

**61 HENDON WOOD LANE,
LONDON,
NW7 4HT.**

DESIGN AND ACCESS STATEMENT

1366 - DAS V3

Rev: 27/02/2024



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I.0 OVERVIEW OF THE SITE

I.1 AERIAL OVERVIEW:



Aerial view of the site and the wider surroundings.

1.0 OVERVIEW OF THE SITE

27/02/2024

1.2

SITE ADDRESS:

61 Hendon Wood Lane, London, NW7 4HT.

DESCRIPTION OF THE SITE:

The site is located on a private cul-de-sac that is an offshoot of Hendon Wood Lane, within the High Barnet ward of Barnet Borough Council. The surrounding context is residential in character comprising detached properties of a mixed scale, form, and style. The property falls within Green Belt Land but is not within a Conservation Area. There are woods to the southern boundary of the site adjacent to the rear garden.

The existing property is a two-storey 3 bedroom detached brickwork dwelling on a long linear plot with front and rear gardens. The house has brickwork façades with leaded casement windows, glazed sliding doors, tiled pitched roofs, flat roofs to the rear, a conservatory extension, first floor rear balcony and side access linking the front and rear gardens.

The house was constructed around 1946 and has undergone a series of adaptations, alterations, and extensions over time.

USE:

No change. The existing use is residential C3.



61 Hendon Wood Lane front elevation.

2.1 PRE-PLANNING ADVICE

A pre-planning application was submitted to the Barnet Planning Department in **December 2023** to allow for early-stage engagement on the proposed alterations to reconfigure the house. An on-site meeting was held on the 5th of January 2024. Advice was received on the 6th February 2024.

In summary the feedback obtained advised that overall, the proposal would be considered acceptable in terms of character as well as in terms of its effect on the Green Belt. The scheme is also considered acceptable in terms of neighbouring amenity due to adequate distancing and vegetation.

- Any scheme for the site would need to respect the character and appearance of the local area by preserving and enhancing the character of the local area as defined in the Barnet Local Plan policy CS05 & The London Plan policies D1, D3 and D6.
- The proposed front porch enclosure with entryway in terms of extended height and massing would not substantially add to the main house and would be subordinate to the dwelling.
- The rear extension would not be greater in height than the existing conservatory (except the roof light) and with the existing wall line being pulled back, therefore the proposal would not significantly alter the character of the dwelling.
- Alterations to the fenestration and door changes are considered appropriate in relation to their placement and size on the rear elevation.

- In relation to Green Belt SPD which advises that extensions should not be disproportionate additions to the original house and following an assessment by the planner their advice is that the proposed extensions would add a minimal massing to the dwelling which would not detract from the openness of the Green Belt.

2.2 PLANNING HISTORY

W05734D 1999 Approved.
Ground Floor Front and Side Extension.

W05734C 1998 Refused.
Ground Floor Side Extension and Roof Extension.

W05734B 1992 Approved.
First Floor Rear Extension.

W05734A 1986 Approved.
Single Storey Side Extension

W05734 1978 Approved.
Single Storey Rear Extension

2.3 RELEVANT PLANNING POLICY

- The National Planning Policy Framework (NPPF) Dec 2023
- The London Plan 2021
- Barnet's Local Plan 2012
- Barnet's Local Plan (Reg22) 2021
- Barnet's Residential Design Guidance 2016
- Barnet's Sustainable Design and Construction 2016

The NPPF states that 'good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities... being clear about design expectations, and how these will be tested, is essential for achieving this'. The NPPF retains a presumption in favour of sustainable development. This applies unless any adverse impacts of a development would 'significantly and demonstrably' outweigh the benefits.

NPPF Protecting Green Belt Land specifically para 142.

The Government attaches great importance to Green Belts. The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence.

The London Plan 2021:

The London Development Plan is the overall strategic plan for London, and it sets out a fully integrated economic, environmental, transport and social framework for the development of the capital to 2050. It forms part of the development plan for Greater London and is recognised in the NPPF as part of the development plan.

The London Plan provides a unified framework for strategies that are designed to ensure that all Londoners benefit from sustainable improvements to their quality of life.

- Policy D1 - London's form, character, and capacity for growth.
- Policy D2 - Infrastructure requirements for sustainable densities
- Policy D4 - Delivering Good Design.

Barnet's Local Plan 2012

Policy CS NPPF states that when considering development proposals Barnet Local Planning Authority will take a positive approach that reflects the presumption in favour of sustainable development contained in the National Planning Policy Framework (NPPF).

Policy CS1 - Barnet's place shaping strategy - the Three Strands Approach. Barnet's place shaping strategy is to concentrate and consolidate housing and economic growth in well located areas that provide opportunities for development, creating a quality environment that will have positive economic impacts on the deprived neighbourhoods that surround them.

Policy CS5 - Protecting and enhancing Barnet's character to create high quality places. Barnet Local Planning Authority will ensure that development in Barnet respects local context and distinctive local character creating places and buildings of high quality design.

Policy CS15 - Delivering the Core Strategy.

Policy DM01 - Protecting Barnet's character and amenity.

All development should represent high quality design which demonstrates high levels of environmental awareness and contributes to climate change mitigation and adaptation.

Development proposals should be based on an understanding of local characteristics. Proposals should preserve or enhance local character and respect the appearance, scale, mass, height and pattern of surrounding buildings, spaces and streets.

Development proposals will be required to include hard and soft landscaping that:

- is well laid out in terms of access, car parking and landscaping
- achieve a suitable visual setting for the building
- provide an appropriate level of new habitat including tree and shrub planting
- make a positive contribution to the surrounding area
- contributes to biodiversity including the retention of existing wildlife habitat and trees
- adequately protects existing trees and their root systems.

Policy DM01 - Protecting Barnet's character and amenity.

All development should represent high quality design which demonstrates high levels of environmental awareness and contributes to climate change mitigation and adaptation. Proposals should be based on an understanding of local characteristics and should preserve or enhance local character and respect the appearance, scale, mass, height and pattern of surrounding buildings, spaces and streets whilst creating visual interest particularly at street level. Reduction in opportunities for crime via the creation of safe & secure environments.

Policy DM02 - Development standards.

Where appropriate, development will be expected to demonstrate compliance with the national and London wide standards.

Policy DM15 - Green Belt and open spaces

Development proposals in Green Belt are required to comply with the NPPF.

Extensions to buildings in Green Belt will only be acceptable where they do not result in a disproportionate addition over and above the size of the original building or an over intensification of the use of the site.

Barnet's Residential Design Guidance 2016.

'Most development in Barnet involves the replacement, extension or conversion of existing buildings so taking account of context and local character is particularly important. We will therefore expect the design of new buildings and places to respond to the local area and its defining characteristics and reinforce or create local distinctiveness.' (Barnet Core Strategy para 10.5.12)

Amenity.

Barnet's Residential Design Guidance 2016. Paragraph 14.4 states that extensions to properties should not be overbearing or unduly obtrusive and care should be taken to ensure they do not result in harmful:

- loss of privacy by overlooking adjoining properties
- loss of light or overshadowing of adjoining properties, particularly loss of light to main windows serving principal rooms such as living or dining rooms
- loss of outlook from adjoining properties sense of enclosure or overbearing impact on adjoining properties
- loss of garden, landscaping, or open space, which contributes to local amenity
- loss of parking space that is desirable to retain

Harmony.

Barnet's Residential Design Guidance 2016. Paragraph 14.8 states that proposed extensions should be consistent with the form, scale, and architectural style of the original building, particularly where it is a period or suburban property.

Paragraph 14.9 notes that consistency with the original type of a building can be achieved by respecting the proportions of the existing house, matching materials, utilising innovative design to add to and improve the outlook of the building, matching the window style, proportions and positions and reflecting the character of the original house.

Extension should normally be subordinate to the original house and should respect the original house and not be overly dominant.

Front Extensions.

Barnet's Residential Design Guidance 2016. Paragraph 14.29 states that where it is considered that a building may reasonably be extended forward (for example, on occasion detached houses in low density areas or in roads with irregular building lines), the following principles should be observed:

- the new roof should normally reflect the roof form of the existing house (e.g. pitched with tiles to match)
- front extensions should fit in with the architectural style of the house
- care should be taken to ensure that front extensions have regard to, and do not conflict with, existing architectural features such as bay windows
- windows should be positioned where they do not have a harmful effect on the amenities of neighbouring properties.

Porches.

Barnet's Residential Design Guidance 2016. Paragraph 14.54 states that where a porch is on the front elevation, special care should be taken that it does not spoil the appearance of the property and street as well as the outlook of neighbouring houses.

3.1 SUMMARY OF THE PROPOSALS

DESCRIPTION OF THE PROPOSAL:

Alterations to the existing dwelling to include infill of existing open porch, new brickwork entrance doorway, removal of first floor rear balcony, replacement of existing rear conservatory with single storey flat roof with brick infill walls, rationalisation of windows and installation of new double-glazed windows / doors and reconfiguration of internal space planning.

Summary of the changes:

- Infill of existing open front porch and new brick front entrance doorway, with door and window.
- Removal of existing first floor balcony and railings.
- Replacement of existing rear conservatory with reduced single storey flat roof with brick infill walls.
- Rationalisation of window/door openings to suit reconfiguration of internal space planning.
- Replacement of fenestration with new double-glazed units.
- Reconfiguration of internal spatial planning.
- General refurbishment.

PLANNING CONSIDERATIONS:

- Whether harm would be caused to the character and appearance of the existing building, the street scene, and the wider locality.
- Whether harm would be caused to the living conditions of neighbouring residents.
- Impact on the Green Belt.

SCALE:

No change. The proposals will not alter the scale of the existing dwelling.

ACCESS:

No change. The existing access onto the property is off the private cul-de-sac offshoot on Hendon Wood Lane and will be maintained as existing.

The side external access linking the front and rear garden areas will be maintained. No change is proposed.

Access into the dwelling will remain in a similar location on the front facade of the dwelling, however the proposals include a newly designed front entrance, with doorway and window that will lead into the ground floor hallway of the dwelling. A secondary doorway is proposed off the external side access on the side elevation of the house, this will allow alternate side access from the ground floor hallway of the house.

The internal access arrangements will be overhauled to suit the reconfigured proposed internal layout of the house. The internal staircase linking the ground and first floors will be relocated from the front of the house to a more central location to enable efficient use of the floor plan.

AMOUNT:

The proposals do not increase the existing footprint of the dwelling and will not cause undue harm to the street, are not overbearing, intrusive, cause overshadowing or undue harm to the amenity of neighbouring occupiers and users.

The property will remain as a three-bedroom dwelling, parking and refuse arrangements will remain as existing.

The removal of the rear conservatory at ground floor level will result in a slight reduction in the proposed footprint.

The adaptation of the front porch entry area, via infill of the existing covered porch area will not alter the existing footprint of the dwelling.

A bespoke designed brickwork doorway threshold will frame the entrance to the house, enhancing the frontage with a clearly defined entrance. This design solution results in a minor projection of brickwork on the front elevation that is in-keeping with the style and proportions of the original building.

Refinement of the existing fenestration with new &/or adapted openings with new windows will assist in balancing the front elevation which in its current condition is unsympathetic to the original dwelling resultant from various alterations to the original building over time.

The extent of the alterations is minor in nature and in-keeping with the existing building. The adaptation to the front entrance results in a small area of brickwork on the frontage.

APPEARANCE & CHARACTER:

Barnet's Residential Design Guidance 2016, point 14.2. *Extensions to houses both individually and cumulatively can have a profound effect on the appearance of an area and on the amenities enjoyed by the occupiers of adjoining properties. In general, extensions should reflect the design of the original building, whilst having regard to the character of the area and the residential amenity enjoyed by neighbours. This means ensuring that the extension does not significantly impact on people's enjoyment of their own home or garden.*

The proposed alterations will greatly improve the frontage of the house by consolidating various later additions to the house in a holistic manner and will have a positive impact on the appearance and character of the area.

The surrounding dwellings in the area are varied in their style, form, and scale with little coherence of building lines and extent of dwellings.

The proposed 'extensions' (predominantly infill or adaptation of existing) reflect the design of the original building, whilst having regards to the character and appearance of the area.

The design of the proposed 'extensions' (predominantly infill or adaptation of existing) are subordinate to the existing house and respect the existing architectural features, materials, setting, local character and wider context.

The proposed adaptations and alterations respect the character and visual amenity of the Green Belt.

MATERIALITY:

The proposed materiality for areas of bricked-up openings, infill walls and flat roof coverings will match the existing materiality for consistency across the external envelope.

New windows and doors are proposed to have a consistent style and proportion to unify the retained &/or adapted openings across the dwelling, consolidating the window / door style which is varied in the existing condition resulting in disordered appearance.

Infill Brickwork - new brickwork to match existing bricks in style, colour, bond, and mortar joints.

Front Entrance Doorway Brickwork - new brickwork to match existing bricks in style, colour, with mortar to match that on the existing dwelling. The proposed bond will differ to distinguish the entrance from the remainder of the building. Refer to the proposed elevation.

Windows - new windows will be double glazed for efficiency and will be casement windows typically with opening lights. The proposed window style and proportions will be consistent across all openings for a unified appearance. Framework to be aluminium or uPVC.

Main Entrance Door - new door to be a painted solid door that is set into the newly formed brickwork entrance. Door to be composite or timber.

Rear Garden Doors - new doors to be bi-parting French doors with a fixed sidelight that relate to the style and proportions of the new windows. Door framework to be aluminium or uPVC.

Side Access Door - new door to be a painted solid door with glazed light that is set into the newly formed brickwork opening. Door to be composite or timber.

Roof light - a new glazed lantern is proposed within the new portion of flat roof at the rear of the property where the existing conservatory roof is removed.

TREES & GARDENS:

No impact. No change, and no loss is proposed as part of the proposed alterations and adaptations for this scheme.

3.0 PROPOSAL SUMMARY

3.2 PROPOSAL OVERVIEW - SIDE BY SIDE PLAN COMPARISON

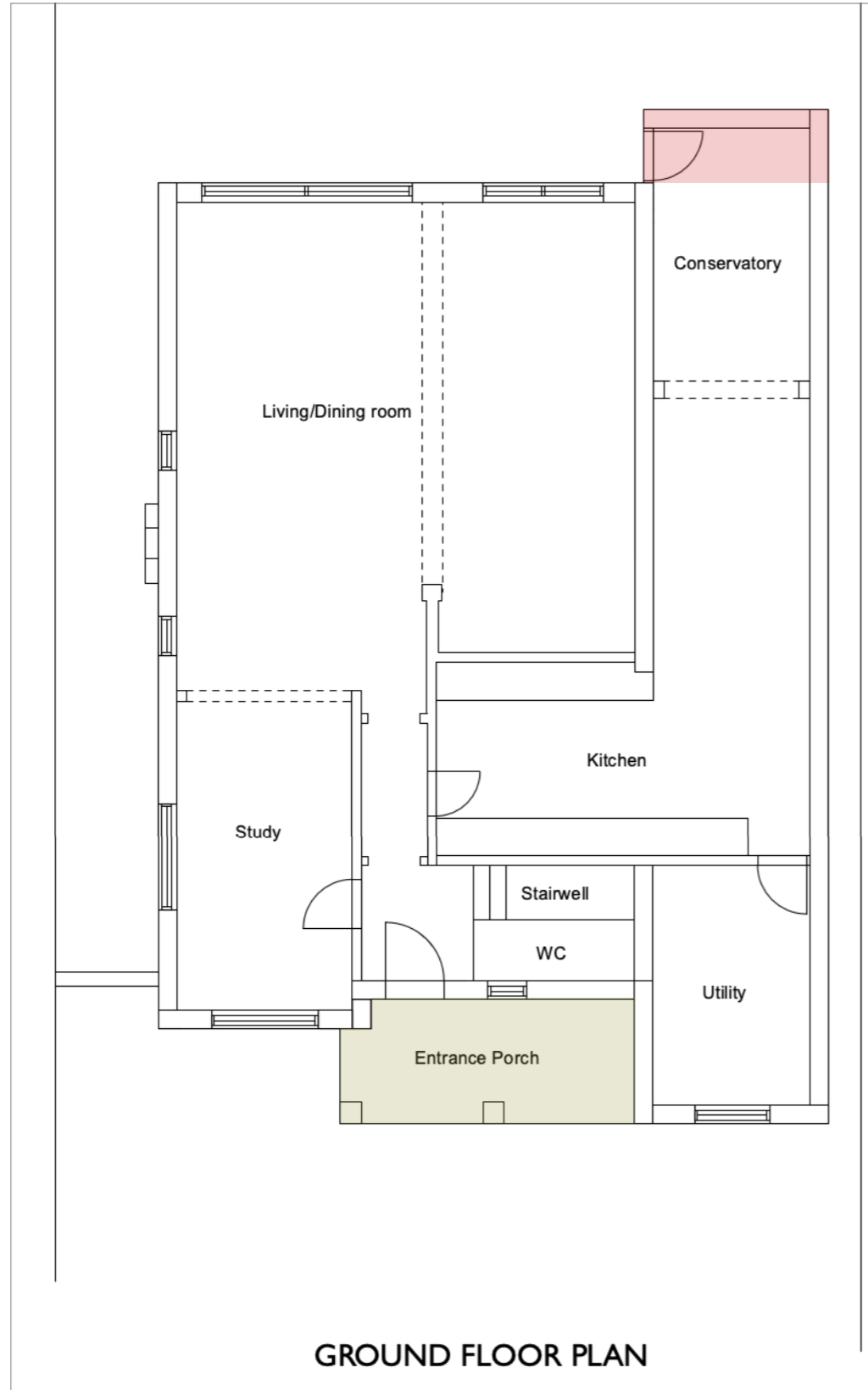
Removed Conservatory



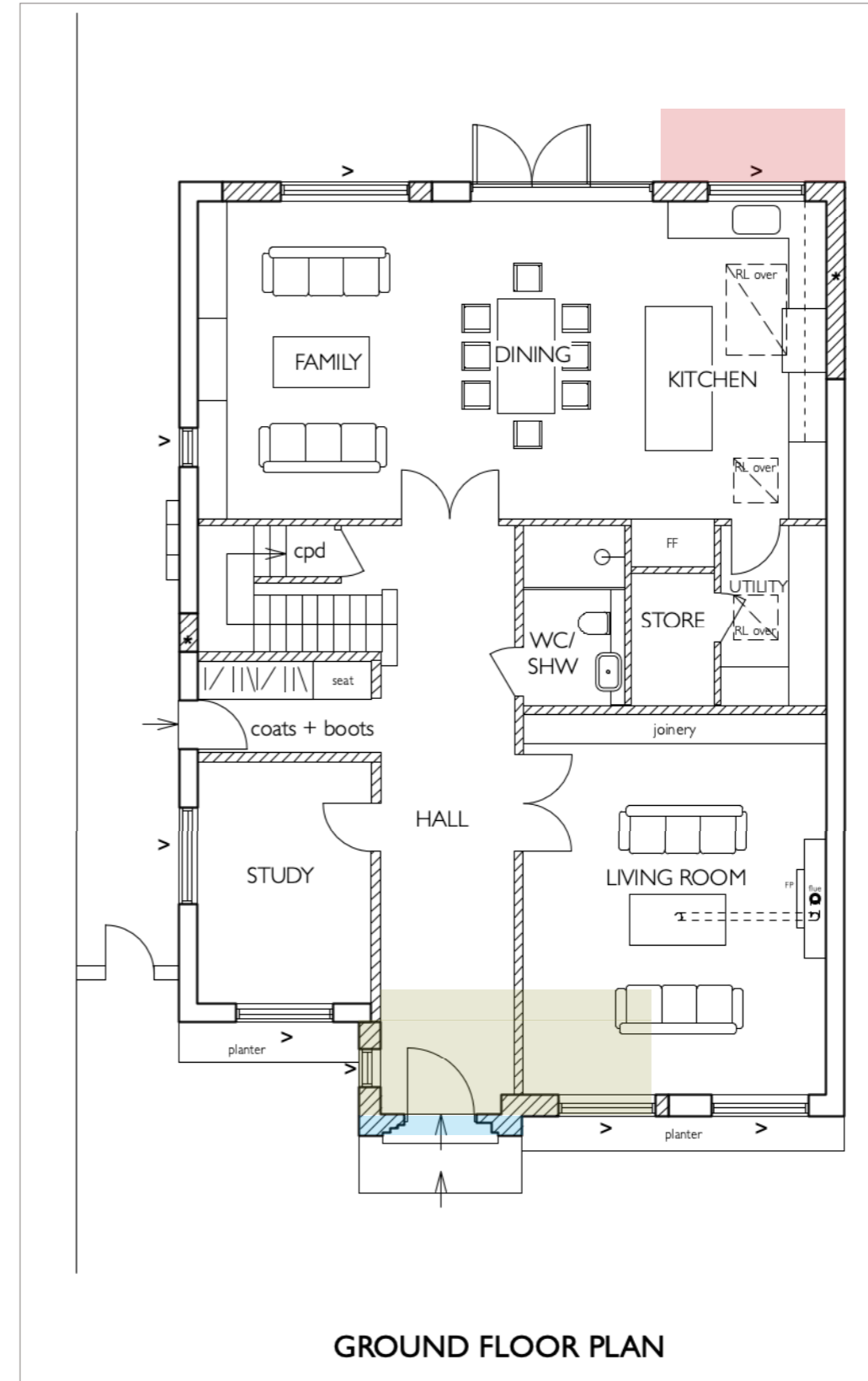
Infilled Porch



Front Entrance Doorway



EXISTING



PROPOSED

3.0 PROPOSAL SUMMARY

3.2 PROPOSAL OVERVIEW - SIDE BY SIDE PLAN COMPARISON

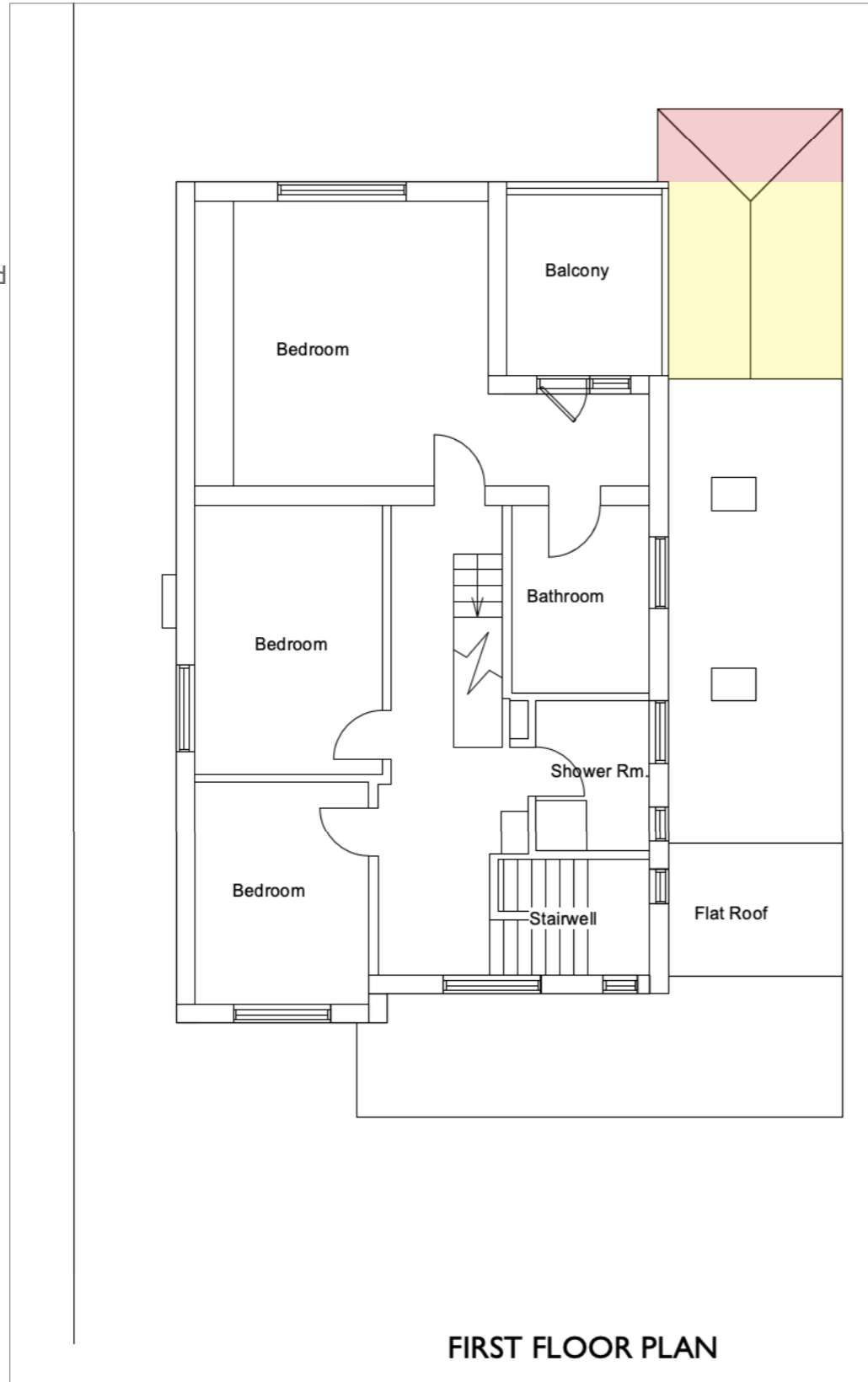
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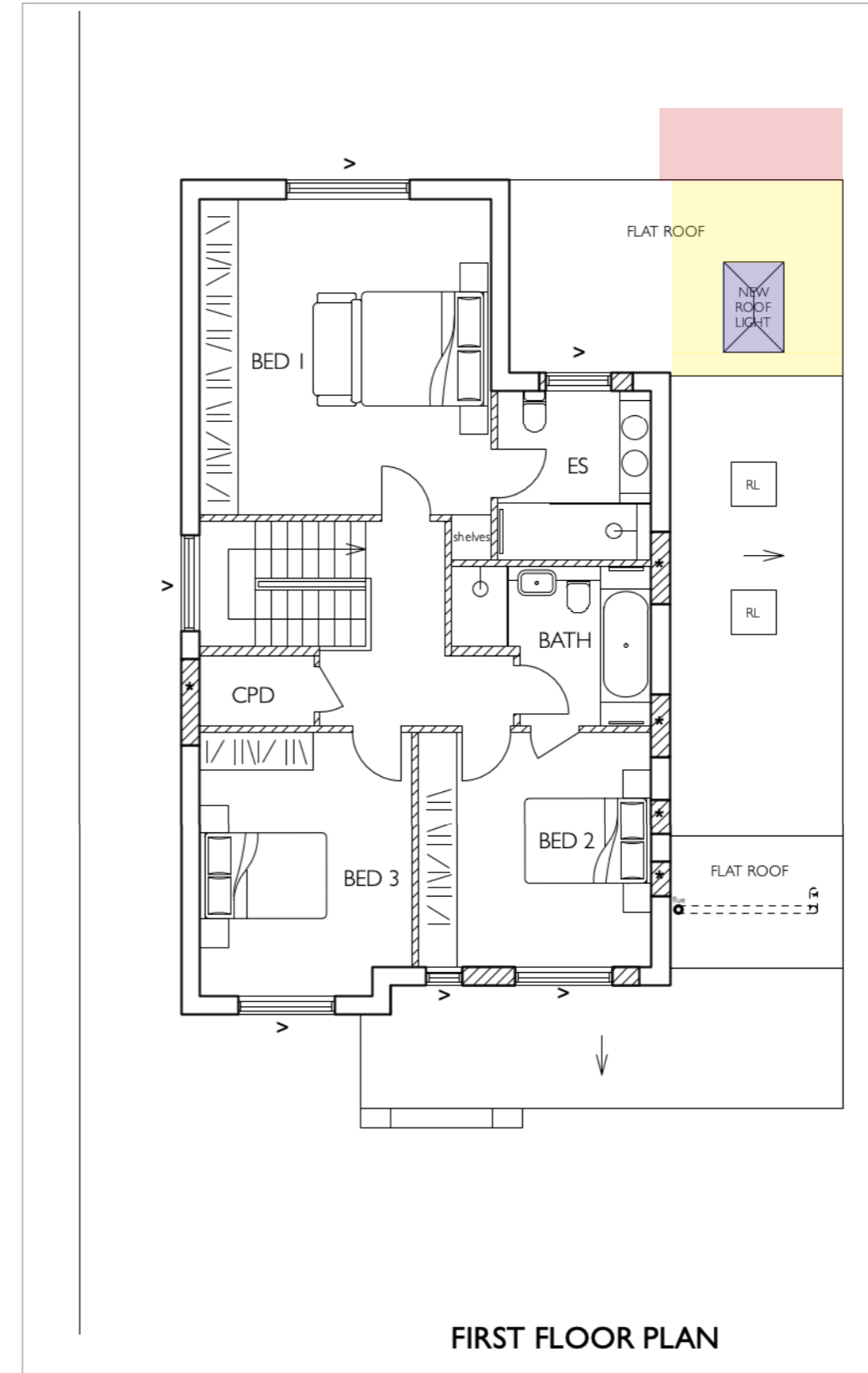
Conservatory Roof Removed & Flat roof Extended



Roof Lantern



EXISTING



PROPOSED

3.0 PROPOSAL SUMMARY

3.2 PROPOSAL OVERVIEW - SIDE BY SIDE PLAN COMPARISON

Removed Conservatory



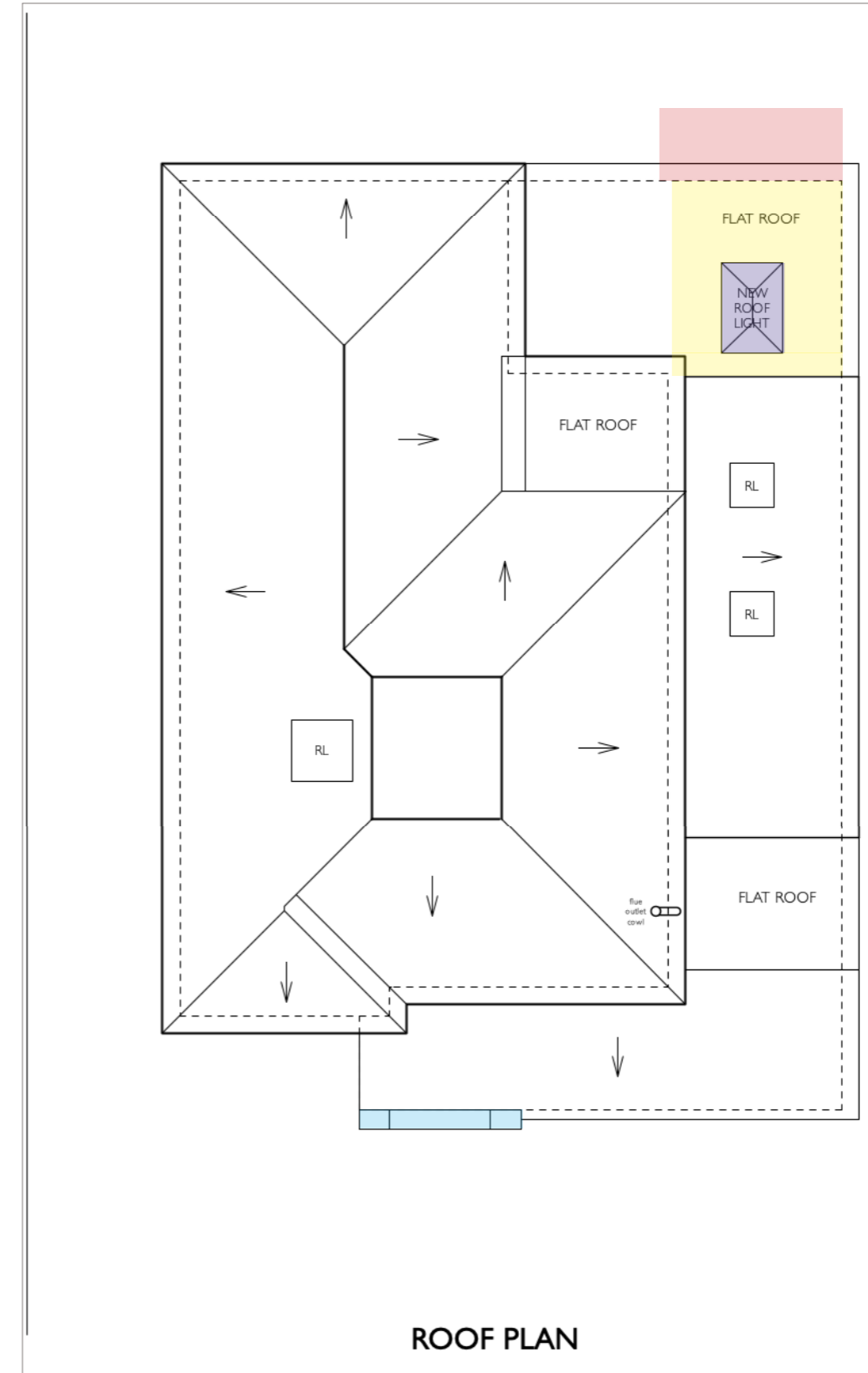
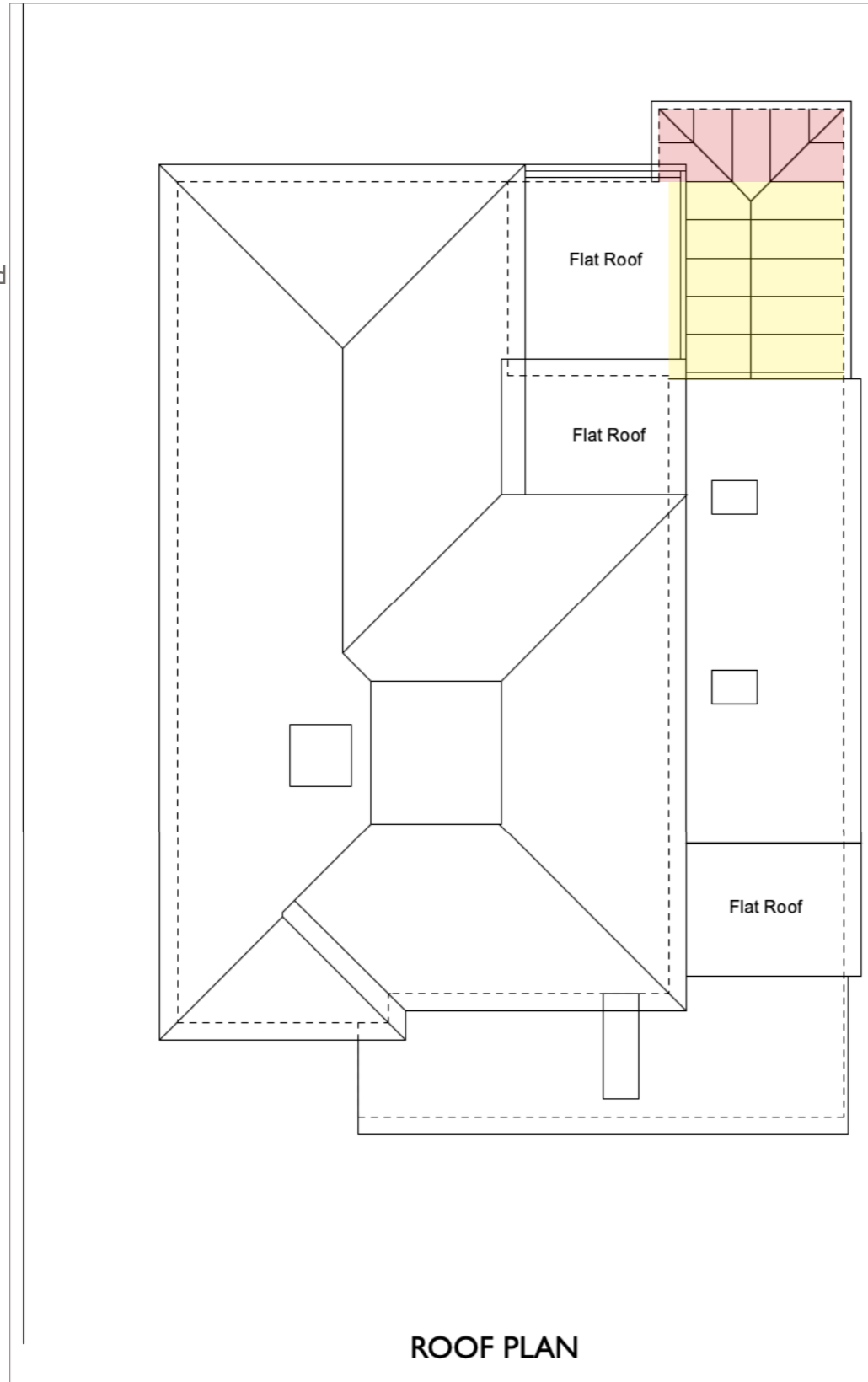
Conservatory Roof Removed & Flat roof Extended



Roof Lantern



Front Entrance Doorway at Ground Floor



4.0 SITE PHOTOGRAPHS

27/02/2024

4.1 THE SITE - FORECOURT, REAR AND SIDE ELEVATION.



View of the front elevation.



Views of the side elevation that faces south



View towards the side elevation with balcony and conservatory.



View of the rear elevation.

5.0 EXISTING DRAWINGS

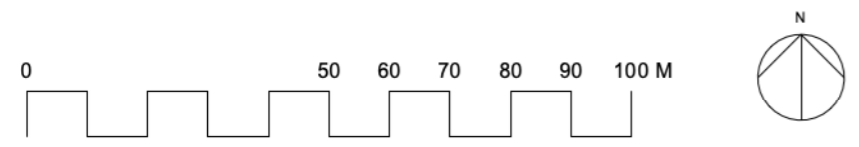
5.1 LOCATION PLAN



1:1250 Location Plan

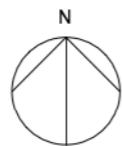
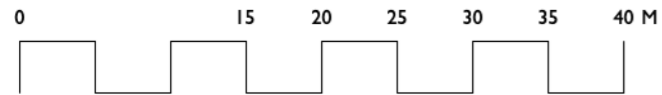


Aerial View.



5.0 EXISTING DRAWINGS

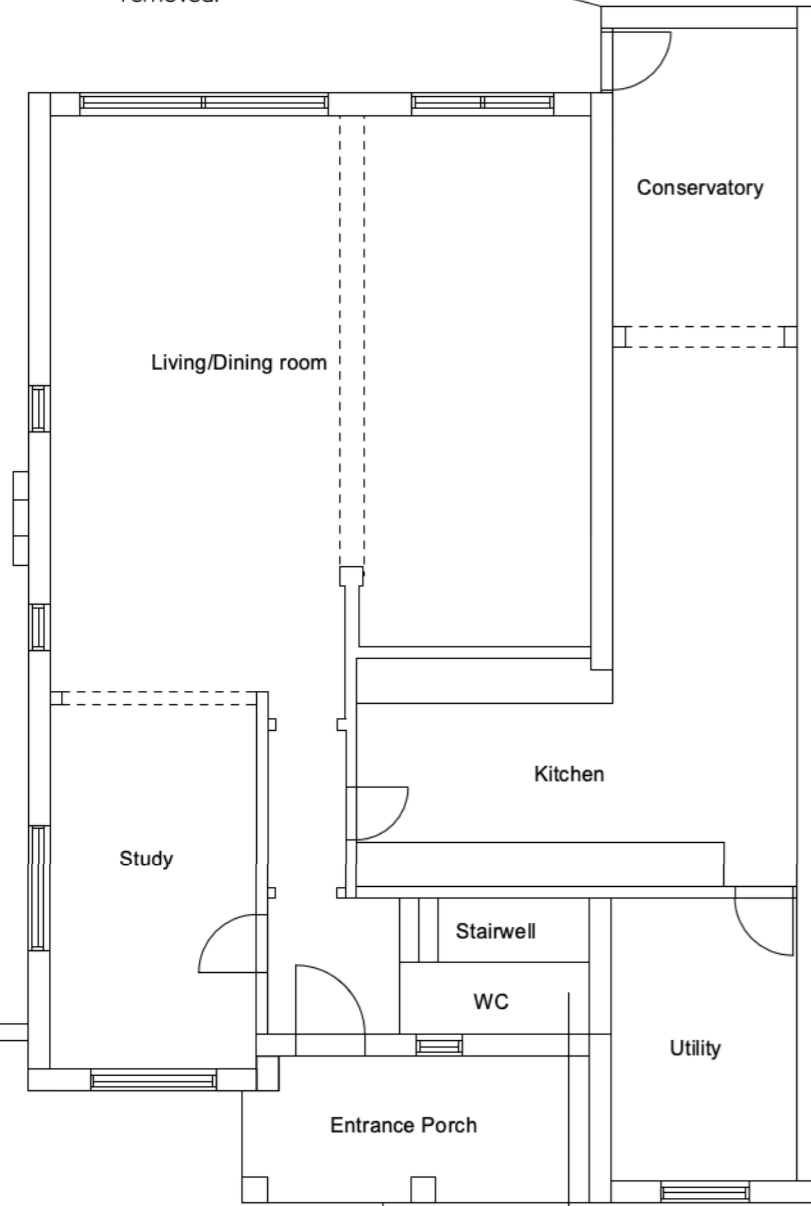
5.2 EXISTING BLOCK PLAN



5.0 EXISTING DRAWINGS

5.3 EXISTING FLOOR PLANS

Adaptation to brickwork of projecting chimney stack to allow for new window to staircase half landing. New matching facing brickwork to be stitched in.
Existing conservatory to be removed.

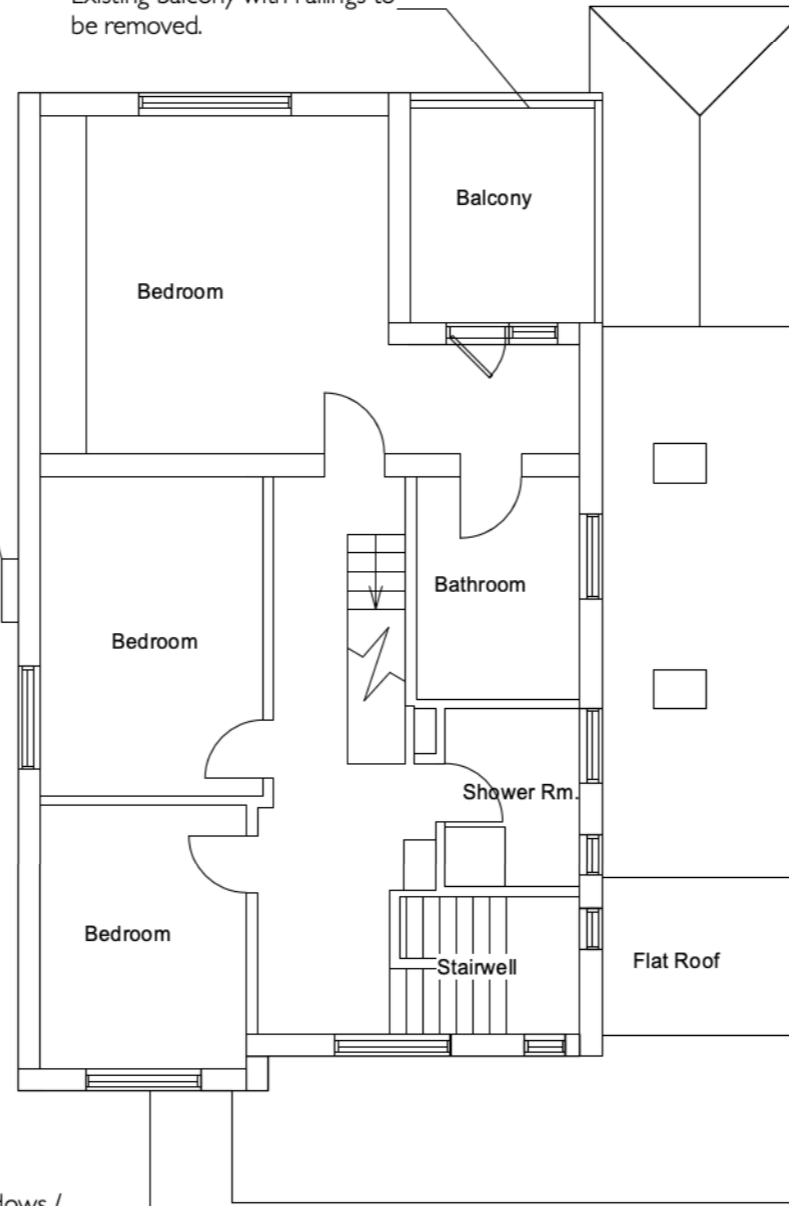


Adaptations to front entrance to form new porch entryway.

Internal reconfiguration of entire dwelling, together with replacement of windows / doors, infill of openings to suit proposed layout. Refer to the proposed plans and elevations for extent.

GROUND FLOOR PLAN

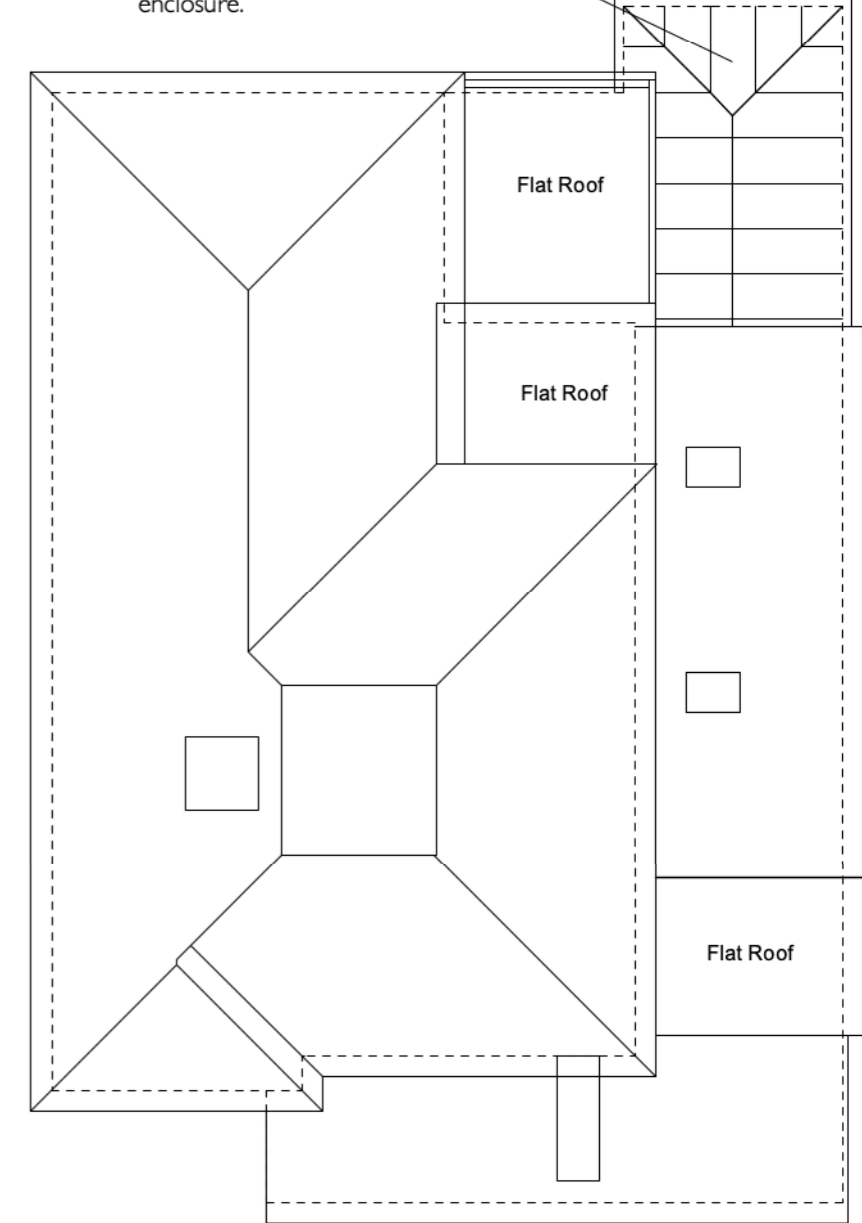
Existing balcony with railings to be removed.



All windows / external doors to be replaced with new &/or openings to be bricked-up where openings are no longer required. Refer to the proposed elevations.

FIRST FLOOR PLAN

Existing conservatory roof to be removed and flat roof to be extended over to form enclosure.



ROOF PLAN



5.0 EXISTING DRAWINGS

5.4 EXISTING ELEVATIONS



Adaptations to front entrance to form new porch entryway.

FRONT ELEVATION

Existing balcony with railings to be removed.

Existing conservatory roof to be removed and flat roof to be extended over to form enclosure.

Existing conservatory to be removed.



Doors and windows to rear elevation to be replaced and or openings adapted or infilled. Refer to the proposed elevations.

REAR ELEVATION



SIDE ELEVATION (north facing)

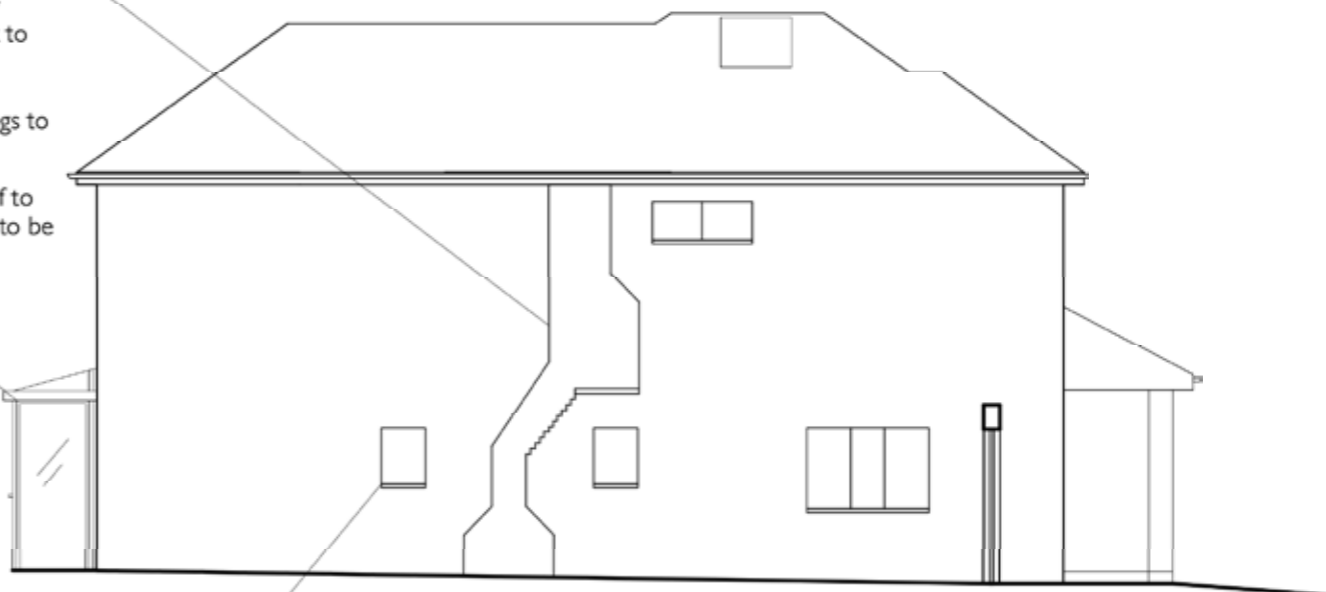
Adaptation to brickwork of projecting chimney stack to allow for new window to staircase half landing. New matching facing brickwork to be stitched in.

Existing balcony with railings to be removed.

Existing conservatory roof to be removed and flat roof to be extended over to form enclosure.

Existing conservatory to be removed.

Windows to the side elevation to be replaced and or openings infilled. Refer to the proposed elevations.

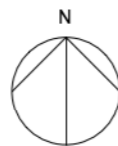
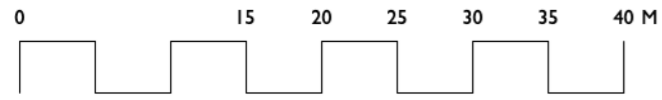


SIDE ELEVATION (south facing)



6.0 PROPOSED DRAWINGS

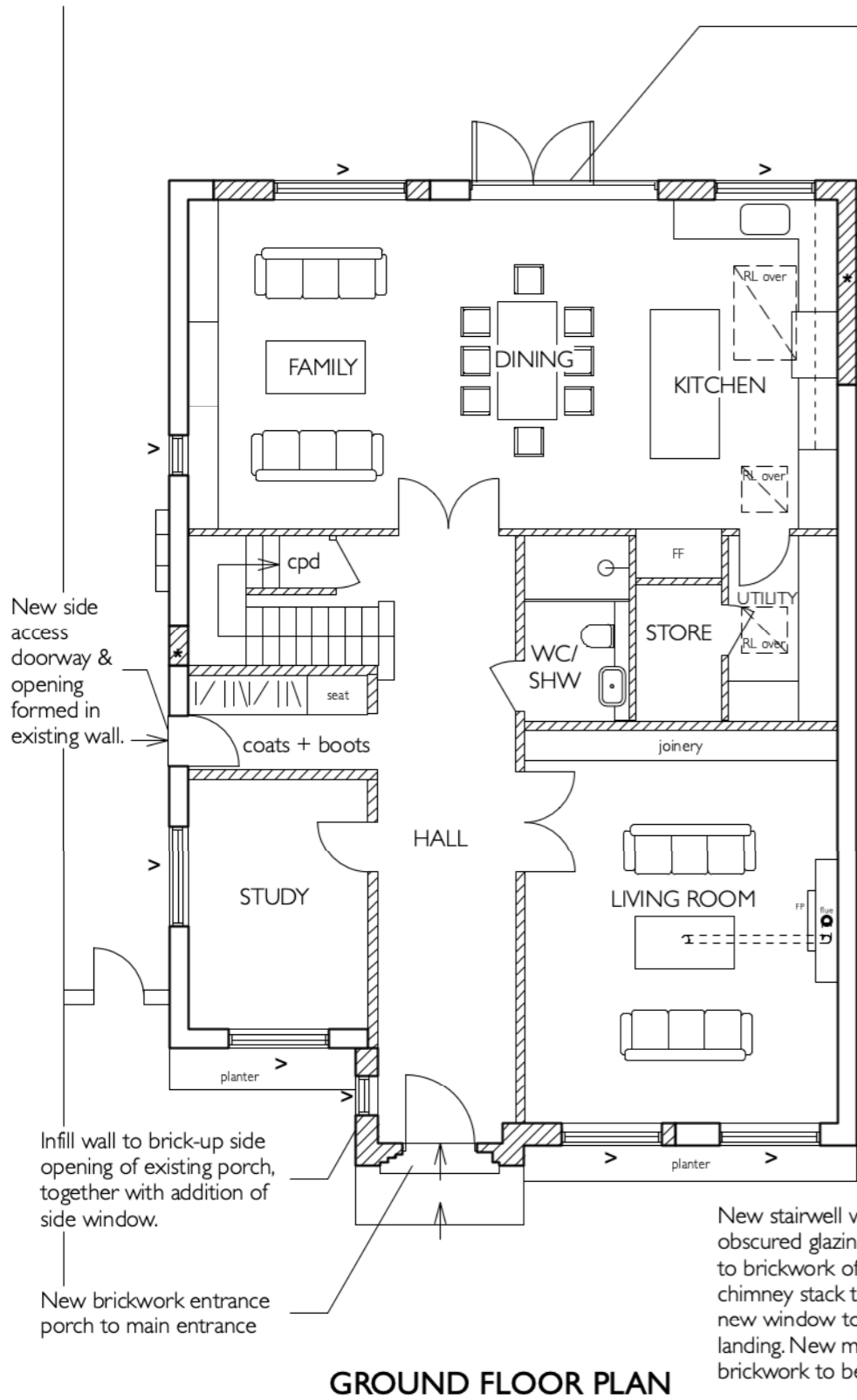
6.1 PROPOSED BLOCK PLAN



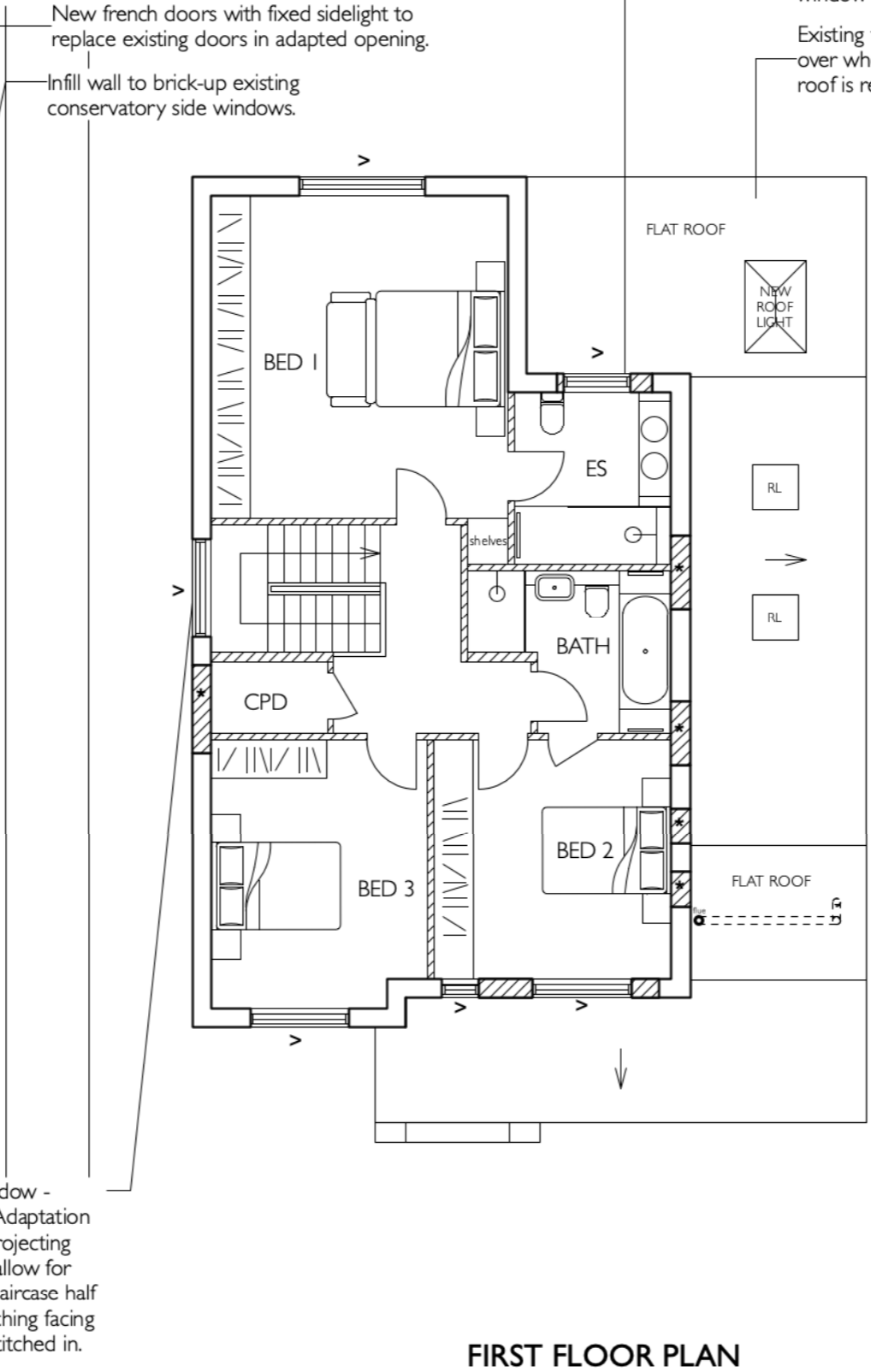
6.0 PROPOSED DRAWINGS

27/02/2024

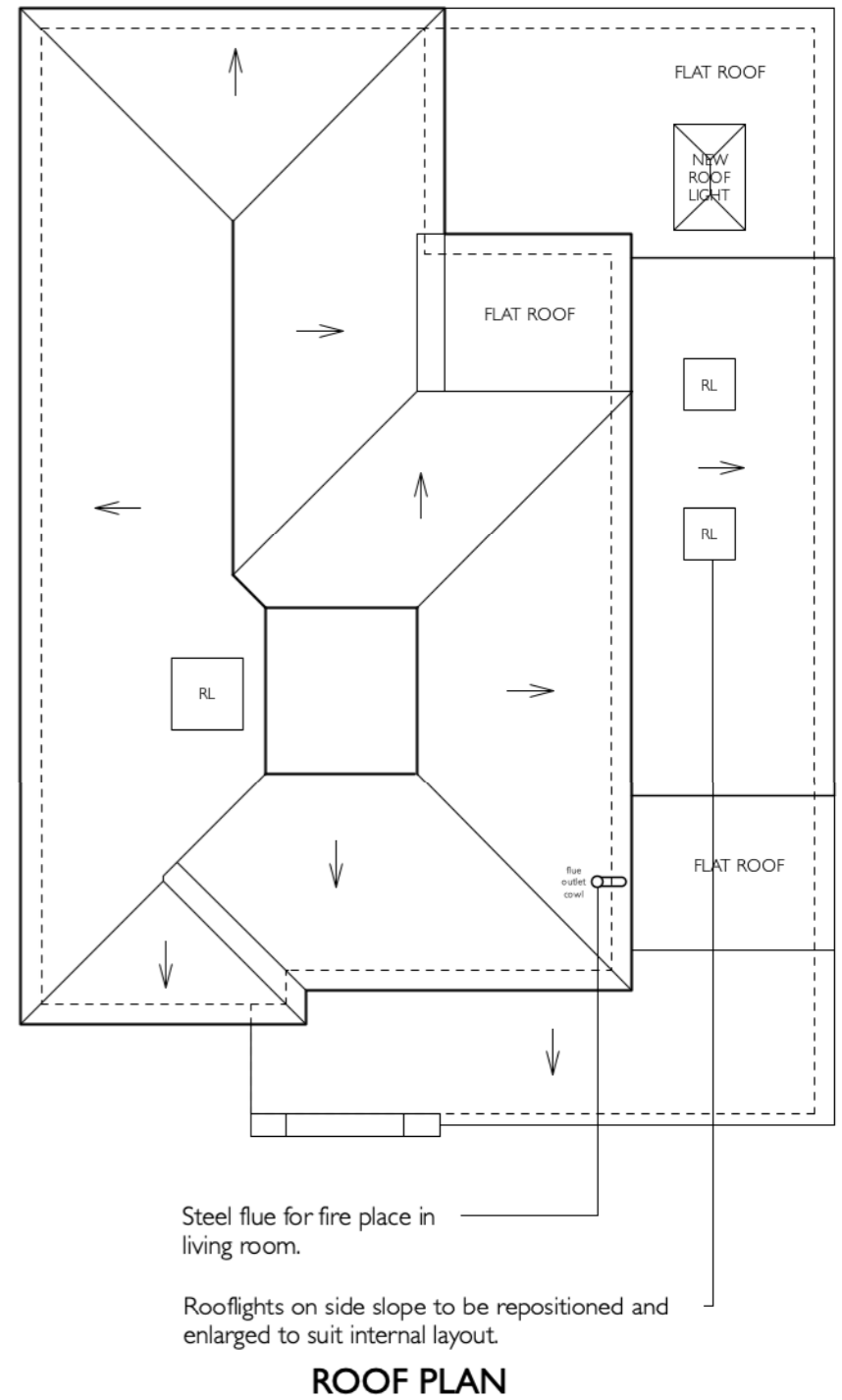
6.2 PROPOSED FLOOR PLANS



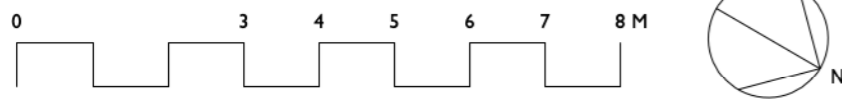
GROUND FLOOR PLAN



FIRST FLOOR PLAN



ROOF PLAN



Key

	NEW WALLS / AREAS OF INFILL
	EXISTING WINDOWS REMOVED & OPENINGS BRICKED-UP
	NEW WINDOWS.

6.0 PROPOSED DRAWINGS

6.3 PROPOSED ELEVATIONS



SKETCH VIEW OF FRONT PORCH



FRONT ELEVATION

New planter beds either side of entryway.
New brickwork entrance porch to main entrance, with new door & steps.

New stairwell window - obscured glazing. Adaptation to brickwork of projecting chimney stack to allow for new window to staircase half landing. New matching facing brickwork to be stitched in.

No change to roof. To be retained as existing.

Existing door/window opening adapted to window & existing balcony railings removed.

New roof lantern rooflight

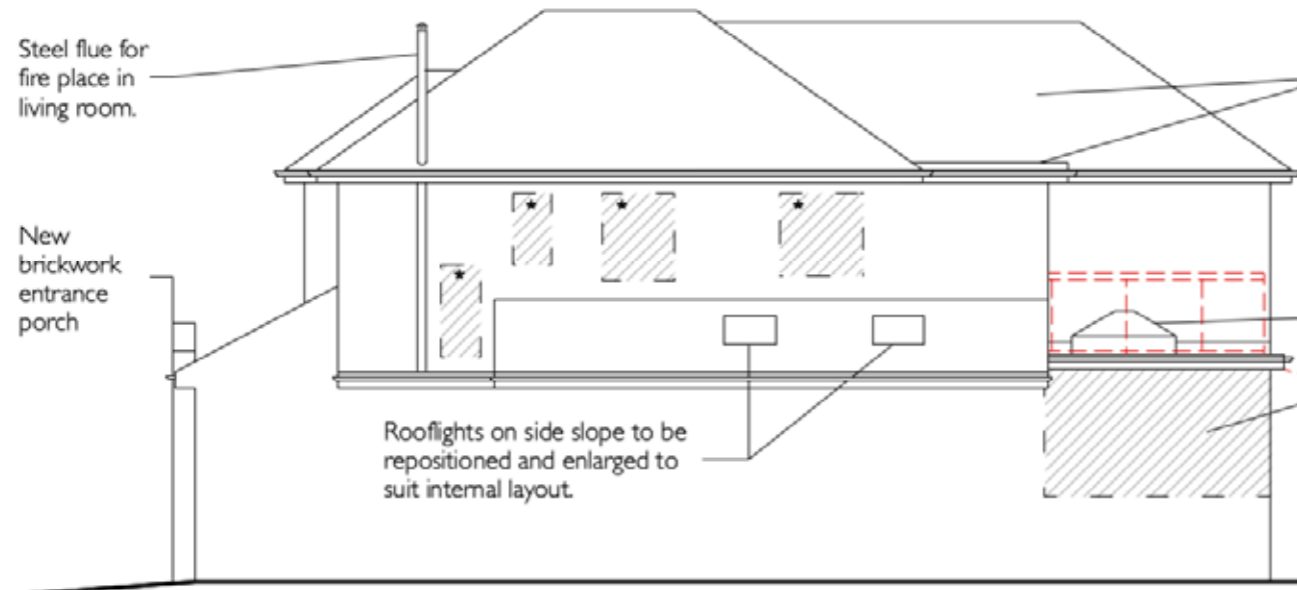
Existing conservatory removed and flat roof extended over to form enclosure.

New french doors with fixed sidelight to replace existing doors in adapted opening.



REAR ELEVATION

Existing doorway opening adapted for new window & remainder of opening bricked-up.



SIDE ELEVATION (north facing)

Steel flue for fire place in living room.

New brickwork entrance porch

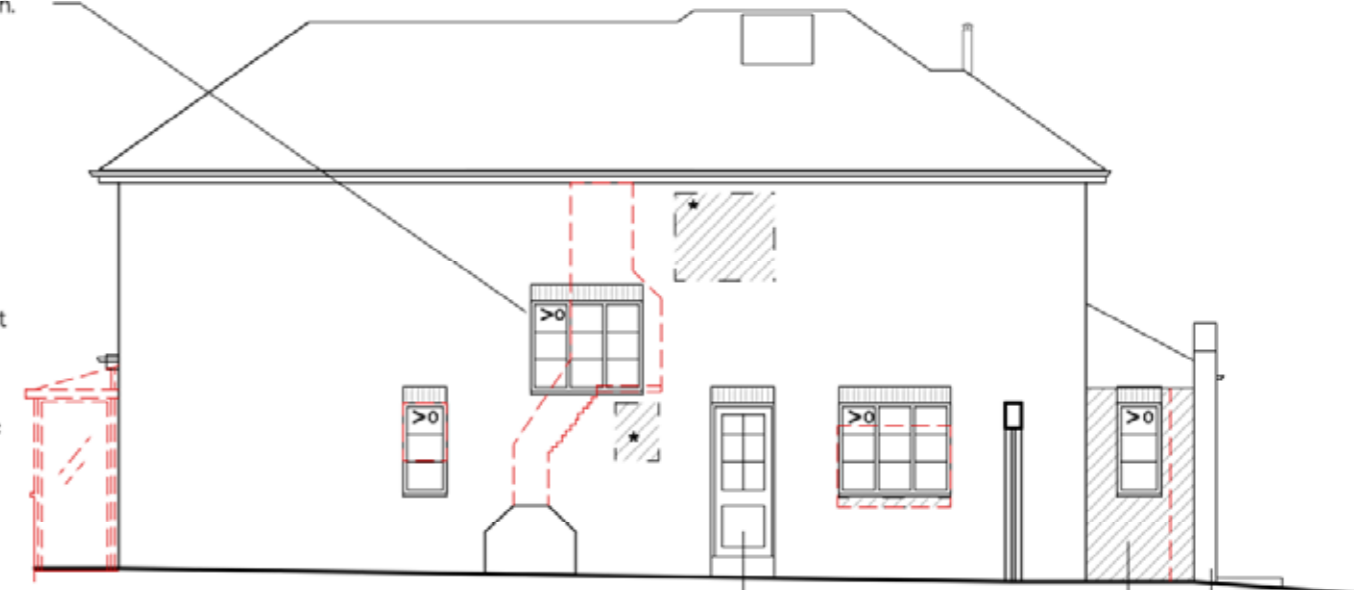
Rooflights on side slope to be repositioned and enlarged to suit internal layout.

No change to roof. To be retained as existing.

* Existing windows removed & openings bricked-up

New roof lantern rooflight

Infill wall to brick-up existing conservatory side windows.



SIDE ELEVATION (south facing)

New side access doorway & opening formed in existing wall.

Infill wall to brick-up side opening of existing porch, together with addition of side window.

New brickwork entrance porch with step



Key

	DEMOLITION
	AREAS OF INFILL
*	EXISTING WINDOWS REMOVED & OPENINGS BRICKED-UP
>	NEW WINDOWS.
O	OBSCURED

The proposal for the house is not considered to result in detrimental harm the neighbouring area or the Green Belt. The character and appearance of the area will be improved by the proposed minor alterations.

Proposed minor alteration to front elevation will reinstate a sense of arrival in a style appropriate to the mid-19th Century period of the house and eliminate a muddled fenestration pattern.

Removal of the existing 1st floor rear balcony will eliminate overlooking of the neighbour's garden and is more in keeping with original design of the house.

Reduction in size of the conservatory, its removal and change of the rear side elevation to brick will simplify the appearance of rear side elevation.

The refinements proposed to the existing dwelling will improve the use of the available space for the occupants, enhance the appearance of the dwelling and improve neighbouring amenity.

The proposed extensions and alterations respect the character and visual amenity of the Green Belt and do not impact the openness of Green Belt land.

Our design process has involved a pre-application consultation with the local authority to enable early-stage engagement of the proposals to address any key concerns at the onset of the design development process to assist with optimising the planning process.