

PLANNING STATEMENT



Conversion of Barn to Form a Dwelling and Associated Works and Infrastructure

**Siddicks Farm
Sandhall Road
Skelton
DN14 7RH**

On Behalf of Mr & Mrs McDougall

February 2024

CONTENTS

1.0	Introduction	1
2.0	Description of Site and Proposed Development	2
3.0	Planning History	4
4.0	Planning Policy	5
5.0	Planning Considerations	8
6.0	Conclusion	15

1.0 Introduction

1.1 Gallagher Planning is pleased to submit the planning application which this report accompanies. The application has been submitted on behalf of Mr & Mrs McDougall and seeks planning permission for the conversion of an agricultural barn to form a dwelling.

1.2 The site boundary is identified below in Image 1.

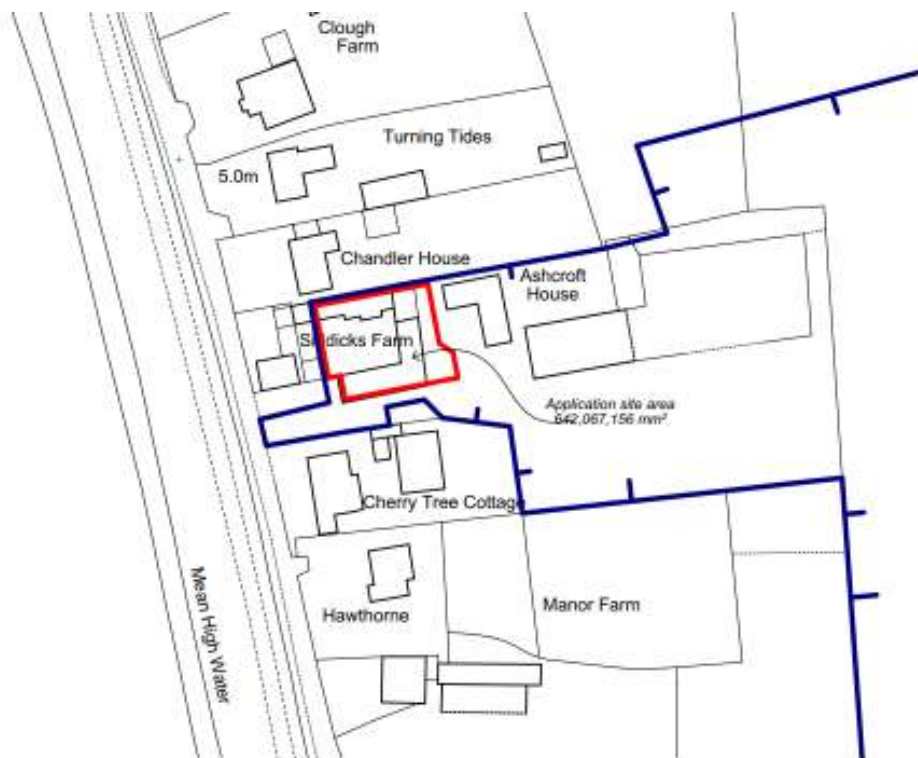


Image 1: Site location plan

1.3 The application is also accompanied by a full set of planning drawings and a flood risk assessment prepared by Walker Graham Architects, protected species report prepared by BM Ecology and a structural report prepared by H Designs Ltd.

2.0 Description of Site and Proposed Development

- 2.1 The application site is located on Sandhall Road, Skelton. The site is located at approximate National Grid Reference SE 76616 25705.
- 2.2 The proposal is for the conversion of a redundant traditional barn to form a 2-bed dwelling. Access to the site is via the existing access from Sandhall Road.
- 2.3 Image 2 below is an aerial photograph of the site and its immediate context. The context of the site is predominantly residential, and the site is located adjacent to the River Ouse.



Image 2: Aerial photograph of site
(Source: Google Earth)

- 2.4 Image 3 below shows the proposed site layout:

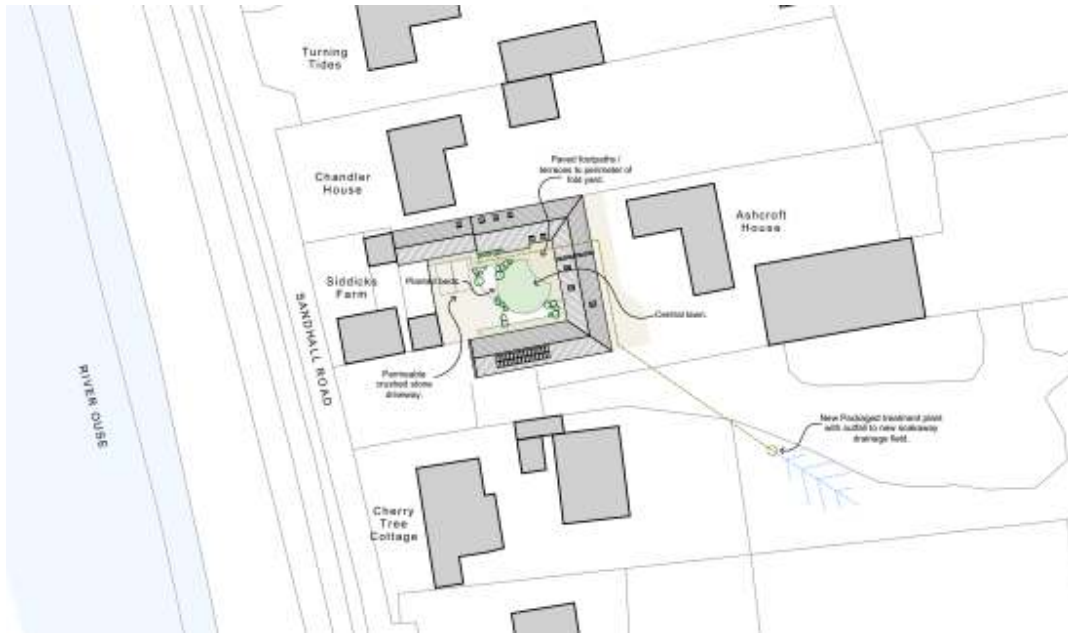


Image 3: Proposed site plan

3.0 Planning History

- 3.1 Based on information available on the East Riding of Yorkshire Council's website, there is no planning history on this site.

4.0 Planning Policy

Local Planning Policy

4.1 Applications are to be determined in accordance with the policies in the Development Plan. In this case, the Development Plan for the area comprises the East Riding Local Plan Strategy Document (ERLP) adopted in April 2016 and the Allocations Document that was adopted in July 2016.

4.2 The policies most relevant to this proposal are:

- Policy S4 – Supporting development in Villages and the Countryside – recognises the importance of a working, living and attractive countryside.
- Policy H4 – Making the most efficient use of land – supports new residential development where it makes effective use of land or buildings.
- Policy ENV1 – Integrating high-quality design – seeks to achieve high-quality design, safeguarding and reflecting the distinctiveness of the local area.
- Policy ENV4 – Conserving and enhancing biodiversity and geodiversity - seeks to ensure that biodiversity and geodiversity are conserved and enhanced in the East Riding.
- Policy ENV6 – Managing environmental hazards – seeks to manage environmental hazards including flood risk and groundwater pollution to ensure that development does not result in unacceptable consequences to its users, the wider community, and the environment.

National Planning Policy

4.3 The National Planning Policy Framework (NPPF) (December 2023) is a material consideration and is the Government’s overarching framework for planning policy.

4.4 The NPPF identifies those applications that should be considered in the context in favour of sustainable development (paragraph 10).

4.5 Proposals that accord with the development plan should be approved without delay and where it is silent or relevant policies are out of date, permission should be granted

unless any adverse effects of doing so would significantly and demonstrably outweigh the benefits when assessed against the NPPF as a whole, or specific policies within the NPPF indicate that development should be restricted (Paragraph 11).

4.6 Section 11 of the NPPF relates to making effective use of land. Planning policies and decisions should promote the effective use of land in meeting the need for homes and other uses. While safeguarding and improving the environment and ensuring safe and healthy living conditions. This includes encouraging multiple benefits from both urban and rural land and taking opportunities to achieve net environmental gains – such as development that would enable new habitat creation or improve public access to the countryside and the development of under-utilised land and buildings.

4.7 The Government also seeks to secure high-quality design and a good standard of amenity for all existing and future occupants of buildings. Paragraph 131 places great importance on the design of the built environment, stating:

“The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities.”

4.8 Paragraph 135 states that

“Planning policies and decisions should ensure that developments:

a) will function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development;

b) are visually attractive as a result of good architecture, layout and appropriate and effective landscaping;

c) are sympathetic to local character and history, including the surrounding built environment and landscape setting, while not preventing or discouraging appropriate innovation or change (such as increased densities);

d) establish or maintain a strong sense of place, using the arrangement of streets, spaces, building types and materials to create attractive, welcoming and distinctive places to live, work and visit;

e) optimise the potential of the site to accommodate and sustain an appropriate amount and mix of development (including green and other public space) and support local facilities and transport networks; and

f) create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users⁴⁹; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience.”

5.0 Planning Considerations

Principle of Development

- 5.1 The proposed development lies on Sandhall Road, Skelton. The site lies within the defined settlement limits of Skelton.



Image 4: ERYC policies map extract, Skelton
(Source: ERYC Policies Map)

- 5.2 Policy S4 is the over-arching policy in the East Riding for development in villages and countryside. Part B of this policy states:

Within the development limits of Villages, as set out on the Policies Map, the following forms of development will be supported where it does not detract from the character and appearance of the village:

- 1. New housing, usually comprising a single dwelling;*
- 2. Affordable housing for local people;*
- 3. New and/or enhanced local services and facilities; and*
- 4. Economic development.*

- 5.3 As this proposal is for housing comprising of a single dwelling, the principle of development for this proposal would be considered to be supportable.

Design

- 5.4 One of the core planning principles of the NPPF is that planning should seek to secure high-quality design and a good standard of amenity for existing and future occupants of land and buildings. National planning policy recognises the role that high-quality design plays in creating sustainable places. Good design is a key aspect of sustainable development and should contribute positively to making places better for people. The NPPF advises that in the assessment of design, consideration where appropriate should be given to layout, form, scale, detailing and materials.
- 5.5 Paragraph 131 of the NPPF states that *“The creation of high quality, beautiful and sustainable buildings and places is fundamental to what the planning and development process should achieve. Good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities..”*
- 5.6 Paragraph 135 seeks to ensure that developments function well and add to the overall quality of the area: are visually attractive; are sympathetic to local character and history; establish or maintain a strong sense of place: optimise the potential of the site; and create places that are safe, inclusive and accessible.
- 5.7 Policy ENV1 requires all proposals to contribute to safeguarding and respecting the diverse character and appearance of the area through their design, layout, construction and use and has regard to the specific characteristics of the site’s wider context and the character of the surrounding area having an appropriate scale, density, massing, height and material.
- 5.8 The image below shows the proposed site plan for this development:

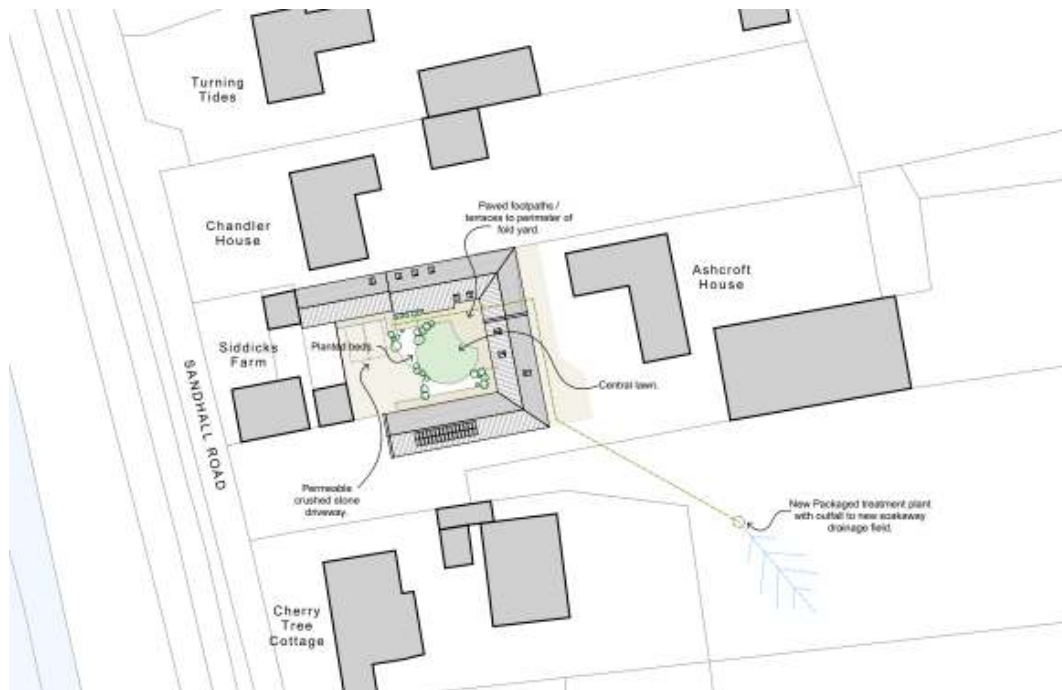


Image 4: Proposed site plan

- 5.9 The proposed development has been designed by Walker Graham Architects. The proposal consists of a high-quality barn conversion that has been designed taking into account the traditional form of the barn and the use of existing openings where possible.
- 5.10 It is proposed to landscape the fold yard which will provide parking and turning alongside lawn, paved terraces and planted beds.
- 5.11 Image 5 below shows a sketch perspective of the proposal with annotations of aspects of the design.

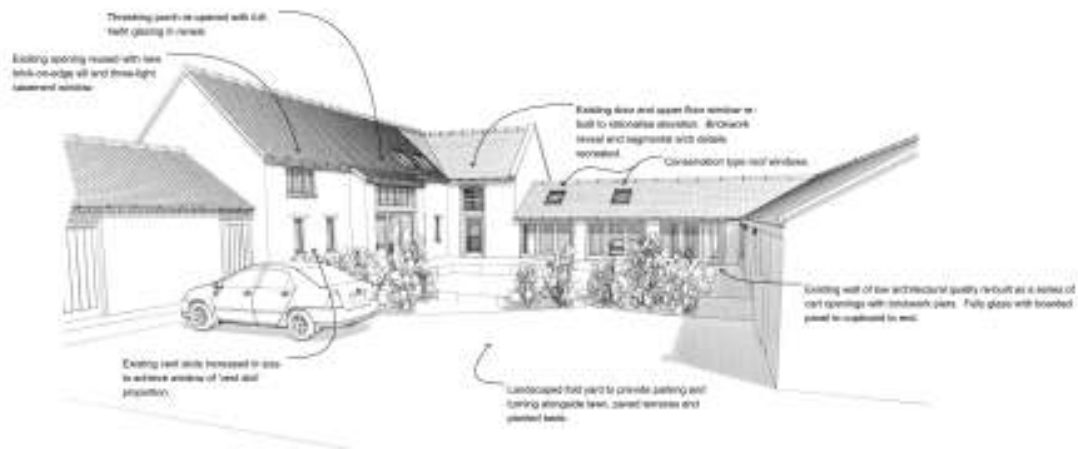


Image 5: Proposed sketch perspective from the yard

- 5.12 The proposed design will respect the traditional character of the barn whilst also adding features that enhance the setting of the area as a whole.

Impact on Residential Amenity

- 5.13 Relevant policies in respect of the impact of the proposal on residential amenity include Policy ENV1 of the ERLP.
- 5.14 The NPPF sets out that development should create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users (paragraph 135). Good design requires that development proposals should ensure no undue adverse impact from overlooking, overshadowing or from over-dominant structures.
- 5.15 The proposal has been designed to ensure that there is a good standard of residential amenity and there is no impact on neighbours through overlooking or overshadowing. The nearest dwelling is Ashcroft House to the rear of the site which is owned by the applicant.
- 5.16 In addition, although the buildings are currently redundant agricultural buildings, these could be brought back into agricultural use in the future. The removal of the

agricultural use/potential for agricultural use on the site will have a positive impact on the surrounding residential amenity.

- 5.17 As such, it is considered that the proposal would not have any significant adverse impacts on the amenities of occupiers of neighbouring properties. The proposed development would, therefore, comply with Policy ENV1 of the ERLP and guidance set out in the NPPF.

Ecology

- 5.18 Policy ENV4 relates to the importance of conserving and enhancing biodiversity and geodiversity and that any development which would have an adverse impact on an important habitat or species should be avoided as far as possible.

- 5.19 The NPPF states that if significant harm to biodiversity resulting from development cannot be avoided, adequately mitigated, or as a last resort, compensated for, then planning permission should be refused.

- 5.20 A protected species report prepared by BM Ecology accompanies this planning application.

- 5.21 Within the executive summary of this report it states:

“It is considered that given the working practices and proposed mitigation discussed within this report, the development is not likely to result in a significant adverse effect on bats at the Site level.”

- 5.22 More detailed information can be found within the accompanying protected species report.

Flood Risk

- 5.23 Policy ENV6 of the ERLP seeks to manage environmental hazards such as flood risk, coastal change, groundwater pollution and other forms of pollution to ensure that

development does not result in unacceptable consequences to its users, the wider community and the environment.

5.24 The site is situated in Flood Risk Zone 3 (see image below). As a result, this planning application is accompanied by a flood risk assessment prepared by Walker Graham Architects.

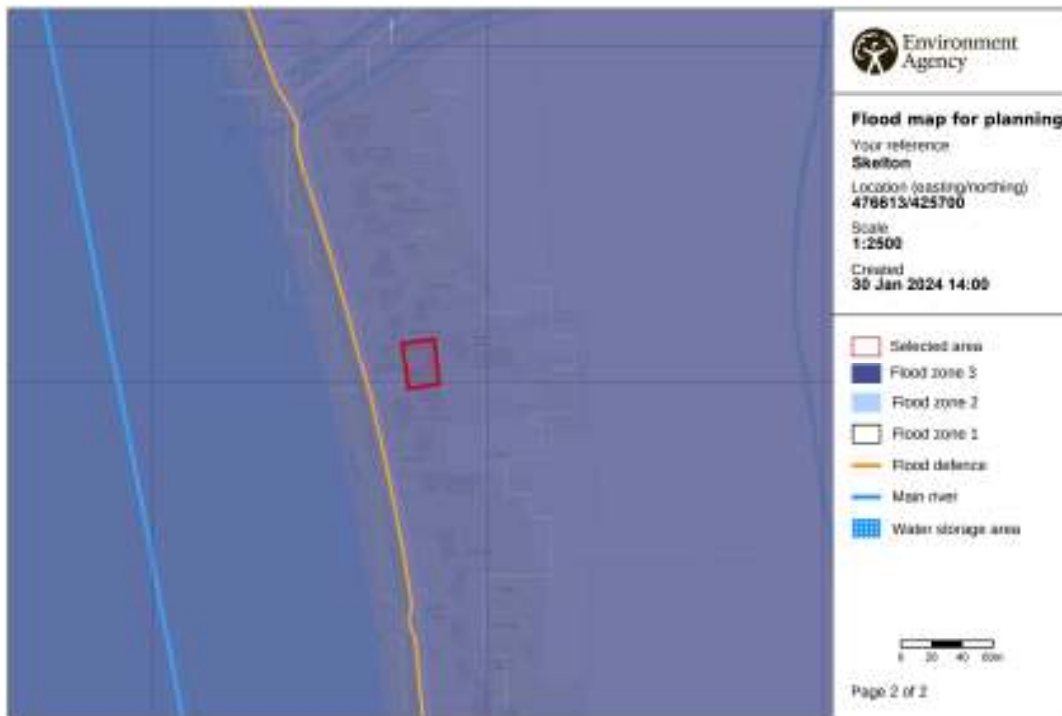


Image 6: Flood map for planning, Skelton (Source: Environment Agency)

5.25 This statement concludes:

“the risk from a flood event at the application site can be mitigated through passive design to allow the successful conversion of the redundant agricultural buildings to a single dwellinghouse.”

5.26 Further details of these mitigation measures can be found in the accompanying flood risk assessment and application drawings.

Structural Condition of the Barn

- 5.27 Policy S4 states that 'in order to be considered suitable for conversion to residential use, an existing building must be structurally sound and capable of re-use without significant rebuilding, alteration or substantial extensions.'
- 5.28 This application is accompanied by a structural report for the barn prepared by H Designs Ltd.
- 5.29 The report concludes that '*The existing buildings are generally structurally sound and suitable for conversion to a domestic property.*'

6.0 Conclusion

- 6.1 It is considered that the principle of development is supportable due to the site's location within the development limits of Skelton.
- 6.2 The scheme represents a high-quality design, which is sympathetic to the character of the area and traditional form of the barns.
- 6.3 The proposal is not considered to have any detrimental impact on the residential amenity of any neighbouring dwellings.
- 6.4 Mitigation measures have been proposed which take into account the site's location in flood zone 3.
- 6.5 In summary, it has been demonstrated that there are no policies or other material considerations which would suggest that planning permission should not be granted.
- 6.6 We confirm that we represent the applicant with respect to this planning application. We will be in touch with the appointed planning officer in the coming weeks to discuss the proposed development.