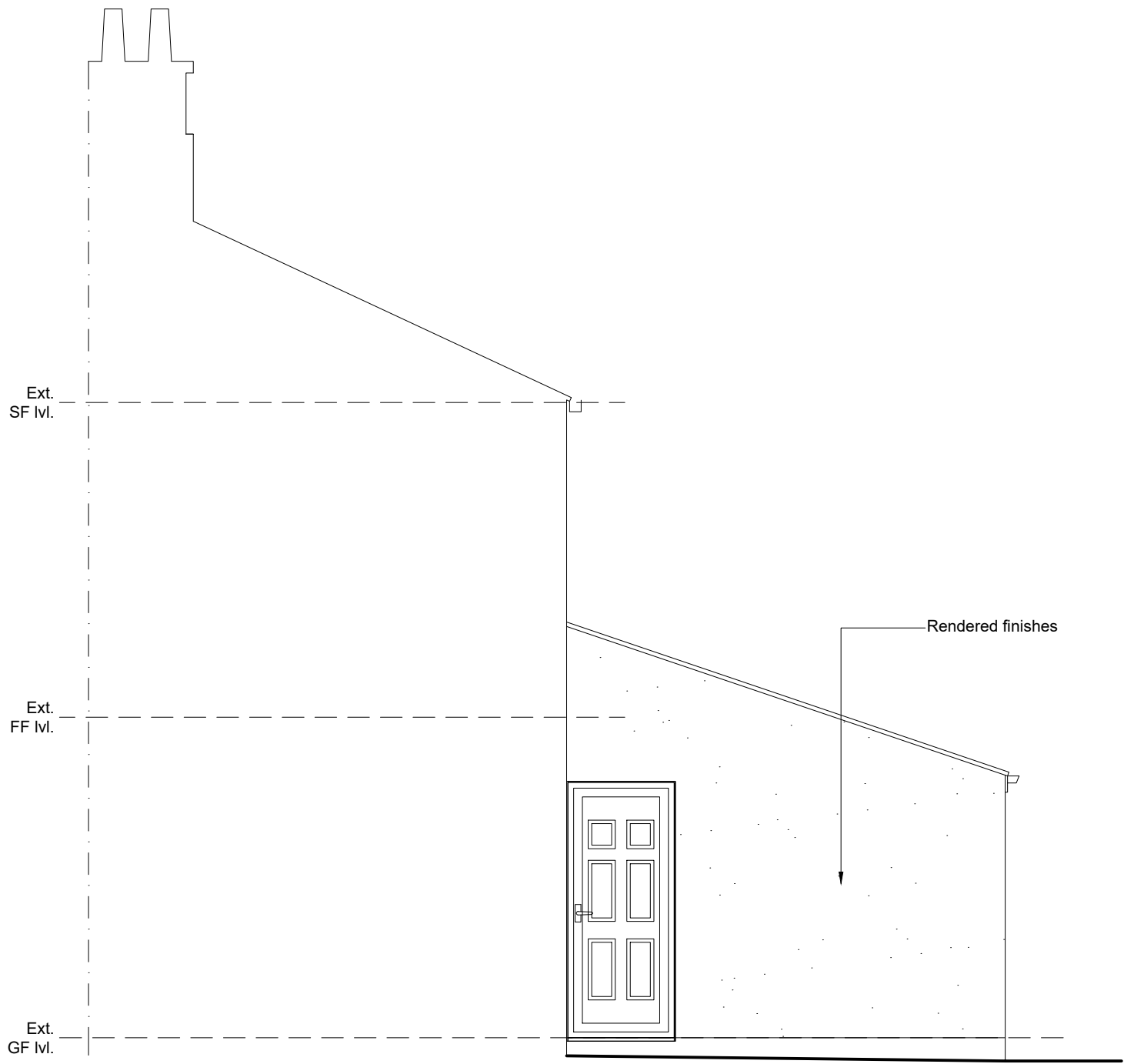
EXISTING

EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

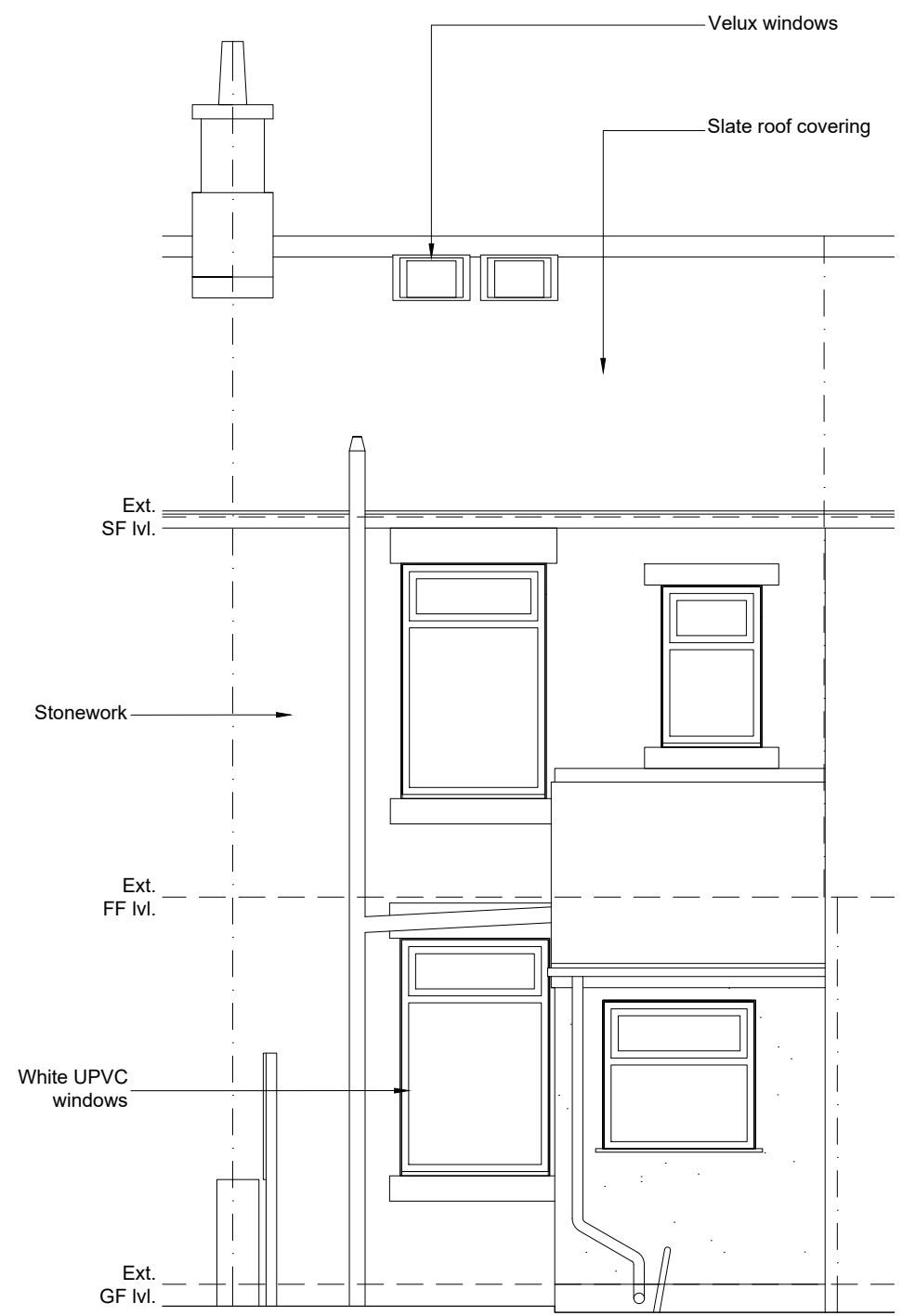
CLIENT DETAILS:
**MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY,
LS21 1JU.**

DRAWING TITLE:
EXISTING FLOOR PLANS.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:50	01/24	M4241/01/103	.



EXISTING SIDE ELEVATION



EXISTING FRONT ELEVATION

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON
SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV

MAS DESIGN
CONSULTANTS LTD 01943878398

www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

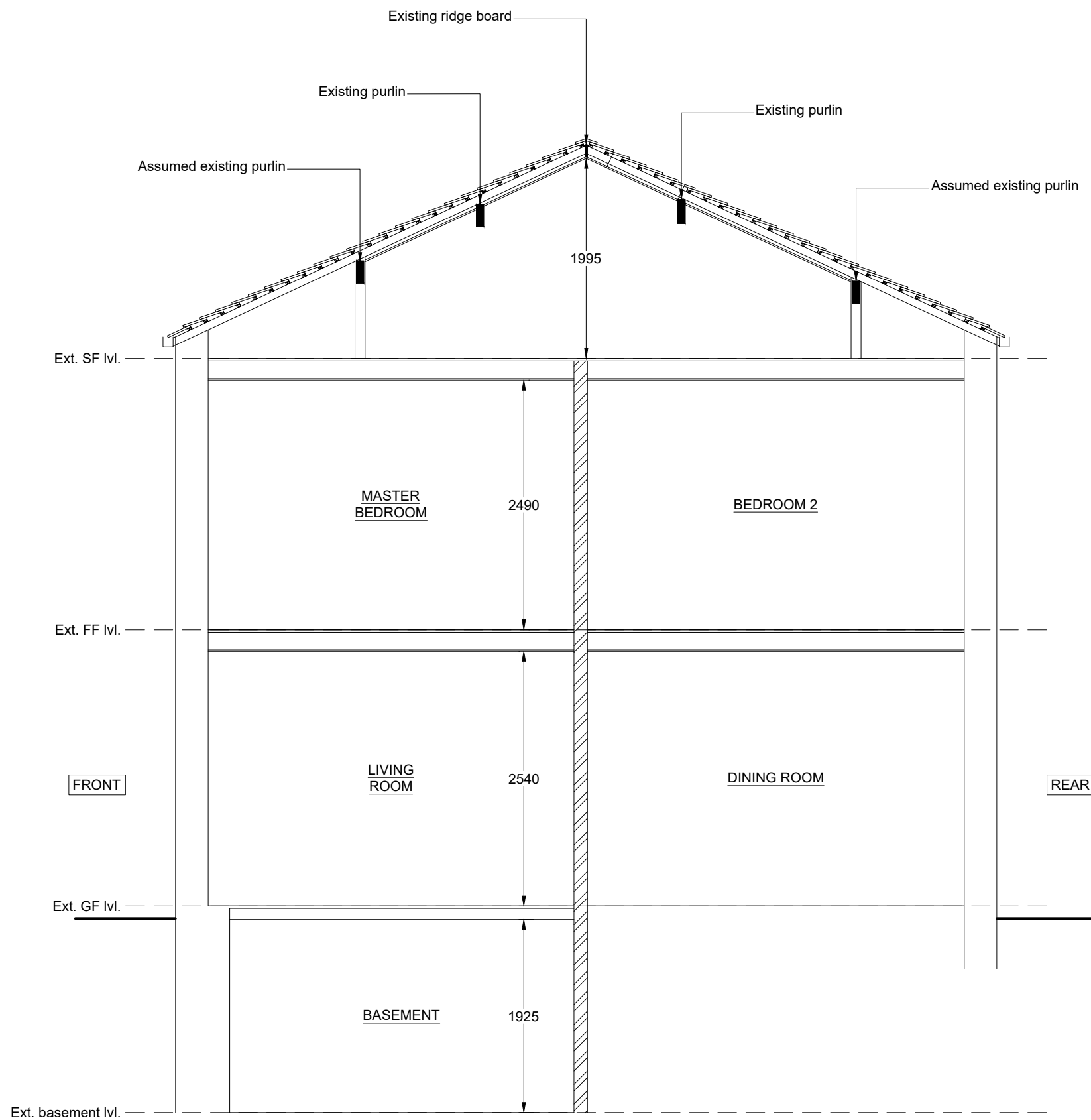
EXISTING

EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

CLIENT DETAILS:
**MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY.
LS21 1JU.**

DRAWING TITLE:
EXISTING ELEVATIONS.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:50	01/24	M4241/01/201	.



EXISTING SECTION

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON
SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act

Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract

It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations

The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES

Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV



www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

EXISTING

EXTENT OF PROJECT:

PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

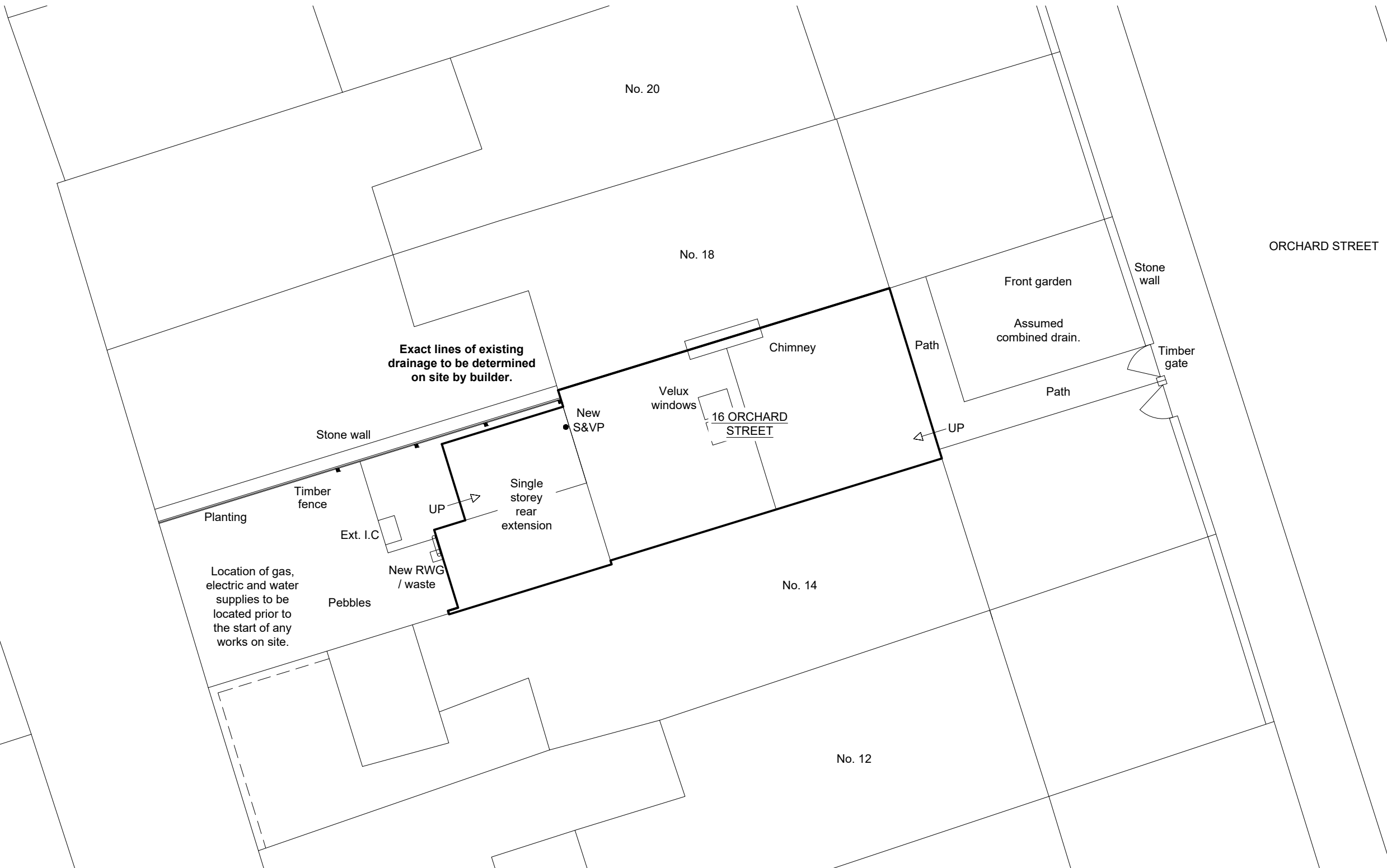
CLIENT DETAILS:

**MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY.
LS21 1JU.**

DRAWING TITLE:

EXISTING SECTION.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:50	01/24	M4241/01/301	.



NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com
For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV

01943878398

www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

PROPOSED

EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

CLIENT DETAILS:
MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY,
LS21 1JU.

DRAWING TITLE:
PROPOSED SITE PLAN.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:100	01/24	M4241/04/101	.

DRAINAGE:
Exact position of drains to be established on site and agreed with the Local Building Inspector.

All new drainage to be 100mm diameter and to have a minimum fall of 1:40 unless otherwise indicated and in accordance with BS EN 752:2008

All new drainage connections to have a minimum fall of 1:40 and discharge to local authority sewer as detailed on proposed drainage layout.

Foul and surface water systems as detailed on 1821.04.101

Existing combined drain to outfall to local LA sewer.

All above ground foul and surface water drainage to be flexible jointed uPVC pipes complying with B.S.4660 to sizes and falls as indicated on drainage layout. Invert levels to be set to provide adequate falls for self-cleansing in accordance with Building Regulation Part H and BS EN 12056-2:2000

All 100mm diameter SVP to be to extend a minimum 900mm above any ventilation opening within 3000mm and fitted with bird proof cage.

All 100m diameter stub stacks fitted with Durgo valves to terminate at least 150mm above WHB level.

All SVPS to have roddable access point at base.

All below ground drainage to be Hepworth Supersleve 100mm diameter and 150mm diameter vitrified clay pipe work and matching fittings. Surface water; 100mm diameter fall 1 in 100. Foul water 150mm diameter 1 in 40 fall and surrounded in 150mm pea gravel.

All pipe work with less than 900mm cover to be encased in 150mm concrete. This applied to all drainage passing under paths, drives, roads, buildings or within 1000mm of external load bearing walls. Movement joints to be positioned in concrete and encasement at natural pipe joints. All pipes passing through walls and under floors to

be encased in concrete 150mm thick all round and protected from loadings with pre cast concrete lintels built into walls. Pipes passing under non-load bearing strata i.e. gardens, with less than 600mm cover should have at least 100mm granular backfill encased with concrete and paving slabs positioned over prior to backfill.

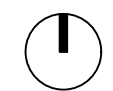
All pipes to be bedded 100mm granular backfill (maximum aggregate 10mm) with 100mm selected backfill above pipe (maximum aggregate 40mm) and 2 further layers of selected backfill as above, hand rammed in layers to give a minimum 300mm above crown of pipe before normal backfill. Bedding material should conform to BS EN 1610. Foul water drains to be laid at a lower level where adjoining or crossing the line of Surface Water drains. New drainage runs to connect directly into existing network on site and mains drains to combine edge of boundary. Contractors to allow for all charges etc.; for new connections to existing sewers to Yorkshire Water requirements. All tested and approved by Building control before covering up. All work to comply with requirements of Part H of the Building Regulations.

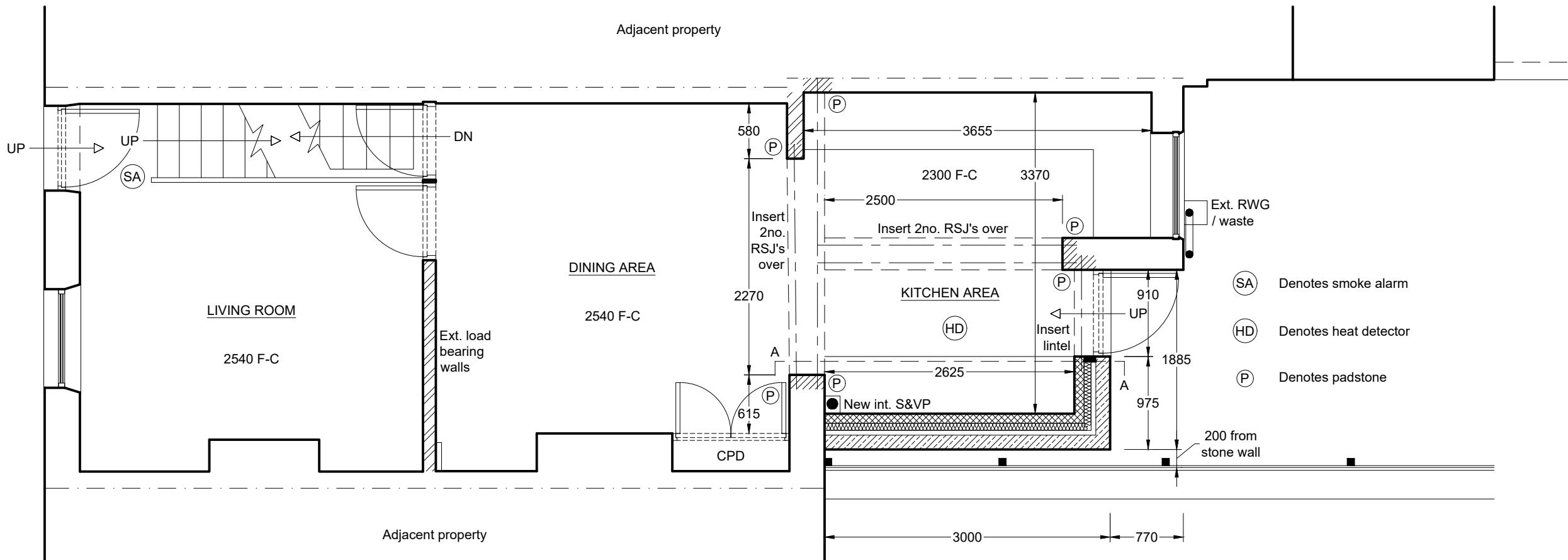
Inspection Chambers: Inspection chambers with inverts level less than 900mm to be to be Hepworth1 Polypropylene sectional with medium duty single seal covers & frames. Inspection chambers required at changes in drain connection / gradient. Inspection chambers to BS 8301 & sizes to be in accordance with Local Authority schedule of manhole sizes. Manholes below 900mm to be constructed of 215mm thick Class B Engineering brickwork off 150mm thick concrete base.

Gully Traps to SVP's and Waste Connection: To be as above, i.e. back inlet type roddable with removable traps and on concrete pads / bases.

Yard Gullies: Yard gullies to be trapped, with removable traps to permit rodding access.

Rodding Eyes: Provide rodding eyes at head of drain runs where necessary. Terminate drains with a slow bend up to a suitable cast iron cover.





PROPOSED GROUND FLOOR PLAN

FIRE PROTECTION

All elements of structure to have a minimum period of fire resistance of 30 minutes.

Linked smoke alarm system to be designed and installed by specialist subcontractor. To be ceiling mounted and fitted to ground and first floor landing areas. Smoke alarms to be fitted at least 300mm from walls and lighting fittings and to comply with BS 5446 and BS 5839. Supply and install heat detector to kitchen and utility room.

Test certificates will be required upon completion for the emergency lighting and fire alarm systems.

Provide 30min fire doors (FD30) to all habitable rooms and stores as shown on plan to protected fire escape route.

PART J, CARBON MONOXIDE ALARMS

Where a new or replacement fixed solid fuel appliance is installed in a dwelling, a carbon monoxide alarm should be provided in the room where the appliance is located.

Carbon monoxide alarms should comply with BS EN 50291:2001 and be powered by a battery designed to operate for the working life of the alarm. The alarm should incorporate a warning device to alert users when the working life of the alarm is due to pass.

Mains-powered BS EN 50291 Type A carbon monoxide alarms with fixed wiring (not plug-in types) may be used as alternative applications, provided they are fitted with a sensor failure warning device.

The carbon monoxide alarm should be located in the same room as the appliance: a. on the ceiling at least 300mm from any wall or, if it is located on a wall, as high up as possible (above any doors and windows) but not within 150mm of the ceiling; and b. between 1m and 3m horizontally from the appliance

STRUCTURAL STEELWORK

Fix any and all steelwork fully in accordance with the Structural Engineers' design drawings, specification and calculations. Allow for all concrete padstones to Engineers' specification, shims, temporary supports etc. associated with this work.

Structural Engineers' design and specification to be checked against MAS drawings to ascertain any differences and should be reported to MAS Design for confirmation.

Unless Noted Otherwise, all steel to be minimum grade S275 JR or JOH.

All steelwork to maintain 150mm bearing capacity, clad with 15mm fire line plasterboard & skim to give 30 minutes fire resistance. All steelwork to be painted with 2 coats of Zinc Phosphate primer to a minimum thickness of 80 microns. Where steelwork is in contact with external walls, or within cavities, and additional 2 coats of bitumen paint applied to a minimum thickness of 200 microns and sealed with an alkali resistant mastic where the steel emerges.

U.N.O. all steel beams to bear onto a minimum 330lg X 100wd X 140dp Concrete padstones (denoted: PS) set on M4 mortar. Any levelling required to steelwork to be done with 100 x 100mm steel packers.

Beams installed below existing masonry to be preloaded using driven steel folding wedges to reduce the risk of cracking on release of props.

Following preloading, slate pack and fill with a stiff mortar. Where new structural elements are supported on existing masonry it needs checking to ensure it is of sound structural condition, free from any defects, and with a minimum bearing width of 100mm.

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act

Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract

It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations

The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES

Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV



www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

PROPOSED

EXTENT OF PROJECT:

PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

CLIENT DETAILS:

**MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY.
LS21 1JU.**

DRAWING TITLE:

PROPOSED GROUND FLOOR PLAN.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:50	01/24	M4241/04/102	.

RAINWATER GOODS

Install uPVC rain water goods / gutters including all stop ends, outlets, union brackets etc. Gutters to have 65mm round downpipes, including offsets, barrel clips, sockets and shoes.

Ensure that gutters and fall pipes are securely fixed to sound substrate in accordance with manufacturer's recommendations and that gutters are laid to adequate falls and properly connected to fall pipes. Clean, wash down and ensure all gutters and outlets are watertight and unobstructed on completion.

EXTERNAL STEPS

Any external steps to have equal risers of between 155mm and 220mm used with goings of between 245 and 260mm. Maximum pitch 42°.

Handrail fixed at 900mm measured vertically above pitch line.

Maintain clear landings to top and bottom of stairs.

DOORS AND WINDOWS

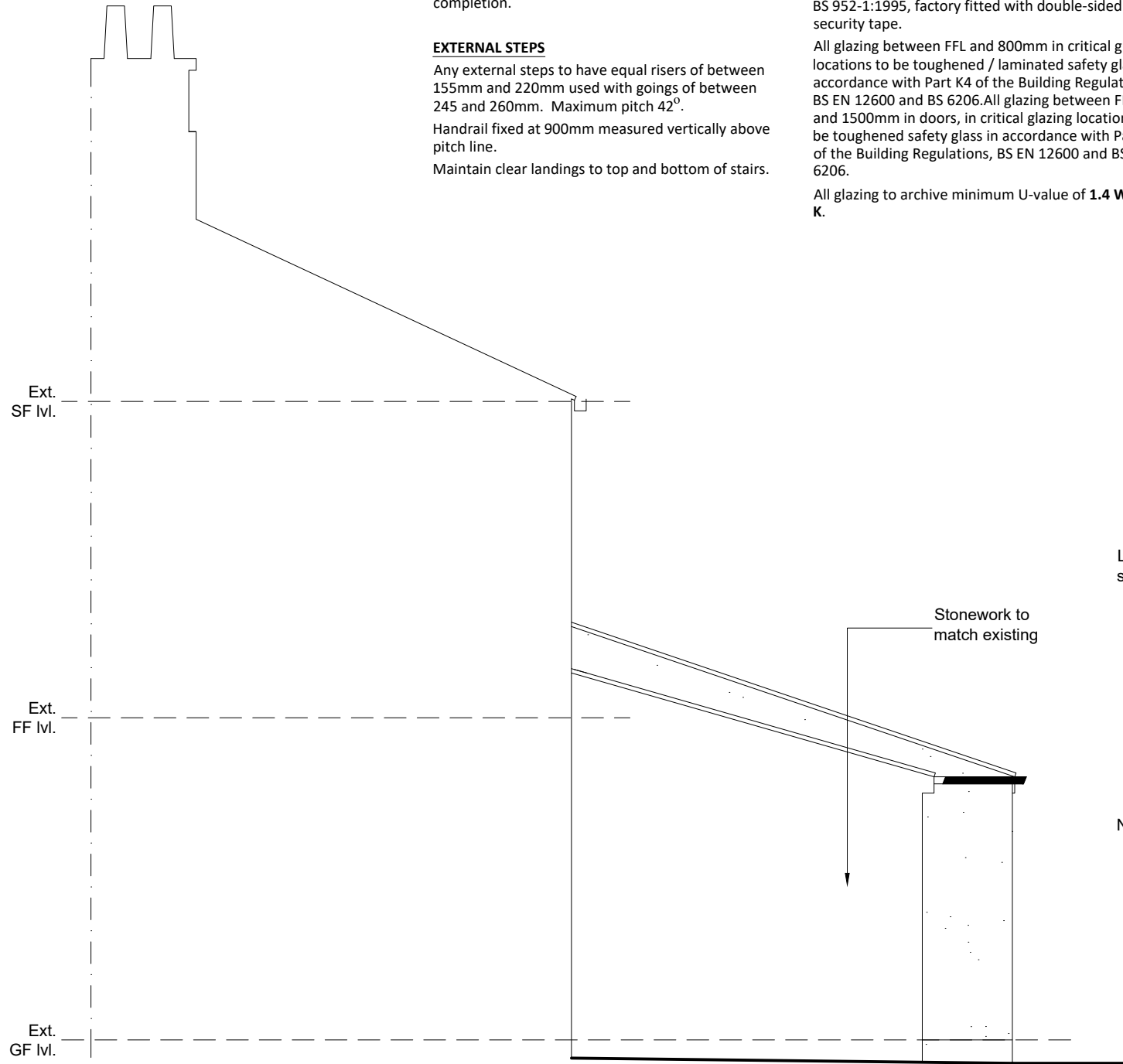
New composite external door.
All new internal timber doors to ground floor & first floor to have minimum 750mm clear openings.
All replacement windows must have trickle vents regardless of if the previous windows did not.

EXTENSION GLAZING

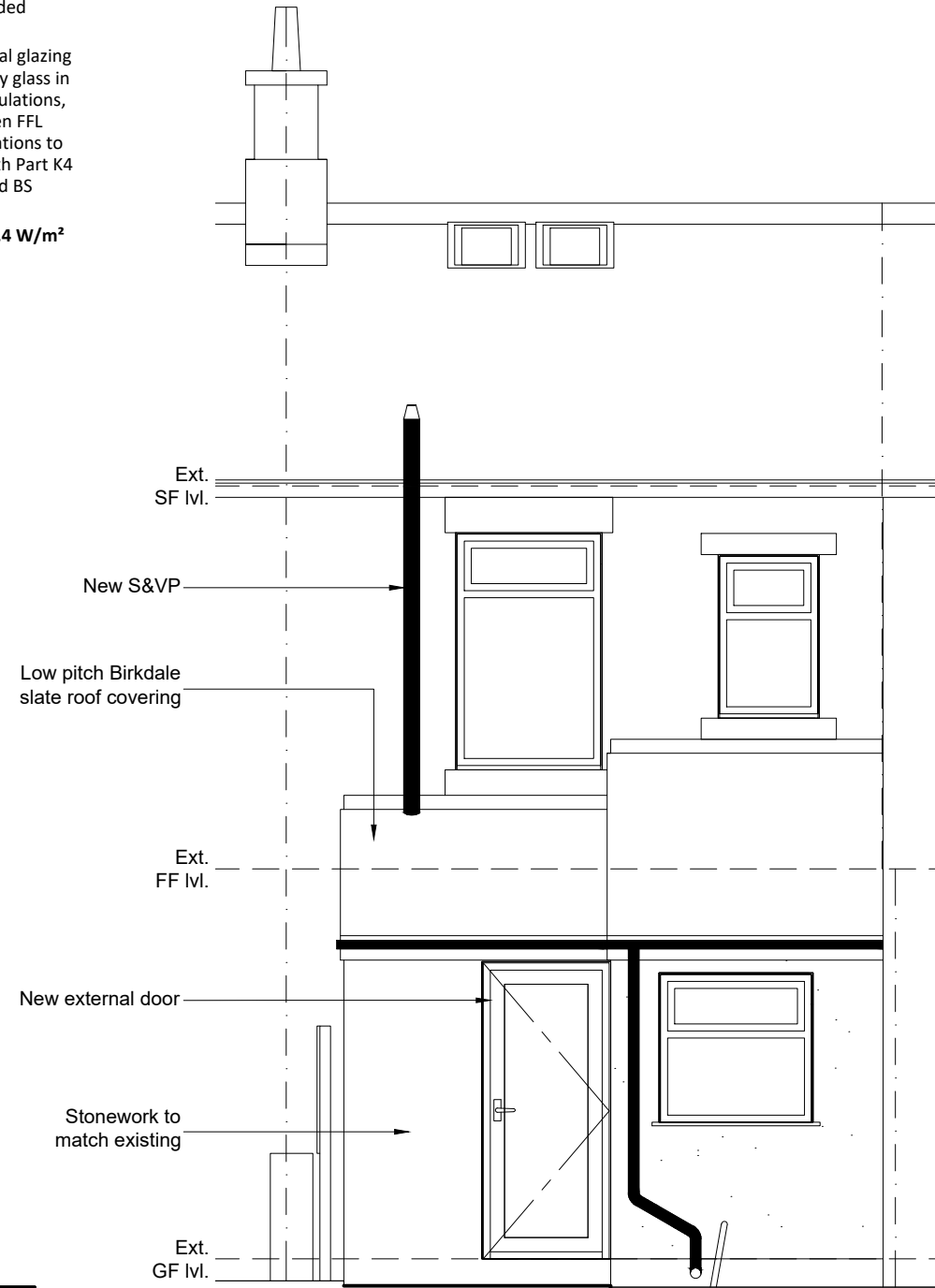
Windows to be Pilkington 'K' glass double glazed in accordance with BS 6262-4:2005, with 16mm argon filled air gap and soft low E coating, manufactured to BS 952-1:1995, factory fitted with double-sided security tape.

All glazing between FFL and 800mm in critical glazing locations to be toughened / laminated safety glass in accordance with Part K4 of the Building Regulations, BS EN 12600 and BS 6206. All glazing between FFL and 1500mm in doors, in critical glazing locations to be toughened safety glass in accordance with Part K4 of the Building Regulations, BS EN 12600 and BS 6206.

All glazing to archive minimum U-value of 1.4 W/m² K.



PROPOSED SIDE ELEVATION



PROPOSED FRONT ELEVATION

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV



www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

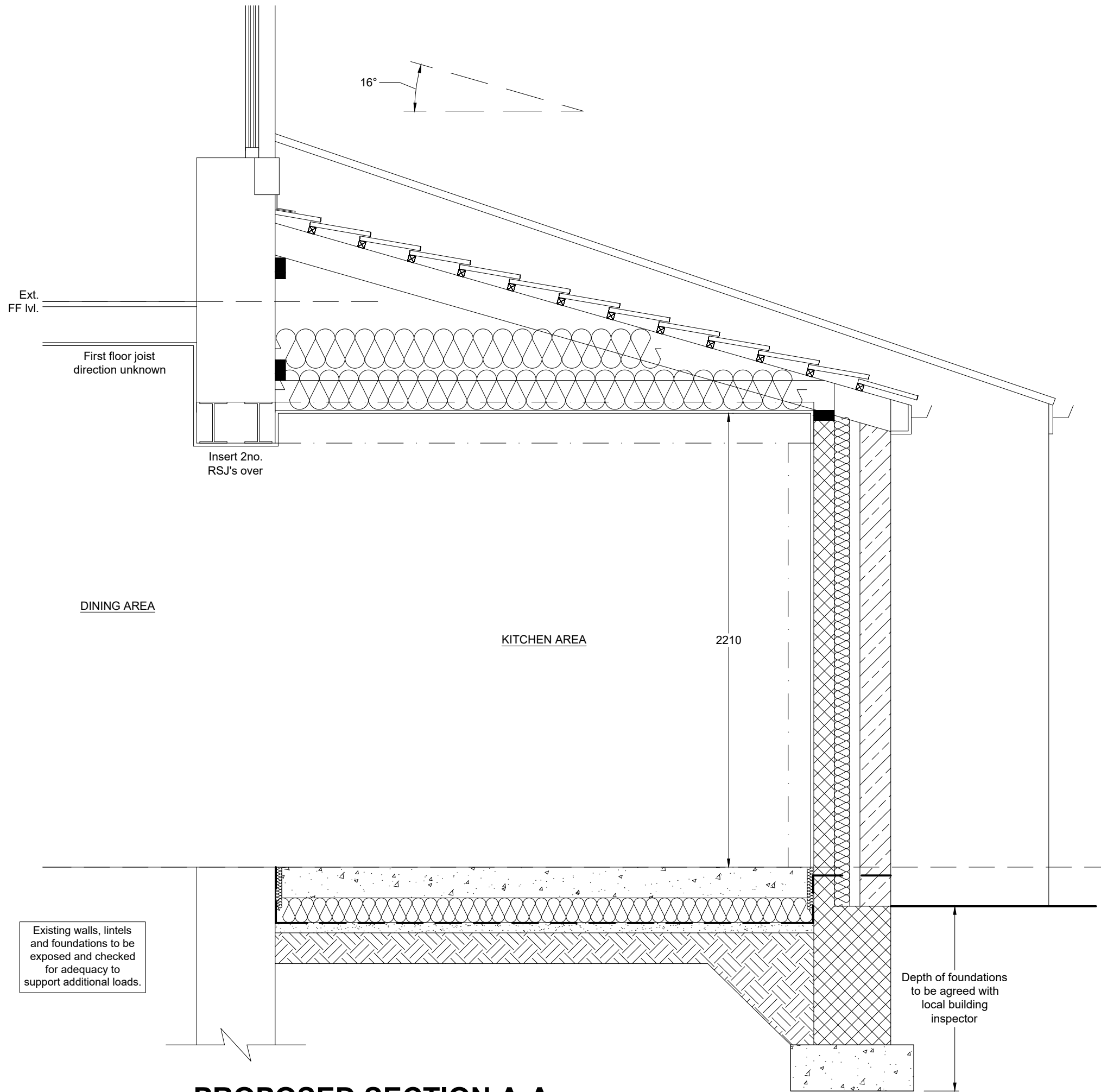
PROPOSED

EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

CLIENT DETAILS:
**MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY,
LS21 1JU.**

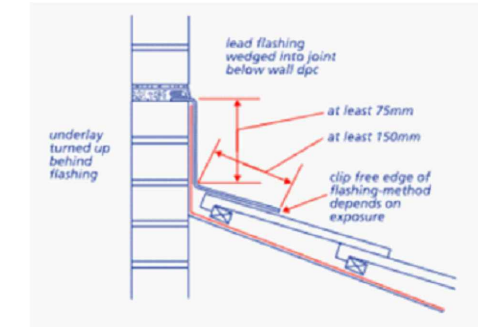
DRAWING TITLE:
PROPOSED ELEVATIONS.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:50	01/24	M4241/04/201	.

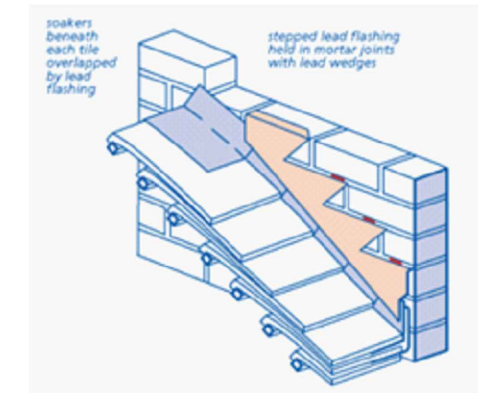


PROPOSED SECTION A-A

EXTENSION SINGLE STOREY ROOF
 50 x 150mm treated softwood C16 rafters at max. 400mm ctrs. (max. span 2.83m) (slope of roof 15° or more but less than 22.5°) supported at eaves on wall plates fixed with ms galvanised straps 30 x 5 x 1200mm at 2m centres to at least 3 rafters turned down the inner leaf of the cavity wall. Rafters to be supported at abutment to existing dwelling via wall plate; rawl bolted to blockwork at 400mm centres. 47 x 145mm C16 ceiling joists at 400mm centres (max. span 2.92m)
 All wall plates to be treated C16 softwood 100 x 50mm unless specified differently by the Engineer. All abutments should be weatherproofed with code 4 lead flashings, and code 3 soakers. Flashings should be no more than 1500mm in length and dressed 25mm into a mortar joint.



Where a pitched roof abuts the wall at an angle, a stepped cavity tray linked to a stepped flashing should be used. At roof abutments new joists to be supported on masonry walls with 47 x 150mm timber wall plate. Plate to be fixed to masonry with M10 resin anchors or thunderbolts at 450mm centres.



Install 2 x 150mm Superglass Contract Mat 44 mineral insulation laid in 2 no. perpendicular layers of 150mm.
 Roof void to be ventilated and provide min. 25mm eaves ventilation.
 Install plasterboard to underside of ceiling joists and skim.
All roofs to achieve min. U-value of 0.15 W / m² K.

TILING
 Fix low pitch birsdale slate to match existing with 10 gauge 65mm x 3.75mm flat headed aluminium alloy nails to 38 x 25 treated SW battens on Kingspan Nilvent Breathable membrane underlay laid to allow water to drain to B.S. 13707:2013.
 Tiles to be installed as per manufactures guidance including overlap and fixing method (min. 15° pitch)
 Battens to suit tile dimensions in accordance with BS 5534 2014.
 Tiles to be fixed or clipped at eaves and verge to suit prevailing wind conditions.
 Provide 25mm eaves vents to ensure roof ventilation.

NOTE:
 CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
 PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act
 Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com
 For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
 It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT.
 For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations
 The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations.
 For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES
 Materials to match existing.
 These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.
 Where further clarifications are required contractor shall refer to the client for details and instruction.
 All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.
 All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.
 All materials must comply with current British Standards in situations used.

REV

MAS DESIGN CONSULTANTS LTD 01943878398

www.masdesignconsultants.com
 1 Oxford Street, Guiseley, Leeds, LS20 9AX

PROPOSED

EXTENT OF PROJECT:
PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

CLIENT DETAILS:
MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY,
LS21 1JU.

DRAWING TITLE:
PROPOSED SECTION A-A.

PAPER	SCALE	DATE	DRAWING No	REV
A3	1:20	01/24	M4241/04/301	.

SANITARY FITTINGS

Sanitary fittings to be fitted in accordance with BS EN 12056-2:2000, with the following minimum waste pipe sizes:

Sinks 40mm diameter waste, 75mm deep seal trap. Smaller waste pipes sizes to be increased if standard distances to SVP are exceeded.

As outlined in Part G, Schedule 1 ensure a supply of wholesome water to the property. Wholesome water means water complying with the requirements of regulations made under Section 67 (Standards of wholesomeness) of the Water Industry Act 1991. The regulations made under this Section at the time of publication of this Approved Document are for England the Private Water Supplies Regulations 2009 (SI 2009/3101), for Wales the Private Water Supplies (Wales) Regulations (SI 2010/66) and, for England, the Water Supply (Water Quality) Regulations 2000 (SI 2000/3184 as amended), and, for Wales, the Water Supply (Water Quality) Regulations 2001 (SI 2001/3911 as amended).

FOUNDATIONS

On completion of site strip ensure that site of proposed extension is level, and completely free from all vegetable soil and organic matter. Excavate to reduced levels.

Trial holes to be conducted by main contractor prior to commencement of works on site to ascertain ground conditions and existing garage foundations. Size and depth of all concrete foundations to be agreed on site with the Building Inspector and Structural engineer, and to comply with Building Regulation A1-2, F2 and BS EN 1997-1:2004.

Foundations to external cavity walls to be concrete strip footings at 600mm x 225mm and to single leaf wall 450mm x 225mm at min 900mm below ground level on suitable bearing strata and constructed at the level of the existing house. New foundations to be tied to existing foundations with 3 No. H16 dowel bars, 400mm long, resin fixed 200mm into the existing footing.

Engineering advice to be sort if existing foundations above min depth or affected by trees and shrubs. All concrete to be min. grade C25 or C30. All alternative non strip foundations and retaining walls to be to an approved design by Structural engineer. Foundation to be taken below any drainage channels. Min 150 x 100mm concrete lintels to span opening. For details refer to **Structural Design drawings and specification.**

EXTERNAL EXTENSION WALLS - STONE 125MM CAVITY, RIGID INSULATION

New external walls to be constructed below ground level in Tarmac Durox Foundation Blocks foundation blocks complying with BS 6073-2:2008 and BS EN 1996-2:2006 to full width of wall over. Compressive strength of 7.3 N mm².

External cavity walls above ground level to be 1 no. internal leaf of Tarmac Toplight 7 100mm Blockwork 7.3 N mm² with 125mm cavity, partially filled with Kingspan Kooltherm K108 cavity board, 75mm thick and 50mm clear cavity, taped on the joints, secured with retaining clips, and cut to return at all window openings. All precast units to in accordance with BS EN 15435:2008 and BS 6073-2:2008. To achieve 0.18 W/m²K.

With external leaf of coursed 150mm stone to match existing.

Internally finished with 12.5mm Gyproc plasterboard with dri wall adhesive to British Gypsum's specification. Fit with tapered joints and a skim finish.

To be finished down to finished floor with a 2 coat 15mm Carlite plasterwork in accordance with BS EN 15435:2008 and BS 6073-2:2008.

New walls to be joined to existing with a stainless-steel wall starter system.

Stainless steel wall vertical twist type (with retaining clips) to be provided and fixed at 450mm centres vertically and 750mm centres horizontally staggered, reduced to 225mm to reveals; all to B.S. 1243. Additional ties to be provided at jamb openings at 300mm centres. To be installed in accordance with manufacturer's recommendations. Provide suitable Thermabate insulated cavity closers to all external window and door openings. Installed in accordance with manufacturer's

recommendations. Close all cavities at roof level and around window openings.

External cavity wall openings to have proprietary insulated stainless-steel IG, Catnic or similar approved lintels to suit span of openings between 1200mm and 2000mm with 150mm minimum end bearing. To be installed as per Engineers design and in accordance with manufacturers specifications. Provide horizontal polyethylene DPC's of appropriate width sited minimum 150mm above FGL. To all walls and polyethylene cavity trays to window cills, door thresholds and above external lintels to window and door openings, to extend 50mm minimum beyond ends of lintel or the reveal cavity closer. Cavities to extend a minimum of 150mm below the DPC. Cavity trays to have weep holes at 400mm centres.

All work to comply with Part A Building Regulations Document.

EXTENSION GROUND FLOOR: SOLID FLOOR

Ground floor slab to comprise of 150mm thick, power floated C35 concrete slab with 1 layer of A252 mesh to the upper face with 50mm cover. Slab to be laid on 2000-gauge Visqueen membrane lapped to DPC. (Min. radon protection required in accordance with Part C Building Regulations) over 100mm thick Kingspan Kooltherm K103 Floorboard, 50mm sand blinding and min 100mm clean well compacted MOT type 1 sub-base.

Minimum 35mm of Insulation board to be placed around perimeter of slab edge to prevent thermal bridging. If required provide duct channels to concrete screed.

Allow depth of client specified floor finish.

All floor to achieve min. U-value of 0.18 W / m² K.

HEATING AND HOT WATER SYSTEMS

All work to be carried out by service provider and in conjunction with appointed building contractor. Existing heating system to be assessed for suitability and condition for extension. Existing system to be discussed with owner before commencement of works if required. Design, supply & install extension to existing system; including all radiators and fittings.

Provide thermostatic radiators valves to all new radiators. Maintain independent on / off controls to all new radiators. All work to be carried out by a Gas Safe approved installer.

All work to comply with Part J of the Building Regulations.

All details to be submitted by an approved Gas Safe contractor; Including all certificates for Building Inspectors approval.

TMV to be fitted to baths to limit the temperature of the water to 48°C max.

All gas work to be executed by a Gas Safe registered contractor and certificates to be submitted to Building inspector for approval.

All works to comply with relevant sections of the Building Regulations Part G, J and L1B.

ROOF GENERAL

Roof voids to have min. 25mm eaves ventilation with ridge tile vents.

Ridge system should be a dry fix system or mechanically fixed and wet system. System to be installed in accordance with BS8612.

CEILINGS

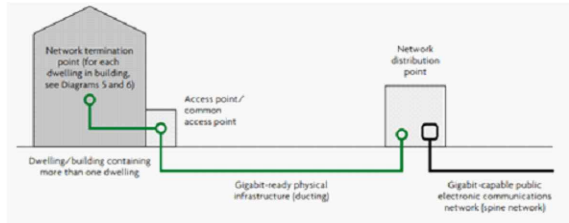
New flat ceilings to be 12.5mm Vapour check plasterboard fixed at 450mm Centres with drywall screws to ceiling joists. To receive 3mm skim finish.

PART R, INFRASTRUCTURE FOR ELECTRONIC COMMUNICATIONS

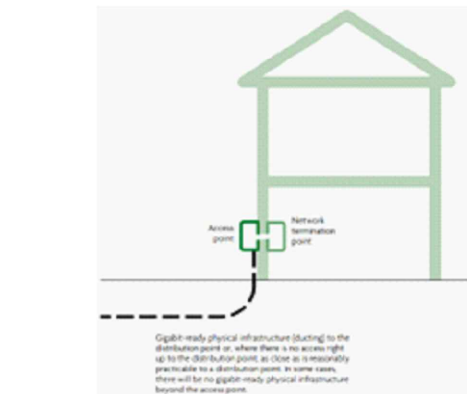
The requirement RA1 for gigabit-ready physical infrastructure will be met by installing physical infrastructure or installations, including elements under joint ownership, to host wired or fixed wireless access networks that can do all of the following. a. Facilitate a functioning connection to a gigabit capable public electronic communications network to each new dwelling.

A position should be identified for at least one network termination point should be identified for each dwelling. Suitable ducting should be provided to connect all such network termination points to an appropriate access points.

RA1 requires gigabit-ready physical infrastructure for the erection of a new dwelling or of a building that contains one or more dwellings from the network termination point to the network distribution point.



Where an access point is installed at a dwelling to facilitate connection to a gigabit-capable public electronic communications network, the ingress of moisture into the building and air leakage from the building should be prevented. Below is an example of gigabit-ready physical infrastructure for a single dwelling. The access point is on an outside wall and is connected by a 'through wall' duct to the network termination point.



The connection to a gigabit-capable public electronic communications network can be provided in the following ways. a. Installing a suitable specification cable from the network termination point at each new dwelling erected on a development site to the network distribution point. b. Using wireless technologies, such as fixed wireless access, or satellite technologies, where they can support such a connection.

A fixed electrical supply for the network termination point and associated distribution equipment should be provided at the network termination point.

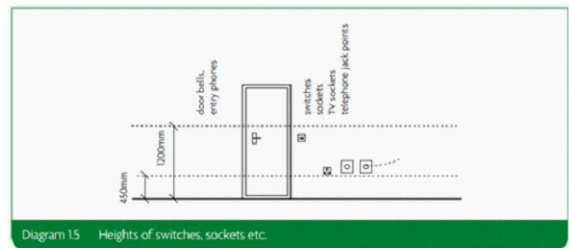
Guidance for completing this connectivity plan is available in Approved Document R, Volume 1: Physical infrastructure and network connection for new dwellings (at www.gov.uk/government/collections/approved-documents). A connectivity plan will be required by Building control for developments of multiple dwellings.

ELECTRICAL

All work to be carried out by service provider and in conjunction with appointed building contractor.

All electrical work to be executed by an NIC EIC approved contractor in accordance with Part P and produce an installations certificate to BS 7671:2008+A2:2013.

Design, supply and install full electrical layout to specification carried out by a client appointed electrical engineer. Positions of switches, sockets and light fittings to Part M Diagram 1.5 of Building regulations. Consumer units to be mounted so that switches are 1350 - 1450mm above floor level.



100% of all lights are required to be low energy light fittings.

All electrical work required to meet the requirements of Part P (Electrical safety) of the building Regulations. This work must be designed, installed, inspected and tested by a person competent to do so. The local authority should be satisfied that Part P of the

Building Regulations has been met and the installer may be required to submit an installation certificate BS 7671:2008+A2:2013.

PART F, VENTILATION

Provide extract ventilation to the kitchen at rate of not less than 60 litres per second. Purge ventilation to habitable rooms to be 1/20th of floor area. Based on footprint and number of bedrooms, provide trickle vents with a total area of not less than 8000m² (or 10,000mm² for single storey dwellings). Open plan kitchen diners need minimum of 3 trickle vents in a room providing 8000mm² each (or 10,000m² for a single storey dwelling). Exposed Façades in busy areas (main road etc.) will require noise attenuating trickle vents.

SECURITY - DWELLINGS

All doors should be manufactured to a design that has been shown to meet the security requirements of British Standards publication PAS 24:2012 or greater.

All doors should comply with Part Q1 in terms of fitting and design.

All windows should be manufactured to a design that has been shown to meet the security requirements of British Standards publication PAS 24:2012 or greater.

PART M

New doors to be in accordance with the clear effective door widths in Section 7 Table 4.

New switches and sockets to be located between 450 & 1200mm above floor level.

Use an accessible door threshold.

PART Q

Secure doorsets should either be:

Manufactured to a design that has been shown by test to meet the security requirements of British standards publication PAS 24:2012, or Designed and manufactured in accordance with the following:-

The doorset should be manufactured from solid of laminated timber with a minimum density of 600kg/m³. Door rails, stiles and mullions should be at least 44mm thick. After rebating, frame components should retain at least 32mm of timber. Any panel within the doorset should be at least 15mm thick. The panel should be securely held in place. Beading should be mechanically fixed and glued in position. The smaller dimension of each panel - which can be either the width or height of the panel - should be 230mm or less.

Locks, hinges and letter plates:

The main doors for entering a dwelling (usually the front doorset) should be fitted with a multipoint locking system that meets the requirements of:

- PAS 3621 (key locking on both sides), or
- PAS 8621 (non - key locking on the internal face)or
- PAS 10621 (non- key locking on the internal face, but with an external locking override facility).

- If it is not practical or desirable to install a multipoint locking system, a mortice lock that conforms with one of the following standards can be fitted instead. With a surface- mounted rim lock that conforms to the same standard:

- BS 3621 (key locking on both sides), or
- BS 8621 (non - key locking on the internal face)or
- BS 10621 (non- key locking on the internal face, but with an external locking override facility).

Between the locking points for the mortice lock and surface-mounted rim lock, the distance should be 400-600mm.

The non - primary doors for entering a dwelling (for example, back door or garage interconnecting doors) should be fitted with a multipoint locking system that meets the requirements of:

- PAS 3621 (key locking on both sides), or
- PAS 8621 (non - key locking on the internal face) or
- PAS 10621 (non- key locking on the internal face, but with an external locking override facility).

If it is not practical or desirable to install a multipoint locking system, a mortice lock that conforms with one of the following standards can be fitted instead. With two mortice bolts:

- BS 3621 (key locking on both sides), or
- BS 8621 (non - key locking on the internal face)or
- BS 10621 (non- key locking on the internal face, but with an external locking override facility).

The morticed bolts should have a minimum projection of 20mm, should be at least 100mm from the top and bottom corners of the door, and should avoid any door construction joints.

Hinges accessible from outside should incorporate hinge bolts.

Letter plates, where provided, should:

- have a maximum aperture of 260mm x 40mm, and
- incorporate a flap or other features designed to hinder anyone attempting to remove keys with sticks and / or insert their hand.

- The main doors for entering a dwelling (usually the front door) should have a door viewer unless other means existing to see callers, such as clear glass within the door or a window net to the doorset. The same doorset should also have a chain or door limiter. If not appropriate alternative caller - identification measures such as electronic audio - visual door entry system can be used to identify visitors.

Glazing:

Any glazing which, if broken would permit someone to insert their hand and release the locking device on the side of the door should be a minimum of class P1A in accordance with BS EN 356:2000. Double - glazed units need to incorporate only one pane of class P1A glass.

Design of secure windows:

Ground floor, basement and other accessible windows (including easily accessible rooflights) should be secure windows in accordance with the following;

Windows should be made to a design that has been shown by test to meet the security requirements of British Standards publication PAS 24:2012.

It should be noted the following standards for windows are also acceptable;

- STS 204 Issue 3:2012
- LPS 1175 Issue 7:2010 security rating 1
- LPS 2018 Issue 1:2015 security rating A.

Installation and fixing of secure windows

Frames should be mechanically fixed to the structure of the building in accordance with the manufacturer's installation instructions.

GENERAL

All materials to be used and fixed strictly in accordance with the manufacturer's recommendations and instructions.

All work to be in accordance with the current Building regulations.

All DPC and damp proof membranes are to provide a continuous barrier against moisture and be fully in accordance with the Building regulations.

These notes are to be read in conjunction with the working drawings and any discrepancies between these notes and the drawings to be referred to MAS Design.

All new work to be fully bonded in with existing and all cavities maintained where appropriate.

Double up joists under any and all baths/showers.

All joints between fixed building components to be installed to App. doc. Part L1 B Section 2 to prevent cold bridging and infiltration and to suppress air movement through the structure. Design should be built to accredited construction details to ensure compliance with Part L of the Building regulations. All joints to be sealed with silicone sealant mastic. All holes for services to be cut with correct size hole cutter and sealed using expanded foam filler to prevent air movements.

NOTE:
CONTRACTOR TO VERIFY ALL SIZES ON SITE BEFORE COMMENCEMENT.

NOTE:
PLEASE DO NOT SCALE FROM THIS DRAWING.

Party Wall Act

Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner. For further clarification on the Party Wall etc Act 1996 contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com For further information on the Party Wall etc Act 1996: <http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract

It is recommended that a formal written agreement is put in place between the building owner and the building contractor. A typical agreement that protects both owner and builder would be produced by the JCT. For further information on building contracts contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

CDM 2015 Regulations

The Construction (Design and Management) Regulations 2015 applies to all construction work. Designers, builders and Clients all have duties under the regulations. For further information on the CDM 2015 Regulations contact: Cairn Wharf Consultancy Ltd, 2 Boroughgate, Off Bay Horse Court, Otley, LS21 1SB M 07739 576181 cw@cairnwharf.com

GENERAL NOTES

Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing to MAS Design Consultants Ltd.

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

REV



www.masdesignconsultants.com
1 Oxford Street, Guiseley, Leeds, LS20 9AX

PROPOSED

EXTENT OF PROJECT:

PROPOSAL: PROPOSED SINGLE STOREY REAR EXTENSION / INTERNAL ALTERATIONS; FORMING OPEN PLAN KITCHEN / DINING / FAMILY AREA.

CLIENT DETAILS:

**MS F GUSTAFSON.
16 ORCHARD STREET,
OTLEY,
LS21 1JU.**

DRAWING TITLE:

BUILDING REGULATIONS NOTES.

PAPER	SCALE	DATE	DRAWING No	REV
A3	NTS	01/24	M4241/04/302	.