



**Heritage, Design and Access Statement for  
The South-West Cottage at  
The Old House  
Bridge Green  
Duddenhoe End  
CB11 4XA  
February 2024**



**Property Address:**

The Old House  
Bridge Green  
Duddenhoe End  
Saffron Walden  
CB11 4XA

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## 1. Introduction

This Heritage, Design and Access Report is written in support of a householder planning and listed building application for external and internal proposals to the late C20th (post 1948, non-curtilage listed) Cottage that sits to the South-West of the Grade II Listed dwelling, The Old House. The South West Cottage sits separately to The Old House dwelling and it was constructed in the 1970s, so is not curtilage listed. This application has been submitted as it is accepted that alteration to the exterior of the Cottage will influence the setting of the Grade II Listed dwelling, The Old House.

These works are proposed to improve the appearance of the South West Cottage in relation to its setting as well as improving the thermal performance and internal arrangement of a 1970's annexe to the house.

Details of the proposals are contained within this report and are illustrated on the accompanying submission drawings.

## 2. Understanding South West Cottage in relation to The Old House and the evolution of the Site.

The Old House became Grade II listed on the 22<sup>nd</sup> February 1980.

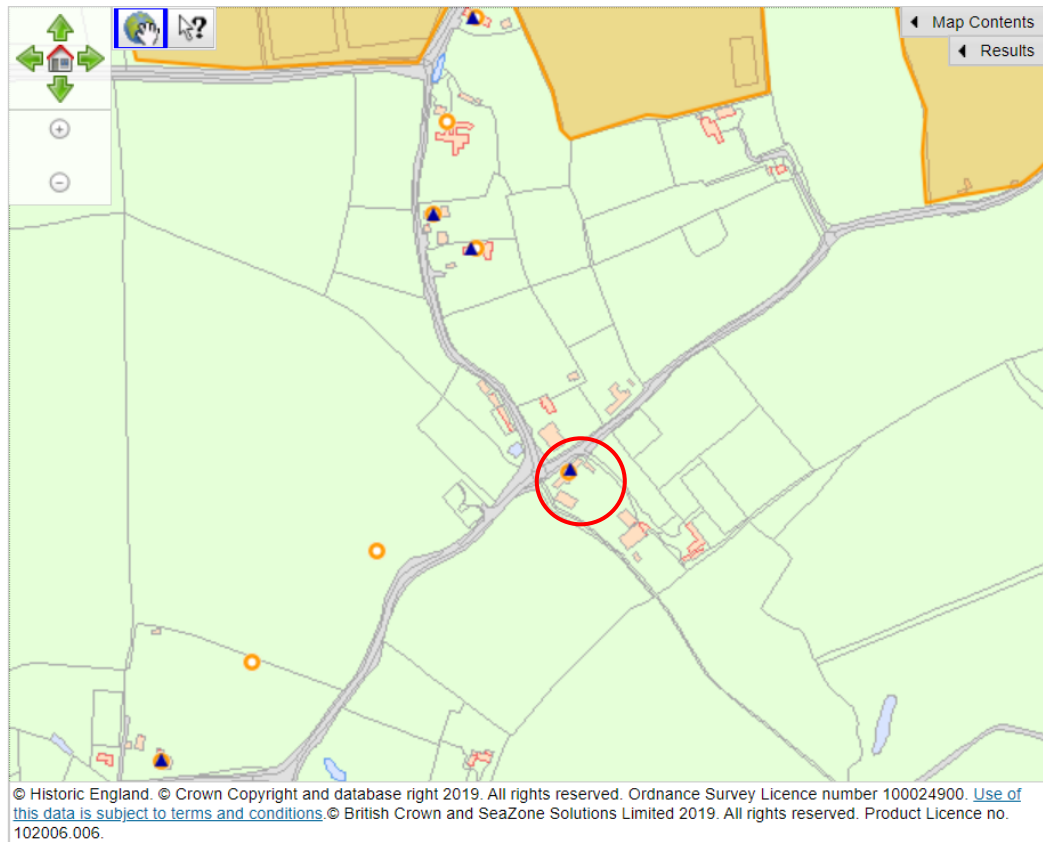
*'Early C18 timber-framed and plastered building. Formerly a range of cottages, now one tenement. Renovated. One storey and attics. Small casement windows with lattice leaded lights. Roof thatched, hipped, with 4 gabled dormers. Listing NGR: TL4658936959'*

The Old House is timber-framed, plastered under a thatch roof. The oldest core of the house dates to the C17<sup>th</sup>/18<sup>th</sup> and consists of the central part of the house, with a typical lobby-entrance plan, of this period. The front entrance lobby opposite the central large fireplace and stack. The Dining room bay would have been the former Hall, which was effectively a dining room. The entrance hall is the former Parlour and the Sitting Room would have been the Buttery/Pantry service room. In the late C20<sup>th</sup> the house was extended to the North with an additional bay, which is now used as the Kitchen with a bedroom in the attic space. The house also had a half bay addition at the South end added in the 1970s, which is where the snug room is now located.

The South-West Cottage, which is perpendicular to the house, was constructed in the 1970s and is of blockwork cavity wall construction with a rendered exterior under a thatched roof over two floors. It is connected by a wall and archway to the Grade II Listed Dwelling, The Old House. There is also a 1970s wine store and archway entrance building perpendicular to the cottage on the North side. As the South West Cottage was constructed post 1948, it is considered not to be Curtilage Listed and therefore internal alterations do not require listed building consent. It is accepted that external alterations to the South West Cottage shall require householder planning and listed building consent.

## Heritage Environment Record

On Heritage Gateway – There are 6 Grade II Listed properties within 500m.



### Legend

- |   |   |
|---|---|
| ▲ Listed Building (NHLE)                      | ■ Scheduled Monument (centre point)           |
| ■ EH PastScape                                | ■ Registered Park/Garden (centre point)       |
| ○ Local HER record points                     | ■ Registered Battlefield (centre point)       |
| ▲ Local HER record polygons                   | ■ Protected Wreck Site (centre point)         |
| ○ National Trust HBSMR                        | ■ World Heritage Site                         |
| ■ Building Preservation Notice                | ■ Certificate of Immunity                     |
| ◆ Designation Decision Records De-listed      | ✱ Designation Decision Records Non-designated |
| ● Parks and Gardens (Non Statutory Data)      | ■ Expired Certificate Of Immunity             |
| ✚ Church Heritage Record (Non Statutory Data) | ✚ NMR Excavation Index                        |

Figure 1. Heritage Gateway map showing Old House (circled) and neighbouring heritage assets.

**National Trust HBSMR** confirms that there are no records within 250m of the site.

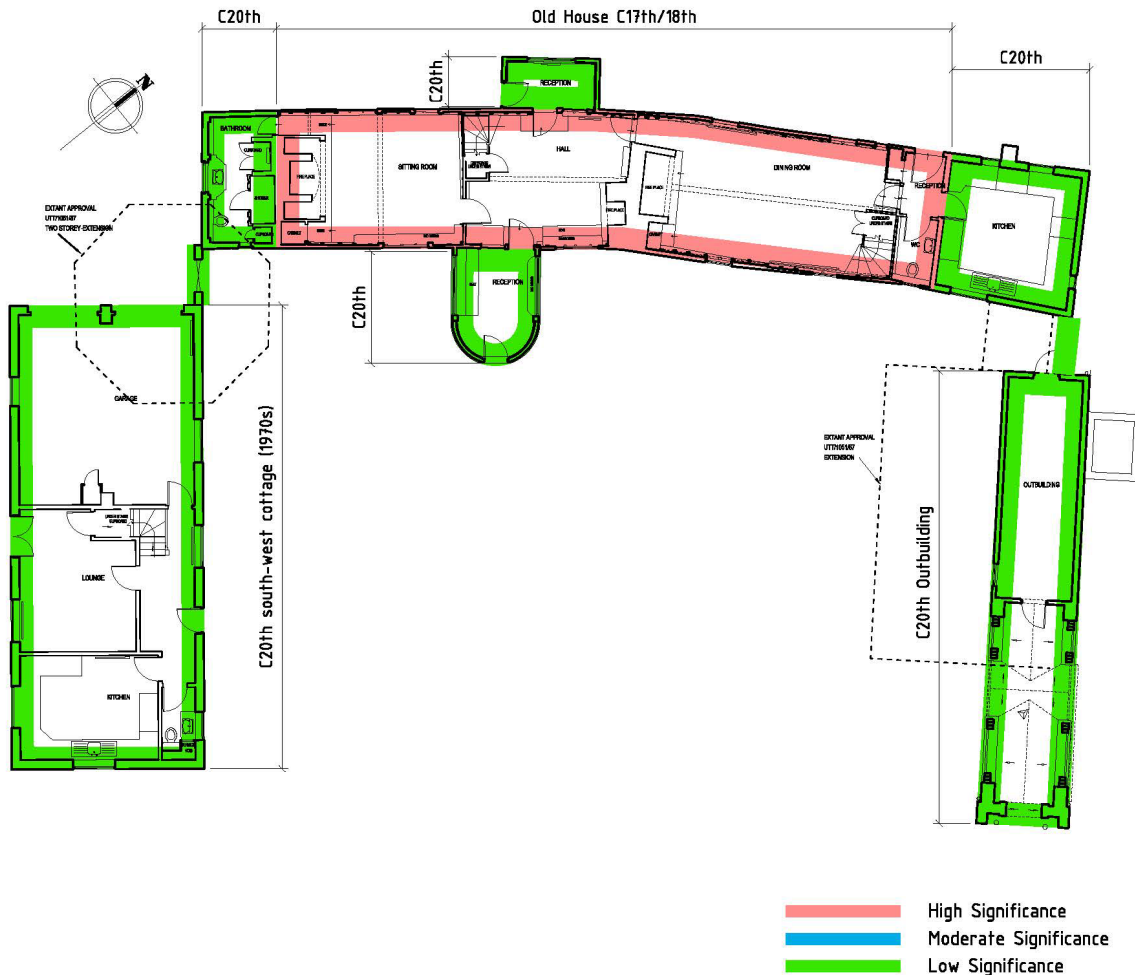
**Essex HER** shows there are 7 records within 250m of the site, including The Old House.

The House is not in a Conservation Area.

The site is in Flood zone 1, with a low probability of flooding.

## Evolution of The Old House and South-West Cottage

The South West Cottage is of Low Significance as it is detached from the Listed Building and it dates from the 1970s (post 1948) and is therefore, not Curtilage Listed.



### 3. Summary of Proposals

External and internal alterations to late C20th (post 1948) South-West Cottage. External alterations include replacement of late C20th windows with traditional slim double glazed timber flush casements with integral bars. Similarly, new glazed French doors and fixed glazing shall have slim double glazing and integral glazing bars.

Further external alterations shall include formation of two small chimney stacks to the North East and South West gables of the 'South West Cottage', which shall match those on the Old House. Associated services include an Air Source Heat Pump located on a C20th garden wall, not visible from the listed building or street.

#### Design and Justification for the works

The alterations are intended to enhance and improve the functionality of the Cottage and improve its thermal performance, which hasn't been upgraded since the 1970s.

The proposed work only affects elements of low significance in the setting and there are no changes to the significance or fabric of heritage asset. The works proposed are modest and there shall be no negative impact on the visual appearance or setting of the asset. Indeed, the proposals are considered to have a positive impact on the setting of the heritage asset.

#### 4. Pre-application Advice

##### **Pre-application advice**

Pre -application advice was sought during the start of 2023. The planning officer was Michael Okocha and the reference is UTT/23/0409/PA.

The Conservation Officer, Thomas Muston visited site and covered not only these proposals, but more extensive proposals for the entire site.

In summary, changes to the exterior fenestration of this annex cottage were supported. An extension discussed was not supported.

##### **Photographs, as existing:**



*Figure 3. North East Gable Elevation of South West Cottage. Garage doors to be infilled leaving two sets of casement flush timber windows at ground floor. Chimney stack formed towards right side.*



*Figure 4. South east Elevation of the late C20th 'South West' Cottage.*



*Figure 5. North West Elevation of the late C20th 'South West' Cottage.*



*Figure 6. View showing external garden wall with gate that connects the South West end of the Old House to the Cottage.*



*Figure 7. South West Elevation of the South West Cottage.*



## 6. Table of Effects

	Proposal	Significance of affected fabric	Impact	Reasoning and mitigation
1.	Formation of two new small chimney stacks on the North East Gable Elevation and South West Gable Elevation of the South West Cottage. Brickwork to match the brickwork of the existing South chimney. Clay chimney pots and lime mortar.	Low as late C20th (post 1948).	No impact to the heritage asset. Benefit	The addition of the chimneys are intended to enhance and improve the functionality of the Cottage with no negative impact on the heritage asset. The proposed work only affects C20th fabric and the visual appearance of Chimneys in a similar style and brickwork to those found on the Old House shall ensure the Cottage remains visually in keeping with the heritage asset and the setting.
2.	Replacement and new doorways and windows.	Low as late C20th (post 1948) walls and fenestration.	No impact to the heritage asset. Benefit as improved heritage style windows.	All replacement and new casement windows shall be painted timber traditional flush casements with slim double glazing used alongside integral glazing bars. Similarly, all new French doors shall match the detailing of the new windows and have slim double glazing with integral glazing bars. This will bring a visual benefit and help improve the thermal performance of this late C20th building.

## 7. Planning Policy

### 7.1. Statutory context

The Town and Country Planning (Listed Buildings and Conservation Areas) Act 1990 requires a local planning authority to pay special attention to the desirability of preserving or enhancing the character or appearance of a Conservation Area (Section 72) and a Listed Building or its setting (Section 66).

### 7.2. National Policies

Relevant National Policies and Guidance referred to include:

- National Planning Policy Framework (NPPF4) 2021
  - Section 12: Achieving well-designed places
  - Section 16: Conserving and enhancing the historic environment.
- National Planning Policy Guidance for Historic Environment (2019)

### NPPF

These proposals have been informed by the relevant policy considerations in the NPPF as set out below: -

#### ***Proposals affecting heritage assets NPPF (2021) 194.***

*“In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets’ importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary.*

*Where a site on which development is proposed includes, or has the potential to include, heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation."*

**This Heritage Report describes the significance of the heritage asset and has been written by a practice that specialises in Conservation Architecture.**

**NPPF 197.**

*"In determining applications, local planning authorities should take account of:*

- (a) the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- (b) the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- (c) the desirability of new development making a positive contribution to local character and distinctiveness."*

**The proposals do not involve any disturbance of the heritage asset and only affect a 1970s non curtilage listed annex. The works shall secure the longevity and viability of the building as an annex. The fenestration changes are a welcome improvement to the setting.**

**NPPF Considering potential impacts 199.**

*"When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance."*

**The attached table describes in detail the impact of all the proposals.**

**The proposals are involve low significance fabric / alteration to late C20 fabric and do not cause harm to the heritage asset or its setting.**

**NPPF 200.**

*"Any harm to, or loss of, the significance of a designated heritage asset (from its alteration or destruction, or from development within its setting), should require clear and convincing justification. Substantial harm to or loss of:*

- (a) grade II listed buildings, or grade II registered parks or gardens, should be exceptional;*
- (b) assets of the highest significance, notably scheduled monuments, protected wreck sites, registered battlefields, grade I and II\* listed buildings, grade I and II\* registered parks and gardens, and World Heritage Sites, should be wholly exceptional."*

**There is no harm or loss and therefore the tests under NPPF 200 are not applicable.**

**NPPF 202**

*"Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use."*

**There is no harm to the asset. The fenestration changes improve the setting.**

**On the .gov webpage (<https://www.gov.uk/guidance/conserving-and-enhancing-the-historic-environmentunder>) regarding the Historic Environment, public benefit is described as follows: *'benefits do not always have to be visible or accessible to the public in order to be genuine public benefits, for example, works to a listed private dwelling which secure its future as a designated heritage asset could be a public benefit.***

**Examples of heritage benefits may include:**

***sustaining or enhancing the significance of a heritage asset and the contribution of its setting  
reducing or removing risks to a heritage asset  
securing the optimum viable use of a heritage asset in support of its long term conservation'***

## **8. Ecology**

A Householder and Listed Building Consent Biodiversity Validation Checklist has been included with the application. The site lies within a GCN Amber Zone which are described to 'contain main population centres for GCN and comprise important connecting habitat that aids natural dispersal.'

The proposed development type is not listed as a possible high risk with regard to this designation as there are no ground works and works and access shall be elevated.

A Preliminary Ecological Appraisal has been included as a supporting document, with no additional surveys recommended but some level of ecological enhancement advised.

## **9. Access**

The existing vehicular and pedestrian access to the site will remain unchanged.

## **10. Summary**

**These proposals will be beneficial to the longevity and optimal viable use of the building and improve its setting.**

**The proposals preserve and reinforce the longevity, interest, value use and significance of the listed building, and preserve the settings.**

**The proposals are therefore consistent with the direction of conservation policy and identify, preserve, or enhance the character of the listed building and heritage assets.**