



# DESIGN & ACCESS STATEMENT

## Loft Extension

Project: 28B Colwell Road, SE22 8QP

Project No: 1148

Date: 25/01/2024

This document was prepared by AA Drafting Solutions on behalf of our client Mr Mark Ogunjobi . The information contained within this document has been based on site visits, survey information, OS Maps & client supplied material.

Drawings within this document are not to scale and images are indicative only.

## Introduction

The contents of this Full Planning application document are presented by AA Drafting Solutions in support of the Loft Conversion at 28B Colwell Road, SE22 8QP. In accordance with Southwark Borough Council the application is accompanied by plans and the necessary documentation together with the application fee.

This document forms a detailed character appraisal of the local area and sets out how this has informed the design of the new proposal.

In formulating our proposal, we have been mindful of the immediate vicinity and in the near environmental context.

Image to the right shows the rear roof scene of the properties on Colwell Road, with 28B pinned.



Figure 1: Rear Context (google maps).



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## Site Location

The site is located on the eastern side of Colwell Road, in the London Borough of Southwark. Colwell Road leads off Lordship Lane which forms part of the A2216, running north-south from Goose Green to Wood Vale. Populate with a wide selection of bars, restaurants and shops

The train station East Dulwich is 0.8km away, with North Dulwich 1.28km away and the closest bus stops are located on Lordship Lane parallel of the site. The site has a PTAL of 3.

Multiple green spaces nearby, including Goose Green and Peckham Rye Park & Common, with many activities/entertainment venues in walking distance including East Dulwich Picturehouse

The surrounding properties are rows of Victoria two storey terraced brick houses typical of the local area. Most are single dwellings or C4 HMOs, all have bay windows at the front, outrigger at the rear. The roofscapes change at the north end of Colwell Road, with south side continuing gable roof form.

Our property 28B Colwell Road, yellow brickwork with red tiled roof, and white framing around windows and entry way. The property was previously split into two dwellings ground floor Flat A and 1<sup>st</sup> floor Flat B in 1985.



Figure 2: Site Location (1:500 @A3)

## Site Location – neighbouring properties

On Colwell Road numerous loft extensions typically L-shaped illustrated in figure 3 (orange), with two roof terraces (red).

Recent approvals include:

- 23/AP/0847 First Floor Flat 152 Lordship Lane, (2023) Minor application, L-shaped double dormer and external roof terrace (approved)
- 23/AP/2369 2 Colwell Road, (2023) Householder, L-shaped rear dormer extension (approved)
- 22/AP/3776 5 Colwell Road, (2022) Householder, rear dormer over main roof slope and outrigger (approved)
- 22/AP/2003 11 Colwell Road, (2022) Householder, rear dormer roof extension over main roof and outrigger (approved)
- 21/AP/2858 21 Colwell Road, (2021) Householder, rear dormer extension (approved)
- 20/AP/2403 22B Colwell Road, (2020) Minor application, L-shaped dormer with new roof terrace (approved)



Figure 3: Neighbouring Properties with similar extensions.

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## Design

Our proposed extension will accommodate for new kitchen leading onto the roof terrace, and small staircase to the living room and dining room, creating an open plan living area in the loft. Bedrooms replace the existing kitchen and living room, providing upside down living layout.

The proposed layout makes the most of the opportunities which exist at the site. By reconfiguring the general layout and forming the proposed extensions, a large, lighter, and better configured space is created.

## Use

The proposed extension would provide an open plan kitchen, living, dining room. The use proposed by this application is not any different to the existing situation i.e. residential dwelling. The surrounding properties are all in residential use and such use is therefore appropriate in this location.

## Relationship To Site

To ensure minimal impact to the site, we have ensured the extension will not negatively impact the character or the appearance of the property and the surrounding area. Using high quality materials and matching the host dwelling where possible to ensure the extension follows the appearance of the property, Southwark's SPD guidance, local extensions, whilst appearing uniformed in mass.

## Materiality

The external walls will be dormer tiles to match similar nearby developments. Proposed casement windows follow the symmetry of the main dwelling (scale and appearance), with skylights to protrude maximum of 0.15m beyond the existing roof slope.

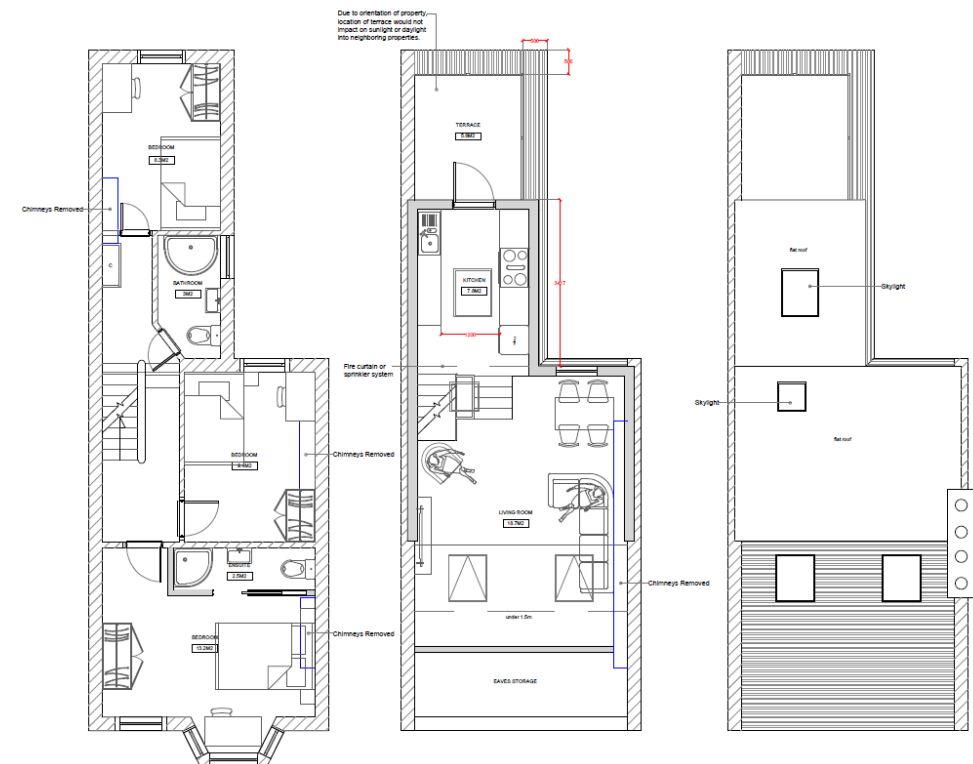


Figure 4: Proposed Plans



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## Overlooking and Impact

To ensure minimal impact on the neighbouring properties we have ensured the extension on the rear outrigger does not intersect the 45degree line from the neighbouring window.

We have proposed 1.7m high timber screen surrounding the roof terrace to ensure no loss of privacy. The terrace is set 500mm from the rear and is relatively small in scale at 5.6 square metres.

Due to the orientation of the property the proposal would not impact on sunlight or daylight into neighbouring properties.

## Car and Cycle Parking and Refuse

The proposal does not affect the car and cycle parking or the refuse options at the site.

## Access

Access via new staircase from existing landing, with rear door off the kitchen providing access to the rear roof terrace.

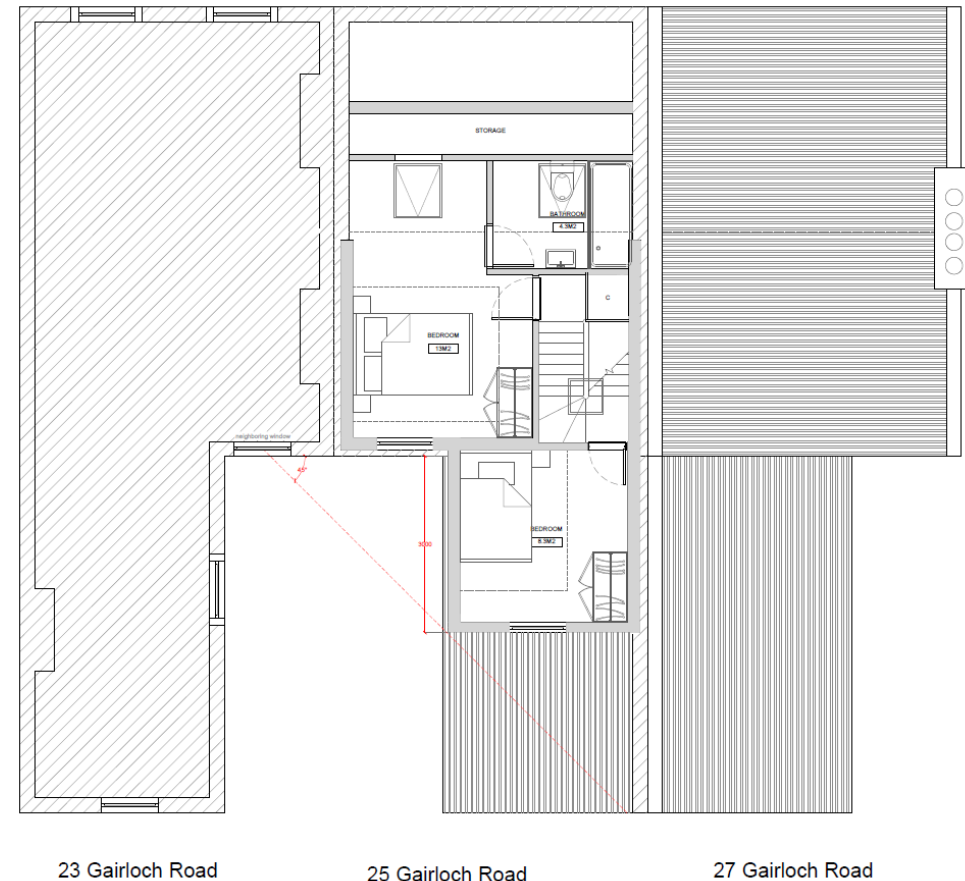


Figure 5: Relationship to no.30

## Nearby Roof Terraces (approved)

For the roof terrace we have followed the appearance and scale of these nearby approved roof terraces. Ensuring there is minimal impact on the neighbouring property regarding daylight and sunlight but also overlooking and privacy.

Our proposed design is based on 22B Colwell Road's approval and the other householder applications for L-shaped dormers, we have taken into consideration the street scene and continued this design to ensure unified appearance.

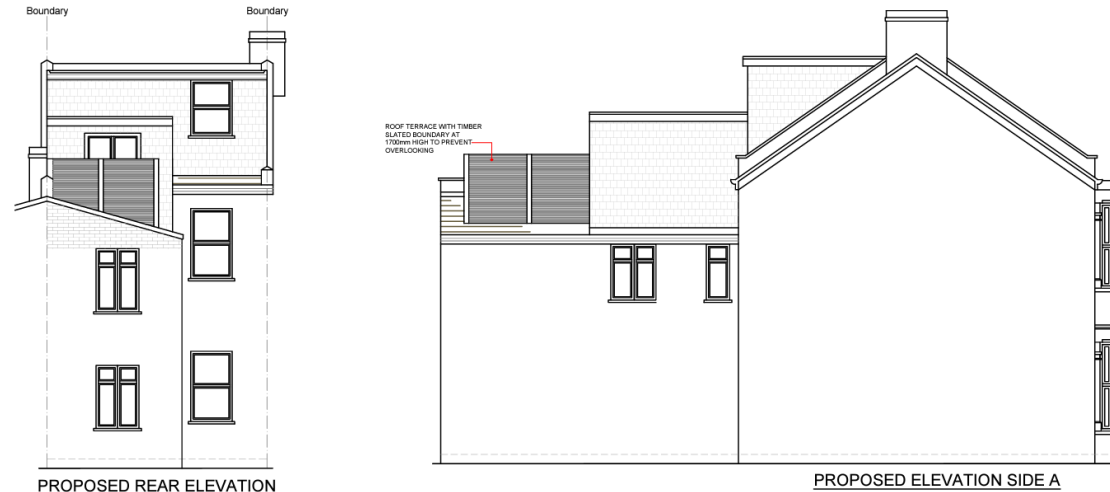


Figure 6: 22B Colwell Road, illustrating roof terrace (drawing by Fast Plans)

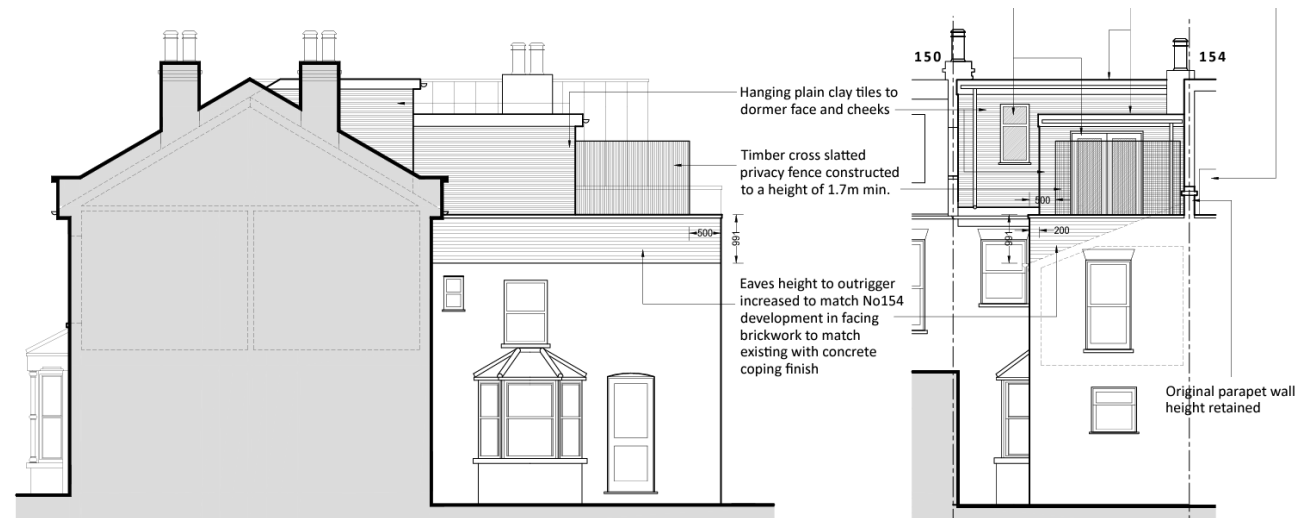


Figure 7: First Floor Flat 152 Lordship Lane, illustrating roof terrace (drawing by Studioe17)

## Design – Appearance

All materials to be used in the construction of the extension have been carefully thought out in consideration of the surroundings.

The materials are as follows:

- Dormer tiles to match similar nearby extensions
- Windows: casement windows, skylights (extension and front roof slope)
- Doors, patio door.
- Flat roof to match similar nearby extensions.

## Conclusion

The proposal preserves the amenities of the occupiers of the neighboring properties as well as the character and appearance of the individual property while being sympathetic to the existing structure and its surroundings.



Figure 8: Proposed Rear and Front Elevations.