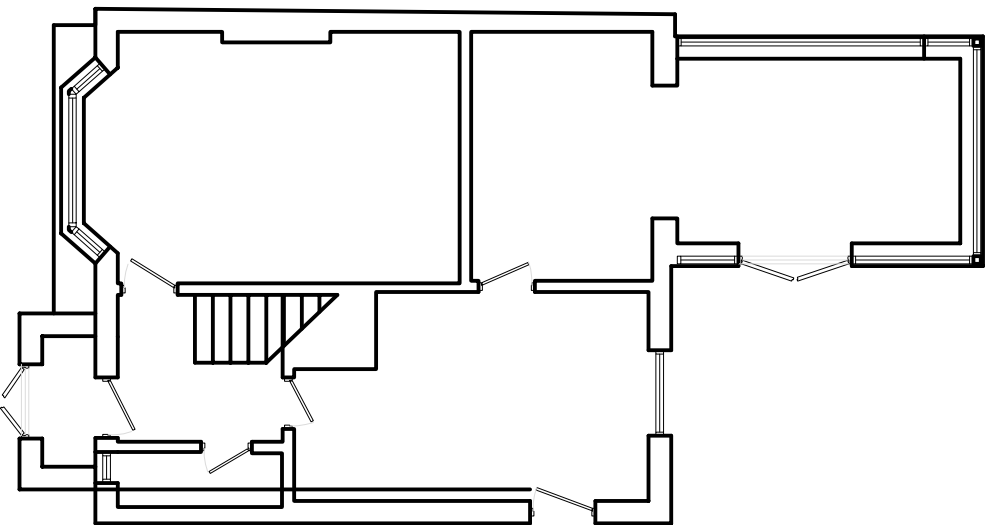
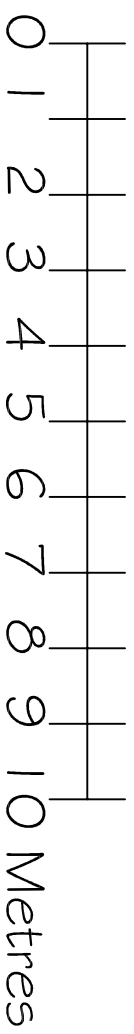
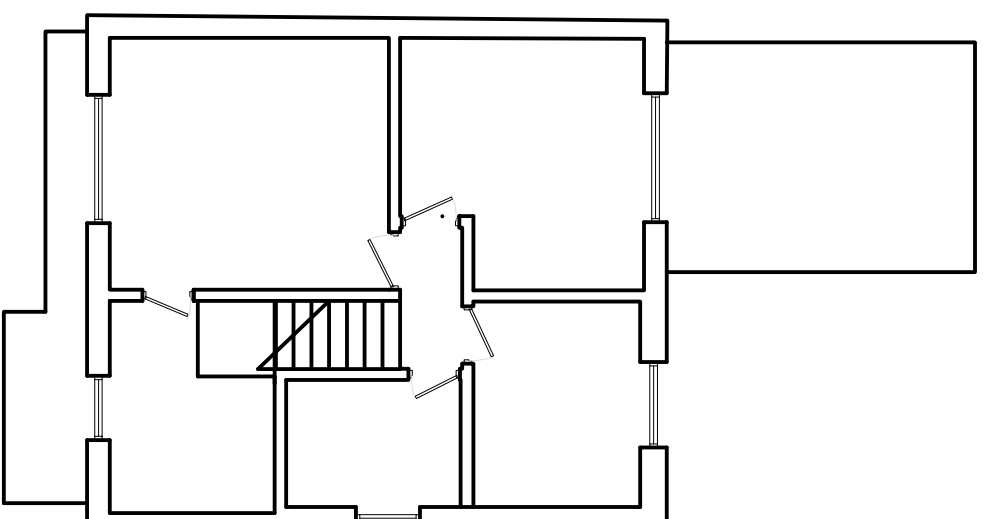


Drawings to be read in conjunction with all other drawings of this series. DO NOT scale for construction purposes

1:100



Existing ground floor plan



Existing first floor plan

Party Wall Act
Notices under the Party Wall Act are to be served by the building owner or appropriate body appointed by the building owner.
For further information on the Party Wall etc Act 1996:
<http://www.communities.gov.uk/documents/planningandbuilding/pdf/133214.pdf>

Building Contract
It is recommended that a formal written agreement is put in place between the building owner and the building contractor.
A typical agreement that protects both owner and builder would be produced by the JCT.

CDM 2007 Regulations
The Construction (Design and Management) Regulations 2007 applies to all construction work. Designers, builders and Clients all have duties under the regulations.

GENERAL NOTES
Materials to match existing.

These notes do not comprise a full specification. The drawings are for building regulation purposes only and are not working plans. They do not comprise of a complete specification for the whole of the works. Their primary function is to assist the local authority inspector to determine compliance in line with building regulation standards.

Where further clarifications are required contractor shall refer to the client for details and instruction.

All dimensions must be checked by the contractor and any discrepancies noted in writing

All works must be carried out in accordance with current Building Regulations, Codes of Practice and Planning Officers requirements.

All materials must comply with current British Standards in situations used.

Client
Darren Emsley

Property
73 Centunan Way

Team
Brough

Projectcode
HU15 1DF

Drawing
Existing plans



Date
22.01.24

Scale
1:100@A3

Drawn
DEO1

Neil Walker BSc(Hons) Architectural services