

PLANNING APPLICATION

REPLACEMENT OF WINDOWS & DOORS FROM SINGLE GLAZED TIMBER FRAMES WITH DOUBLE GLAZED UPVC

This is a supporting document to highlight details about the application for the replacement of sash windows and french doors from single glazed timber frames with double glazed UPVC sash windows and french doors at Top floor flat, 13 Cambridge Road, Hove BN3 1DE.

Conservation Area Policy - SPD09 - Architectural Features

As per the Conservation Area Policy outlined in Supplementary Planning Document SPD09 - Architectural Features

(https://www.brighton-hove.gov.uk/sites/default/files/migrated/article/inline/downloads/local_plan_2005/Architectural_Features_SPD_09_-_adopted.pdf), the importance of retaining original or historic windows is understood. On page 30:

Original or historic windows should be retained unless beyond economic repair. New and replacement windows must closely match the originals in their style, method of opening, proportions and external details. On street elevations the original material must also be matched. Energy efficiency in repaired, replaced and new windows will be encouraged. Where trickle vents are required these must be concealed.

New window openings, including inserting glazed windows within recessed masonry blank window features or altering the size and proportions of existing windows, will only be permitted where the proposals relate to and do not disrupt the rhythms and proportions of the overall architectural design of the building and the unity of historic groups.

However, given that the windows and doors are not visible from street level, it would be appropriate to change the material and glazing from single glazed timber to double glazed UPVC sash windows and french doors. This proposal aligns with the policy as the existing timber-framed windows and doors are beyond economic repair, and the replacement UPVC sash windows and french doors will match the originals in style, method of opening, proportions, size, and external details.

This is further highlighted in point on Page 32:

2.20

On listed buildings double glazed replacement windows will rarely be appropriate. In conservation areas double glazed windows will be permitted but, on elevations that face onto a street or public open space, the original windows' style, pattern and frame and glazing bar widths must be closely matched.

2.21

The use of aluminium or UPVC replacement windows on listed buildings will not be permitted. In conservation areas they are unlikely to be permitted on an elevation of a historic building visible from a street or public open space

Please see images 1, 2, 3, and 4 within this document in reference to the windows and doors not being visible from street and public view.

Material Replacement - UPVC

The property is situated in the Brunswick Town Conservation Area. Although UPVC windows and doors are generally discouraged in conservation areas, the proposed replacements will not be visible from the street. As stated within the SPD09 policy document, planning approval is unlikely for replacing timber windows and doors with UPVC where visible from the street, but in this case, the replacements will not affect the public appearance.

Additional Reasons for Double Glazed UPVC Selection

- Increased heat efficiency
- Enhanced noise reduction
- Longer lifespan, reducing the need for frequent replacements.
- Protection against dampness and water damage, which is currently observed with the existing timber frames due to the french door's insufficient height above the threshold

The proposed double-glazed UPVC sash windows and french doors will retain the same colour, size, method of opening, and design as the existing single-glazed sash windows and french doors, adhering to the guidelines specified by the Brighton & Hove Council at www.brighton-hove.gov.uk/planning-permission-doors-and-windows#tab--replacing-single-glazing-with-double-glazing.

Please see images 5, 6, and 7 within this document in reference to the current state of the windows and doors.

Comparison to Existing Properties

The unique set-up of windows and doors of the top floor flats along the west side of Cambridge Road makes it challenging to align with neighbouring properties. However, we note that there is no consistent window and door types on this level, and the proposed double glazed UPVC replacements will be in line with the existing diversity.

Approved Planning Permissions on Cambridge Road

We draw attention to previously approved planning permissions for similar properties, where double glazed UPVC windows and doors were approved, indicating a precedent for such replacements not visible from public street elevations.

- BH2022/02484
planningapps.brighton-hove.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=RG1OH0DMHRJ00
- BH2015/00508
planningapps.brighton-hove.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=ZZZR65DMXE621
- BH2011/02711
planningapps.brighton-hove.gov.uk/online-applications/applicationDetails.do?activeTab=summary&keyVal=ZZZR6JDMXE592

Additionally, BH2022/02754 (planningapps.brighton-hove.gov.uk/online-applications/applicationDetails.do?activeTab=documents&keyVal=RHGWTQDMJ7U00) approval for Flat 5, 29 Cambridge Road is very similar to this property and not visible from the public street. The permission was granted for:

As quoted from 'APPLICATION FORM - WITHOUT PERSONAL DATA'.
The permission was approved with:

“Windows

Existing materials and finishes:

White painted timber and upvc dormer door and windows.

Proposed materials and finishes:

Grey aluminium window/door frames and flashings.”

The approved use of grey aluminium frames in BH2022/02754 sets a precedent for acknowledging variations in frame colours. Given this precedent, it is reasonable to expect that white UPVC frames, with their neutral and versatile appearance, would align with the aesthetics permissible within the conservation area.

Enhanced use of Conversation Area Policy

In addition to matching the original sash windows in style, method of opening, proportions, size, and external details, all of which are in line with the Conservation Area Policy. The french doors will be changed to have horizontal bars only. This will align and enhance as per the Conservation Area Policy quoted on page 34:

2.29

Horizontal glazing bars will often be appropriate but sub-division into small panes is historically inappropriate.

Summary

In summary, the planning application for replacing windows and doors at 13 Cambridge Road aligns with Brighton & Hove City Council's Conservation Area Policy. The proposal addresses irreparable damage to the existing timber frames, ensuring a close match in style and adhering to energy-efficient and noise reduction standards. With precedents of approved UPVC replacements in similar properties. The alteration to french doors also enhances alignment with historical appropriateness.

Image 1 (view from north)



Image 2 (view from south)



Image 3 (view from street)

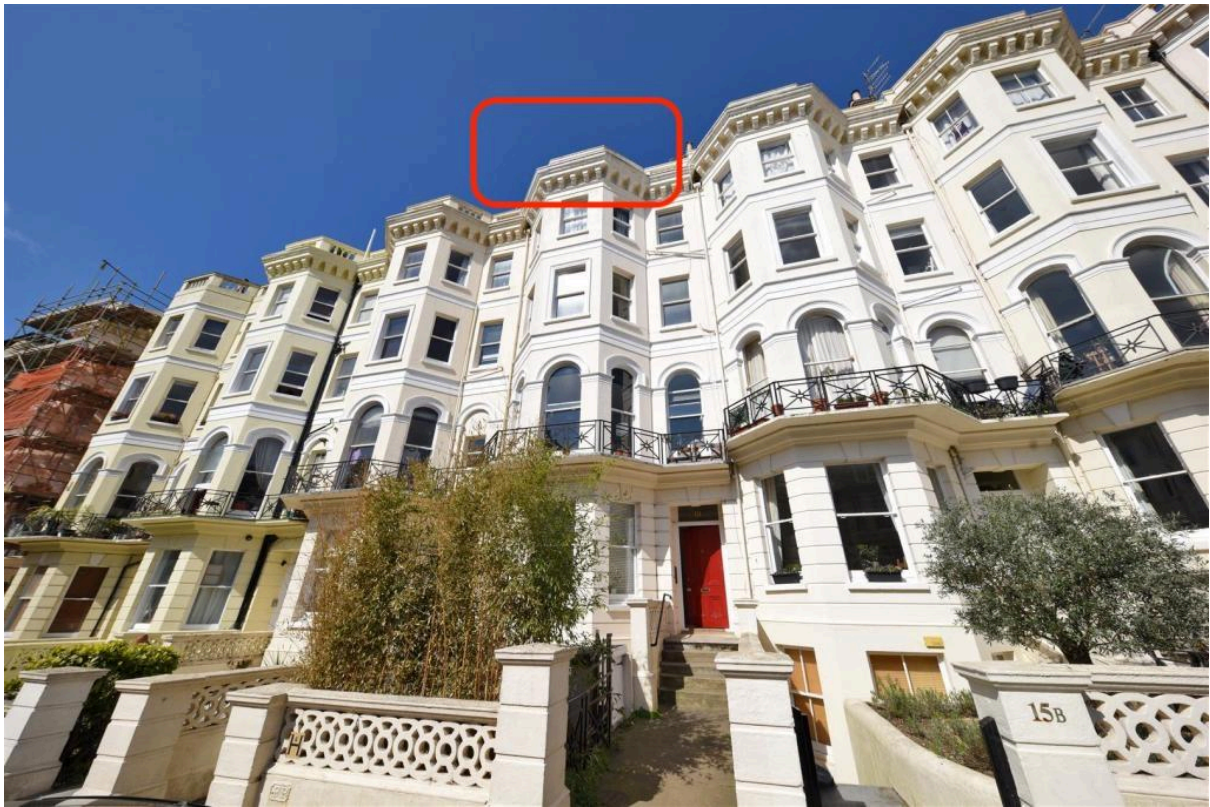


Image 4 (view from roof terrace, highlighting windows and doors that need replacing)



Image 5 (current state of french doors)



Image 7 (current state of window B - north window)

