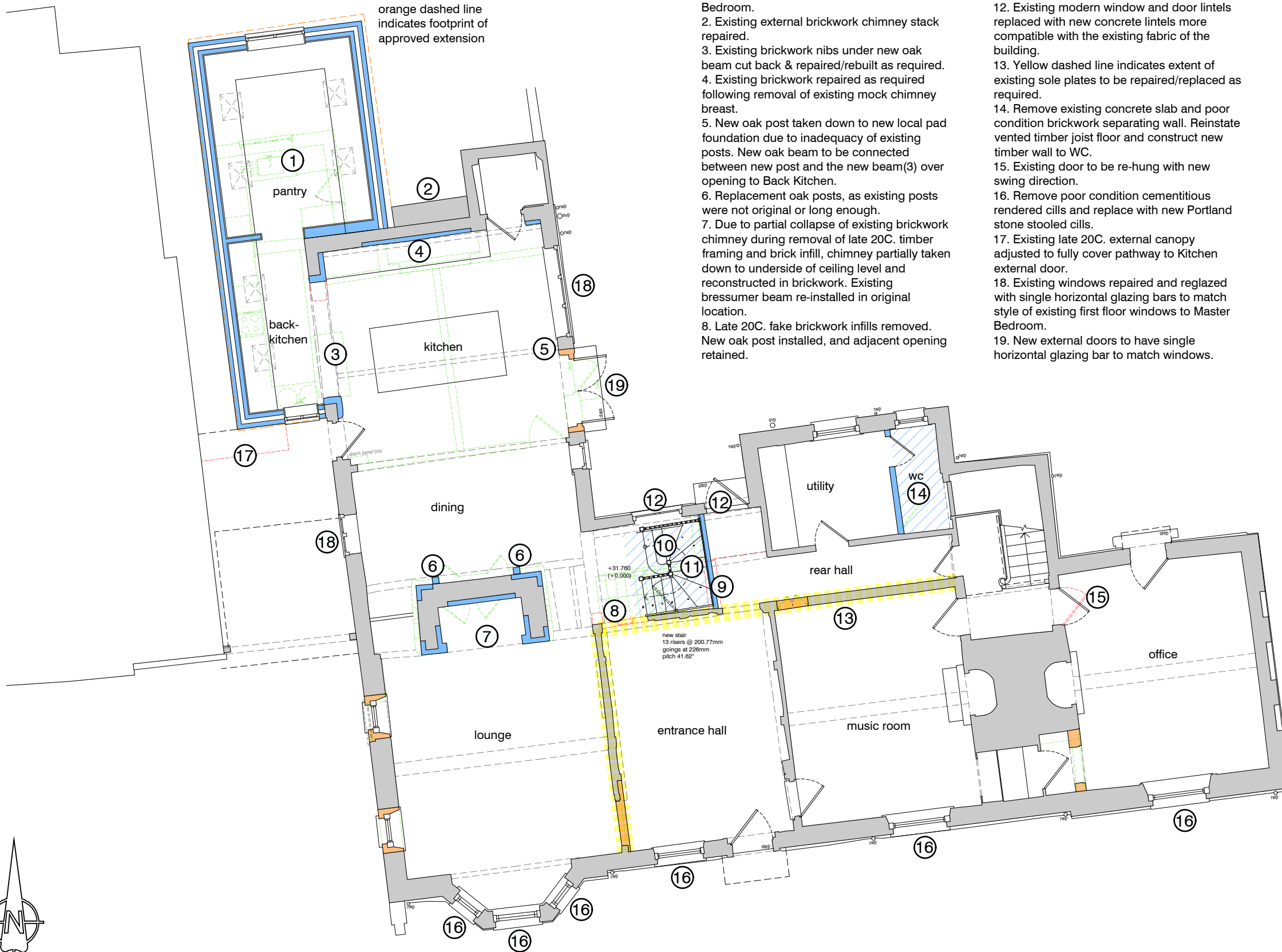


NOTES:  
 Dimensions to be checked on site before commencing work. any discrepancies shall be reported to Curtis Leeves Technical Ltd. immediately.  
 Do not scale from these drawings except for planning purposes. Use figured dimensions only.  
 Where applicable this drawing is to be read in conjunction with other consultants' drawings.  
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1. Size and alignment of Pantry & Back Kitchen Extension adjusted slightly from previously approved design, 2no. additional rooflights added, window to east elevation removed. Windows to be double glazed, and have single horizontal glazing bars to match style of existing first floor windows to Master Bedroom.
2. Existing external brickwork chimney stack repaired.
3. Existing brickwork nibs under new oak beam cut back & repaired/rebuilt as required.
4. Existing brickwork repaired as required following removal of existing mock chimney breast.
5. New oak post taken down to new local pad foundation due to inadequacy of existing posts. New oak beam to be connected between new post and the new beam(3) over opening to Back Kitchen.
6. Replacement oak posts, as existing posts were not original or long enough.
7. Due to partial collapse of existing brickwork chimney during removal of late 20C. timber framing and brick infill, chimney partially taken down to underside of ceiling level and reconstructed in brickwork. Existing bressumer beam re-installed in original location.
8. Late 20C. fake brickwork infills removed. New oak post installed, and adjacent opening retained.

9. Existing late 20C. brickwork supporting staircase to be removed. New timber stud wall to support new staircase.
10. New oak staircase and reconfiguration of existing first floor landings.
11. New concrete base under new stair and stud wall.
12. Existing modern window and door lintels replaced with new concrete lintels more compatible with the existing fabric of the building.
13. Yellow dashed line indicates extent of existing sole plates to be repaired/replaced as required.
14. Remove existing concrete slab and poor condition brickwork separating wall. Reinstall vented timber joist floor and construct new timber wall to WC.
15. Existing door to be re-hung with new swing direction.
16. Remove poor condition cementitious rendered cills and replace with new Portland stone stooped cills.
17. Existing late 20C. external canopy adjusted to fully cover pathway to Kitchen external door.
18. Existing windows repaired and reglazed with single horizontal glazing bars to match style of existing first floor windows to Master Bedroom.
19. New external doors to have single horizontal glazing bar to match windows.

orange dashed line indicates footprint of approved extension



KEY:

- - - - - Demolitions previously approved.
- - - - - Proposed additional demolitions.
- New walls/infill/repairs as previously approved.
- Proposed new walls/structure/infill/repairs.
- Proposed new floors.

rev	description	date
<b>PLANNING</b>		



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client Mr & Mrs Sohl			
project Whitfield Court, Kanphill, Woking, Surrey			
title Proposed Ground Floor Plan			
date June 2023	scale @ A3 1:100	drawn MRL	chkd GBC
project no. 2314	drawing no. P100	rev P1	

