



**Whitfield Court
Knaphill
Surrey**

**Design, Access & Heritage
Statement**

April 2022
Revision - /

**Application for Planning and
Listed Building Consent**

Section	Rev.	Date	By	Summary of Changes	Checked by	Approved by
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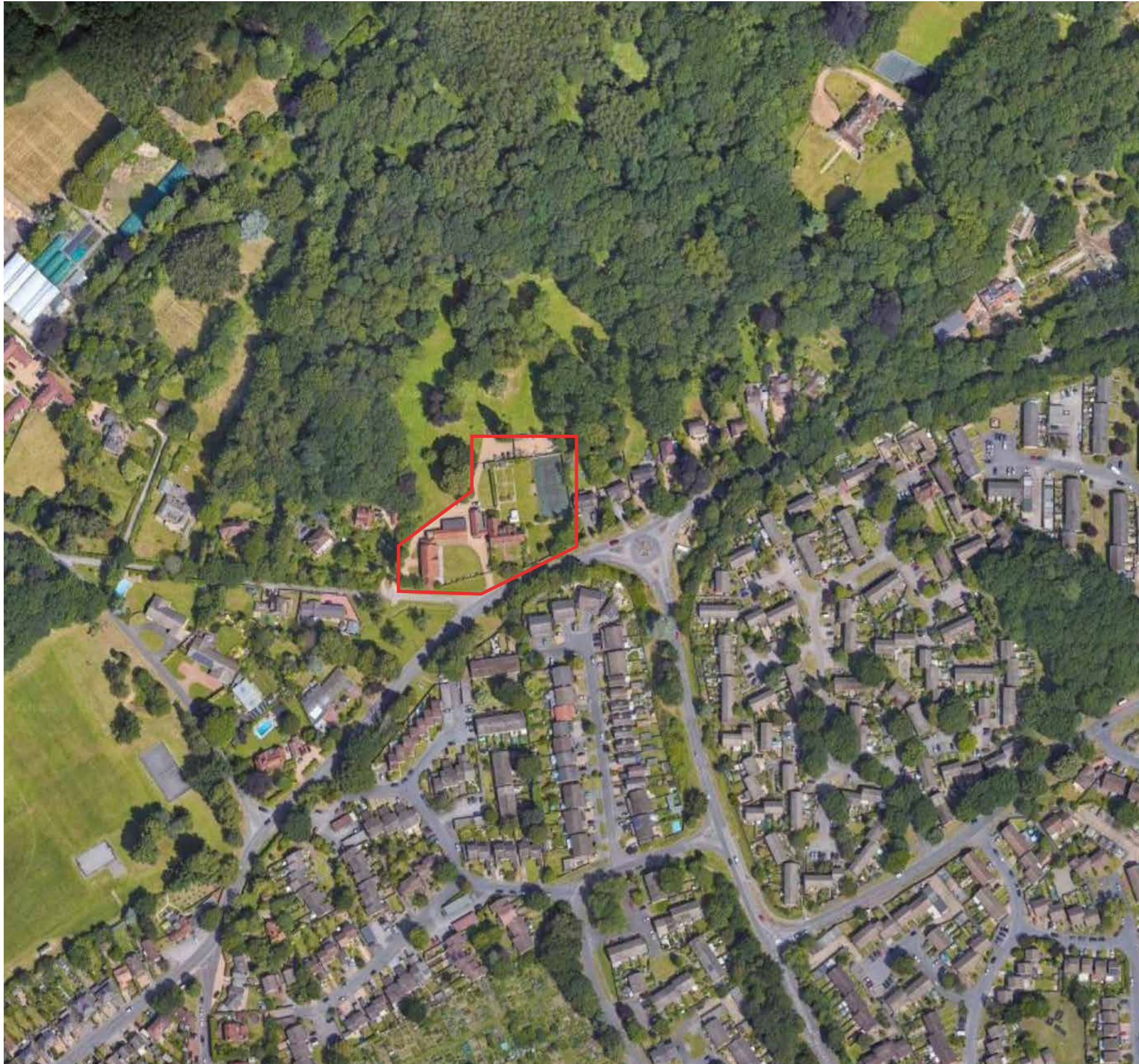
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1. Introduction

1.1 - Purpose of this Concept Design Document

This document has been prepared for submission to Woking Borough Council for a **Planning and Listed Building Consent Application**. This document has been submitted on behalf of the applicant/owner of Whitfield Court, by Cowan Architects.

The purpose of this document is to set out the following:

- An appraisal of the **historical significance and context** of Whitfield Court.
- The **specific needs** of Whitfield Court to which this document relates.
- An explanation of the **aspirations and brief** prepared by the client, which have been developed into a concept design in collaboration with their Architects.
- The **methodological approach** taken by the Architects in developing proposals, based on their specialism in preparing sensitive designs in historic contexts.
- Relevant **legislation and guidance** which dictated the development of the proposals.
- The **pre-application advice** sought from Woking Borough Council, and the additional information included in the application as a result of the engagement with the Local Authority's Planning and Heritage Officer.
- Concept **design development** for each instance where change is proposed, and a rationale for the proposed works.
- Where relevant, conceptual notes regarding the **detailing and materiality**.

1.2 – A brief appraisal of the historical significance and context of Whitfield Court

The intention of this appraisal is to give a high-level history of the building and its context for readers unfamiliar with Whitfield Court. Specific elements of the historical built fabric and context will be discussed in a greater level of detail later in this document where deemed necessary, particularly where changes are proposed to, or in the vicinity of, an element of historically significant built fabric.

A Heritage Statement has been prepared by Built Heritage Consultancy in April 2021 and was completed prior to developing the proposals to ensure the historical context was understood, ensuring the proposals are sympathetic to the historic building by responding to an understanding of Whitfield Court's history.

An Overview of the Existing Property

Whitfield Court is located on the North edge of Knaphill and is located within Woking Borough Council. The main house is located on an area of land which also includes a former stables/garage and annexe attached to the main house. The annex and the field to the rear of the property is owned by a family member of the applicant. The property sits within the lower Knaphill Conservation Area and on the boundary of the Green Belt.

Whitfield Court is Grade II* listed and the adjacent barns West of Whitfield Court are Grade II listed. The original building was constructed in the 17th Century. As demonstrated in the phasing plans there were multiple extensions in the 18th and 19th Century. This is reflected in the built form which is seen today. The house was originally known as Knight's Farm and belonged to Joseph Whitfield Esq. There is clear evidence of remodelling on the front and rear of the building as well as internally. In addition to this the historic maps contained within the Heritage Impact Assessment show evidence of various rear extensions, some of which remain evident today.

The original building was substantially remodelled in the 18th Century in a classical revival style with subtle Palladian references. The Georgian stair core was added to the rear of the property during this period. This period and the late-20th/early-21st Century was when the building underwent the greatest amount of change.

For a detailed assessment of the building's history refer to Appendix II where this has been set out in the form of a Heritage Impact Assessment.

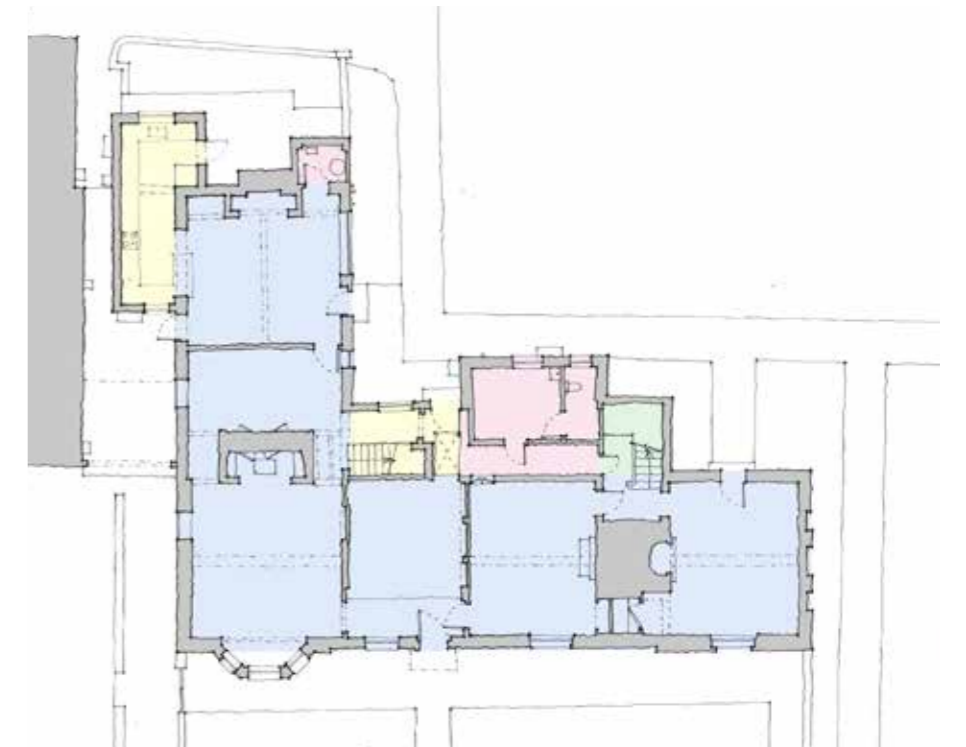


Fig 2: Historic Phasing Plan of Whitfield Court - Ground Floor (not to scale)



Fig 1: Aerial view of Knaphill with Whitfield Court located centrally, and a number of terraced and detached residential buildings to the South. Fields are located to the North.

Phasing Plan Key:

Refer to OS Map information contained within the Heritage Statement. It is important to note that these plans outline the general phasing of the building. There are small scale alterations which have been carried out at various dates which are not highlighted on this scale of plan. The purpose of this phasing plan set is to give general context to the proposals which follow, supported by the more detailed Heritage Statement.

- 17th Century
- 18th Century - Georgian Extension
- Late-19th Century - Victorian Period
- Late-20th/Early-20th Century

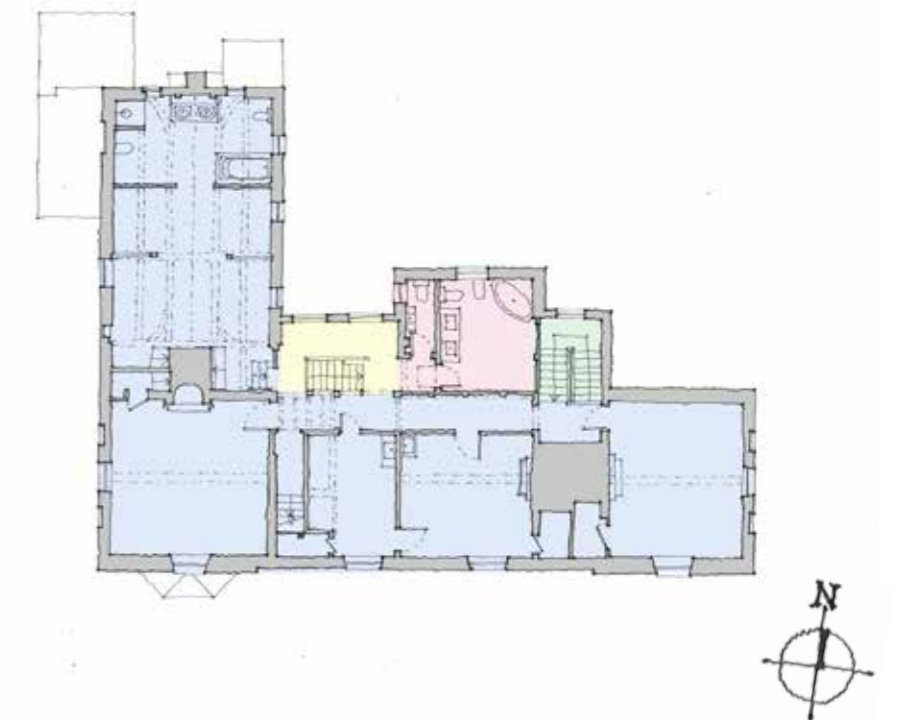


Fig 3: Historic Phasing Plan of Whitfield Court- First Floor (not to scale)

1.2 – A brief appraisal of the historical significance and context of Whitfield Court

Present day photographs referenced against historic watercolours. These clearly show the later additions and alterations which have been made to the front and rear of the property, in the 19th and 20th Centuries.



Fig 4: Photo of Whitfield Court rear elevation 2021.



Fig 5: Photo of Whitfield Court front elevation 2021.



Fig 6: Watercolour of the rear elevation of the Front Range and eastern elevation of the rear range at Whitfield Court. Artist Edward Hassell in 1830. Note: no evidence of rear two storey extensions with gable ends as can be seen in Fig 4.



Fig 7: Watercolour of the front range's front elevation by Edward Hassell in 1830. Note: Alteration to front entrance door position and windows on bottom left of elevation, along with much altered chimneys.

1.3 – The needs to which this application relates

The needs for the application are set out over the following pages, with specific reference to the areas of the building where changes are proposed.

Ground Floor

1. Erosion of Architectural Design

As demonstrated in the phasing diagram on page 5, Whitfield is a house of several periods. This iterative development is clearly an important part of its character. Later (20th Century) alterations have had a detrimental impact on the building, in the form of small and larger scale works which are at best incongruous and at worst harmful to the built fabric.

2. Inappropriate Repairs & Alterations

Various unsympathetic and pastiche repairs and alterations have been made in the late-20th Century. This includes bricks inserted to the existing inglenook and timber frames inset into existing walls to match the existing detailing. Artex ceilings are also present between existing historic timber structural beams. This is likely to contain asbestos.

3. Sequence of Spaces/21st Century Family Living

In general, the plan form at ground and first floor makes for a good spatial arrangement. The main area that needs reviewing is the rear range with the late-20th Century extension which is currently a very dark and suboptimal spatial arrangement for a family kitchen. To ensure the property is viable as a family dwelling for the future this spatial arrangement needs to be reviewed.

4. Structural Review

A structural survey has been completed for the entire building. This report identifies areas of repair as well as areas which require further investigation. Areas which require further investigation are; the condition of the existing structural timbers and the existing ground conditions/ foundations. Internally the key structural needs relate to the first floor structure over the breakfast and dining room which is undersized and very 'live'. Late-20th Century alterations have occurred within this area and the Conservation Accredited Structural Engineer has identified areas where the structure needs to be improved in this area.

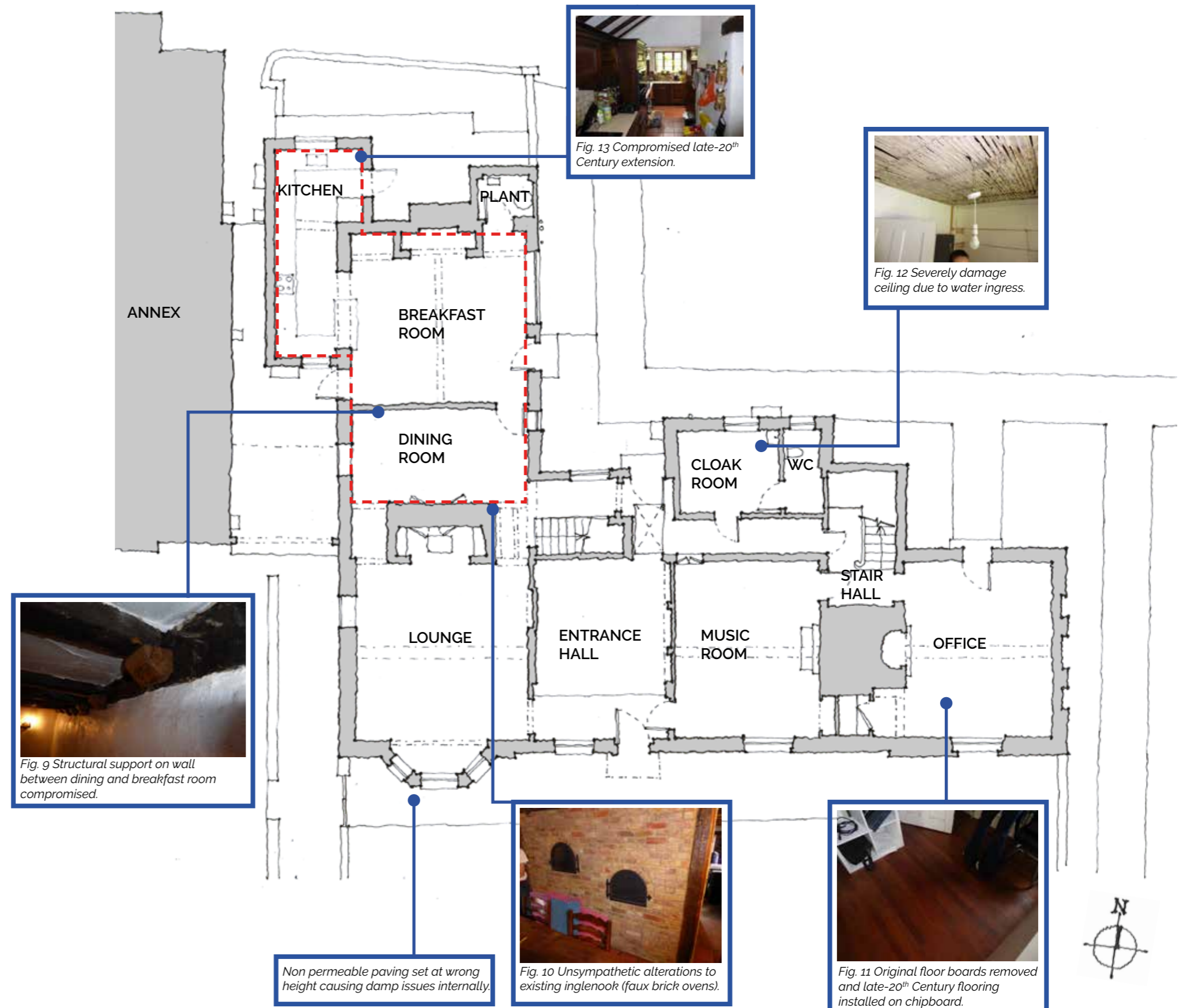


Fig. 9 Structural support on wall between dining and breakfast room compromised.



Fig. 13 Compromised late-20th Century extension.



Fig. 12 Severely damage ceiling due to water ingress.

Non permeable paving set at wrong height causing damp issues internally.



Fig. 10 Unsympathetic alterations to existing inglenook (faux brick ovens).

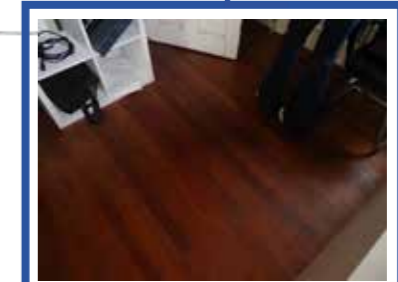


Fig. 11 Original floor boards removed and late-20th Century flooring installed on chipboard.

Fig 8: Existing Ground Floor sketch plan Not to Scale

1.3 – The needs to which this application relates

First Floor

1. Structural Review

As outlined in the ground floor needs, severe deflection can be experienced when walking on the floor in the master bedroom. This issue needs to be addressed prior to more major damage occurring. The condition of the timber framing within the master suite also needs to be carefully reviewed by a specialist, as specific areas of the timber are damaged. More details about this can be found in the Structural Report.

2. Inappropriate Alterations

All late-20th Century alterations present within the first floor are to be reviewed, this includes the decorative timber framing that was added within the stair hall/corridor and the boxing in of the existing timber structure in Bedroom 04.

3. 21st Century Living

Review spacial arrangement to address need for additional bathrooms to ensure the property is suitable for 21st Century living.

Second Floor

There are no needs as no changes proposed on the second floor. This space has been recently decorated and the roof works were carried out in the early-20th Century.

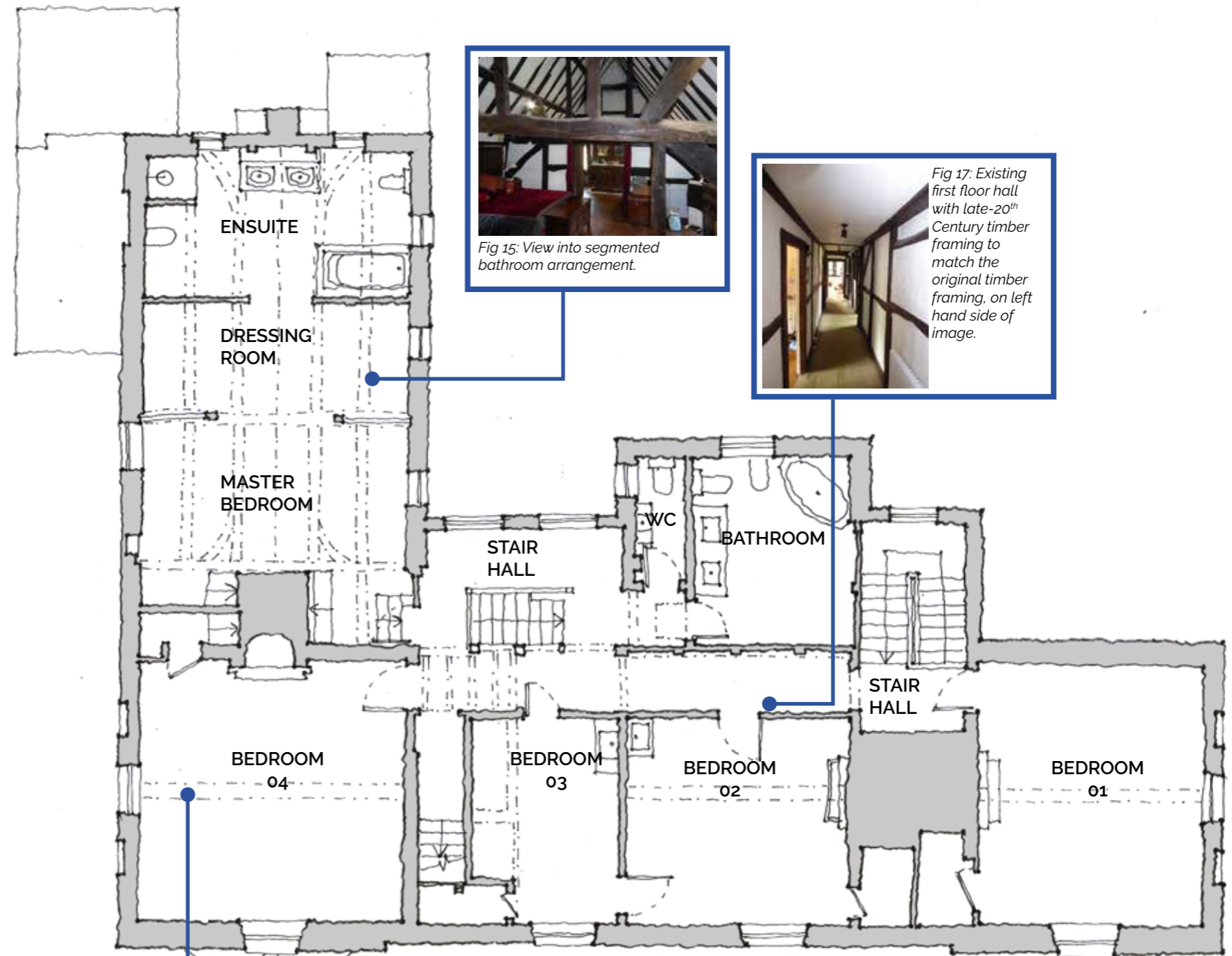


Fig 15: View into segmented bathroom arrangement.



Fig 17: Existing first floor hall with late-20th Century timber framing to match the original timber framing, on left hand side of image.

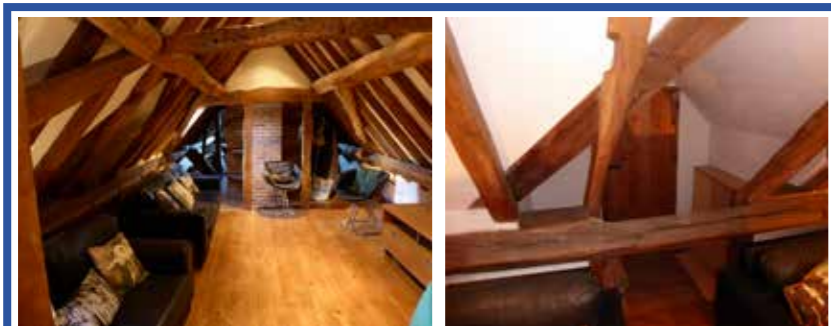


Fig 18 & 19: Existing habitable space within the roof form (second floor) is currently used as a storage space and provides access to redundant services.



Fig 16: Existing timber beam which has been braced and boxed in which clashes with the existing window head.



Fig 14: Existing First Floor sketch plan Not to Scale

1.3 – The needs to which this application relates

External Needs

For a more detailed analysis of the external envelope of Whitfield Court refer to the Structural Engineer's Report.

1. Settlement Crack Evident

Some cracks evident on the external elevation appear to have been caused by settlement issues. It is highly likely that these cracks are as a result of the natural drying out process associated with the structural timber frame.

2. Ground Movement

There are cracks evident externally which appear not to have settled. Further investigation into the ground conditions need to be carried out by forming trial pits. In addition to this a condition survey of the below ground drainage has been instructed by the client as advised by the Structural Engineer. This survey is required to understand the rotation and cracking within the masonry façades which appears to be ongoing.

3. Door Canopy

The condition of the front door canopy needs to be reviewed as part of the proposed works due to the warping of the lead as shown in Fig. 26.

4. Cementitious Repair

All poor cementitious repairs should be removed to ensure this does not cause any issues with damp as it is important that the building fabric remains breathable.

5. Rainwater Goods

The rainwater goods are in extremely bad condition and causing significant water damage to the building. There are also a number of down pipes which stop short of the drain and are saturating the surrounding ground and masonry.



Fig. 20 Multiple areas of damaged brickwork, with poor quality pointing.



Fig. 24 Evidence of original window openings on West elevation, below brick arched lintels.



Fig. 21 Evidence of cracks externally in the brickwork.(Refer to S.E. Report for details.)

Fig. 22 Area of cement on wall thought to be there to protect the wall from water ingress due to the close proximity to water pump.



Fig. 25 Evidence of multiple approaches to window cill detailing on rear elevation. Timber, concrete and bricks cills are shown in this image.



Fig. 23 Mid-20th Century painted timber canopy over rear door.



Fig. 26 Existing flat roof canopy with deteriorated lead detailing.

1.4 – The brief for the proposed works

Based on the needs of the building and those of the applicant, as set out in the previous section, the following brief was developed:

- Sympathetic repair to the built fabric of the building internally and externally using like-for-like materials.
- Alter the existing internal spaces at Ground Floor to better suit a revised internal layout for 21st Century living, limiting the impact on the plan form and replacing the unsympathetic late-20th Century extension.
- Review unsympathetic and pastiche alteration/repairs and consider the reinstatement of original or earlier features.
- Improve external drainage around the building.
- Improve existing services and utilities within the building.

More generally we have discussed the approach to the works architecturally. It was agreed to utilise traditional, sympathetic and natural materials, and to reference the existing form and layout, to allow any alterations to sit comfortably in their setting. Consideration was also given to areas where the energy performance of the building fabric can be improved.

As far as possible the design has been developed to work with the existing floorplan and available spaces within the building, and where possible all works are proposed to be reversible.

1.5 – Methodology

The designs to which this document relates have been prepared by Cowan Architects in 2021/22. Cowan Architects are an architectural practice based in East Grinstead, with a specialism in the conservation, repair and adaptation for re-use of historic buildings.

The lead Architect for this scheme is accredited with RIBA SCA (Specialist Conservation Architect) and AABC (Architect Accredited in Building Conservation) who has approached the scheme from a view-point of conservative repair and minimal intervention, in-line with the best practices set out by Historic England and the Society for the Protection of Ancient Buildings.

The methodology behind the design solution in each instance sought to:

- Ensure that the proposed alterations are limited only to what is necessary to ensure the long-term future of the building, whilst allowing the various buildings to function in a manner amenable to extended family life for the occupants of Whitfield Court.
- Inform design decisions through research into the historic development of the buildings, reverting back to the period which best encompasses the overall significance of the buildings where built fabric or clear and strong evidence for it is evident, and generally limiting new interventions to areas where previous unsympathetic works or more recent, less significant alterations are apparent.
- Where alterations are necessary to allow Whitfield Court to function as a single family dwelling in the 21st Century, these changes are proposed to be made principally to areas where fabric is of lower significance to the heritage asset overall, and not in such a way as to be deemed detrimental to the overall special interest of the listed building, its curtilage, or context.
- Where modern interventions are to be instated, they have been designed to be clearly legible as distinct from the principal listed building, through differences of materiality, form and layout. They are designed to be proportionate to their use and visually subservient to the listed buildings, and to speak clearly as being 'of their time' to avoiding confusing the history of the house.
- Where materials are to be replaced, this is intended to be on a like-for-like basis, with new equivalents of the historic materials. Where new works are designed to be clearly read as modern, the new elements will be of a high quality, consummate with their addition to a historically significant building.
- The works of the scheme will be carried out to a high quality and in-line with conservation best practices, minimising the need for further works of alteration or repair in the future.

2. Relevant Legislation and Guidance

2.1 – National Guidance

Planning (Listed Buildings and Conservation Areas) Act 1990

Section 16(2) requires special regard to be had to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses.

National Planning Policy Framework 2021

Paragraph 94 states that when analysing the impact of a proposed development, consideration should be given to the significance of the designated heritage asset and the contribution made by their setting, great weight should be given to the asset's conservation. The more important the asset, the greater the detail should be. We hope that this document demonstrates the correct amount of detail relative to the significance of the different areas of Whitfield Court where change is proposed. In the case of Whitfield Court, the plan form will primarily remain largely untouched with works focused on unsympathetic repairs and alterations as well as improving spaces such as the kitchen to bring it up to a 21st Century standards.

Paragraph 197 states that desirability to sustain and enhance the significance of heritage assets and ensure that they remain viable for future use should be considered when determining the application. Whitfield Court was intended to be a family dwelling. The use has not changed from the original one intended, but the proposed works would allow Whitfield Court to continue to be used as a single-family dwelling. The proposed changes consider the requirements of day-to-day living in the 21st Century for a building of this size and nature. All changes have a sympathetic approach to the existing building.

Paragraph 205 states that a record and an understanding of the significant of part of a heritage asset that is be lost should be carried out in a manner which is appropriate to the importance and impact that element has on the heritage asset. Where elements of the historic fabric are being removed within the proposal a photographic record can be taken and be made publicly accessible where necessary.

2.2 – Local Guidance

Whitfield Court sits within the Green Belt and Lower Knaphill Conservation Area. Policies which relate to the property are outlined below.

Woking Core Strategy October 2012

CS6: Green Belt policy

This policy states that to ensure the green belt maintains its essential characteristics it will be protected from harmful development. Whitfield Court sits on the boundary of the green belt. Careful consideration has been given to the proposed development and the setting in which it sits and no harmful development is being carried out which would impact the green belt. A comparison of volume is required to understand if the building is 20-40% larger than the existing building as it was in 1948.

Volume

Existing (1948): 1217.85 m³
Proposed: 1350.25 m³

Footprint

Existing (1948): 210 m²
Proposed: 246 m²

The current proposal is 10.9% larger than the existing building in 1948. This is lower than the 20-40% increase outlined in the Green Belt policy and the proposal is inkeeping with the character, mass and scale of the existing building.

CS20: Heritage and Conservation

This policy states that any new development must respect and enhance the character and appearance of the area and should contribute to the character, distinctiveness and significance of the historic environment. No harmful development will occur at Whitfield Court and the proposed works are focused around late-20th Century alterations as well as areas where evidence clearly exists of a more significant earlier design. More detail about the proposal will be explained in section 03.

CS21: Design

The criteria outlined in the design policy states that a satisfactory relationship to adjoining buildings should be maintained to avoid significant harm on any loss of privacy, daylight or overbearing effect due to bulk. The proposed extension at Whitfield Court is in keeping with the scale, height, mass and layout of the existing property and is clearly subservient to the existing building to which it adjoins as well at the adjacent properties. The proposed alterations will have no impact on privacy, daylight of scale and massing in association with the existing building.

CS22: Sustainable Construction

This policy is intended to ensure all new construction has a focus towards achieving zero carbon and consideration should be given to the building fabric, orientation, layout and land form. Whitfield Court is a listed building, however, where possible the fabric of the building will be improved to ensure the building has an improved energy efficiency. In addition to this, ensuring that the property meets 21st Century living standards will ensure that the property does not fall in to disrepair and the building is maintained in the future.

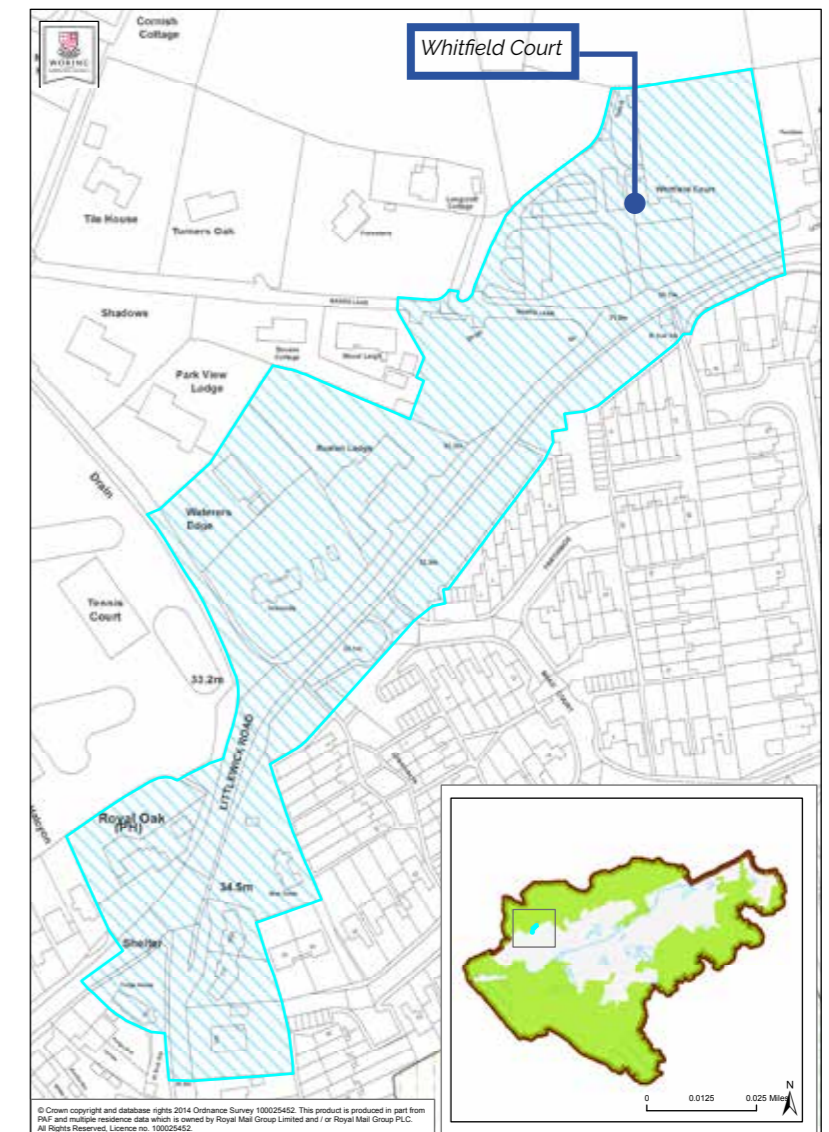


Fig 27. Lower Knaphill Conservation Area map from Woking District Council.

3. Concept Design

3.1 – Existing Floor Plans Concept Development Ground Floor

This page sets out the area where changes are proposed at ground floor level, overlaid onto the existing floor plan, with general ages of historic built fabric shown as various colours.

The conceptual layout is primarily focused around retaining the existing plan form where possible. The proposal seeks to make as few alterations to the built fabric as possible in order to enable Whitfield Court to be used as a private family dwelling in the 21st Century. The diagram on the left explains key parts of the proposals on the ground floor. Further minor works are explained in more detail on the supporting drawings.

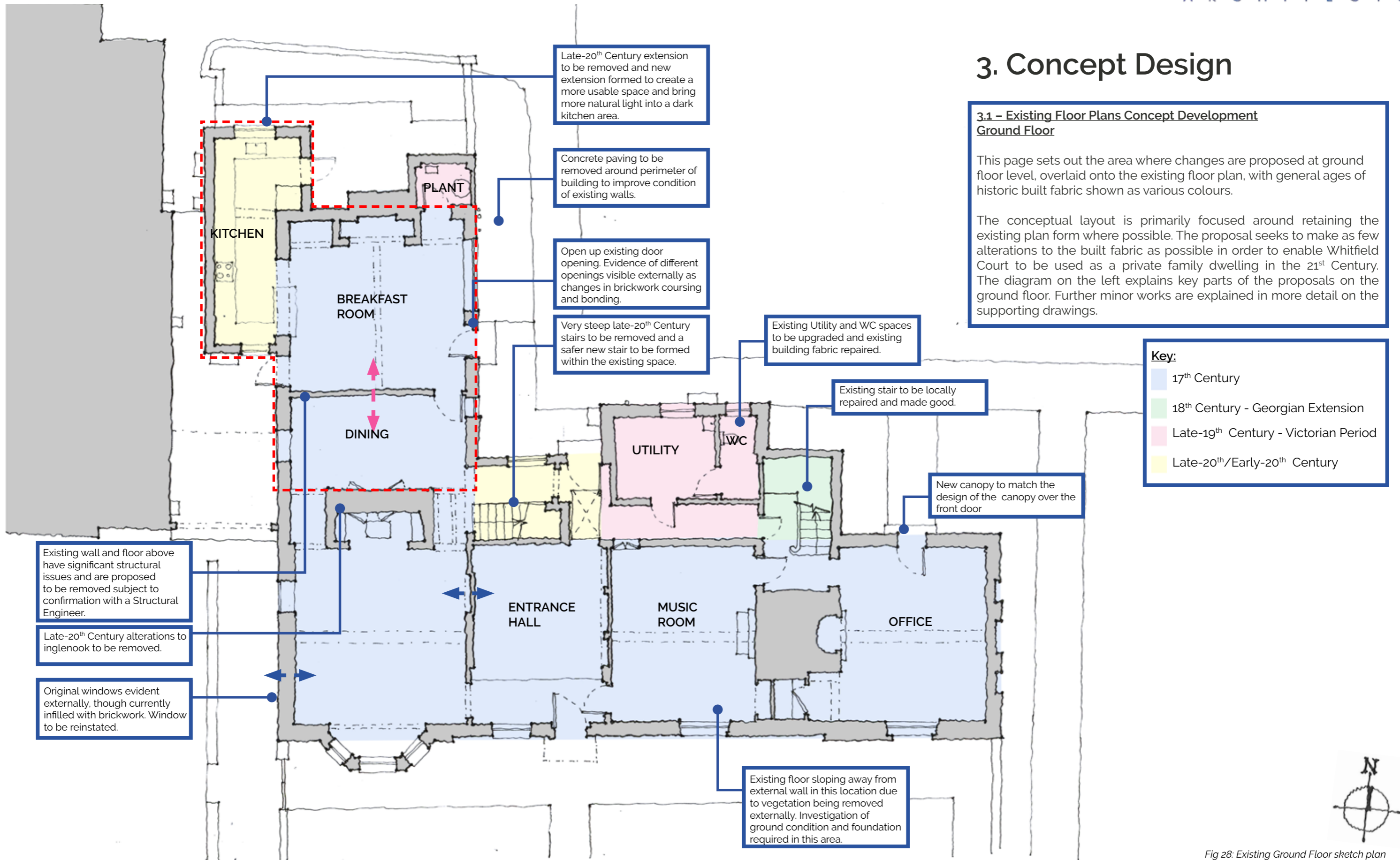
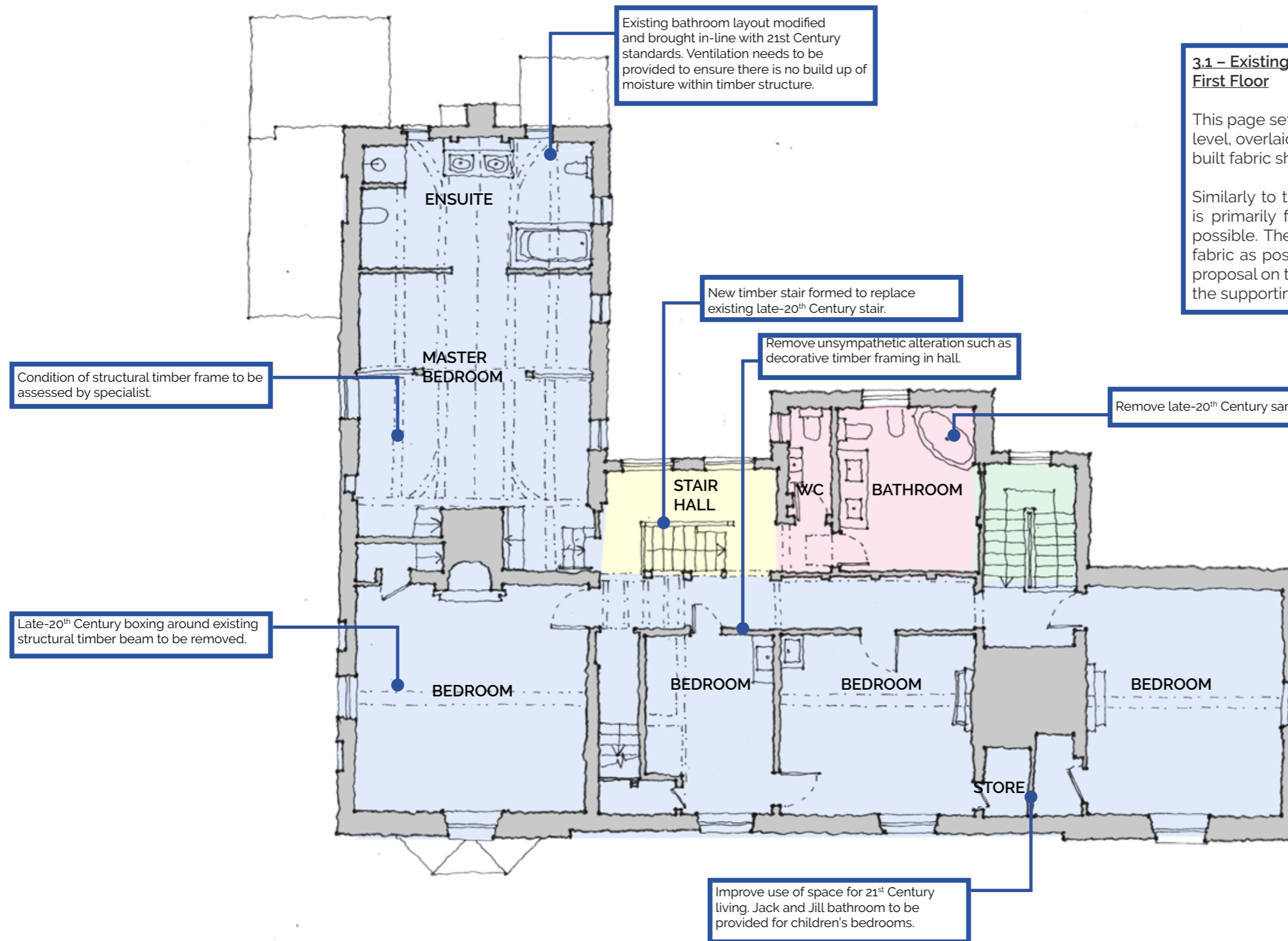


Fig 28: Existing Ground Floor sketch plan with explanation of the proposal. 1:100 @ A3

**3.1 – Existing Floor Plan Concept Development
First Floor**

This page sets out the areas where changes are proposed at first floor level, overlaid onto the existing floor plan, with general ages of historic built fabric shown as various colours.

Similarly to the ground floor, the conceptual layout for the first floor is primarily focused around retaining the existing plan form where possible. The proposal seeks to make as few alterations to the built fabric as possible. The diagram on the left explains key parts of the proposal on the first floor. Minor details are explained in more detail on the supporting drawings.



Key:

- 17th Century
- 18th Century - Georgian Extension
- Late-19th Century - Victorian Period
- Late-20th/Early-20th Century

Fig 29: Existing Ground Floor sketch plan with explanation of the proposal. 1:100 @ A3

**3.2 - Proposed Plan Submitted for Pre-App
Ground Floor**

This page shows the conceptual ground floor plan, clear of explanatory notes, for legibility which was submitted for pre-app advice. The rationale for elements of the layout shown is expanded upon on the page 13.

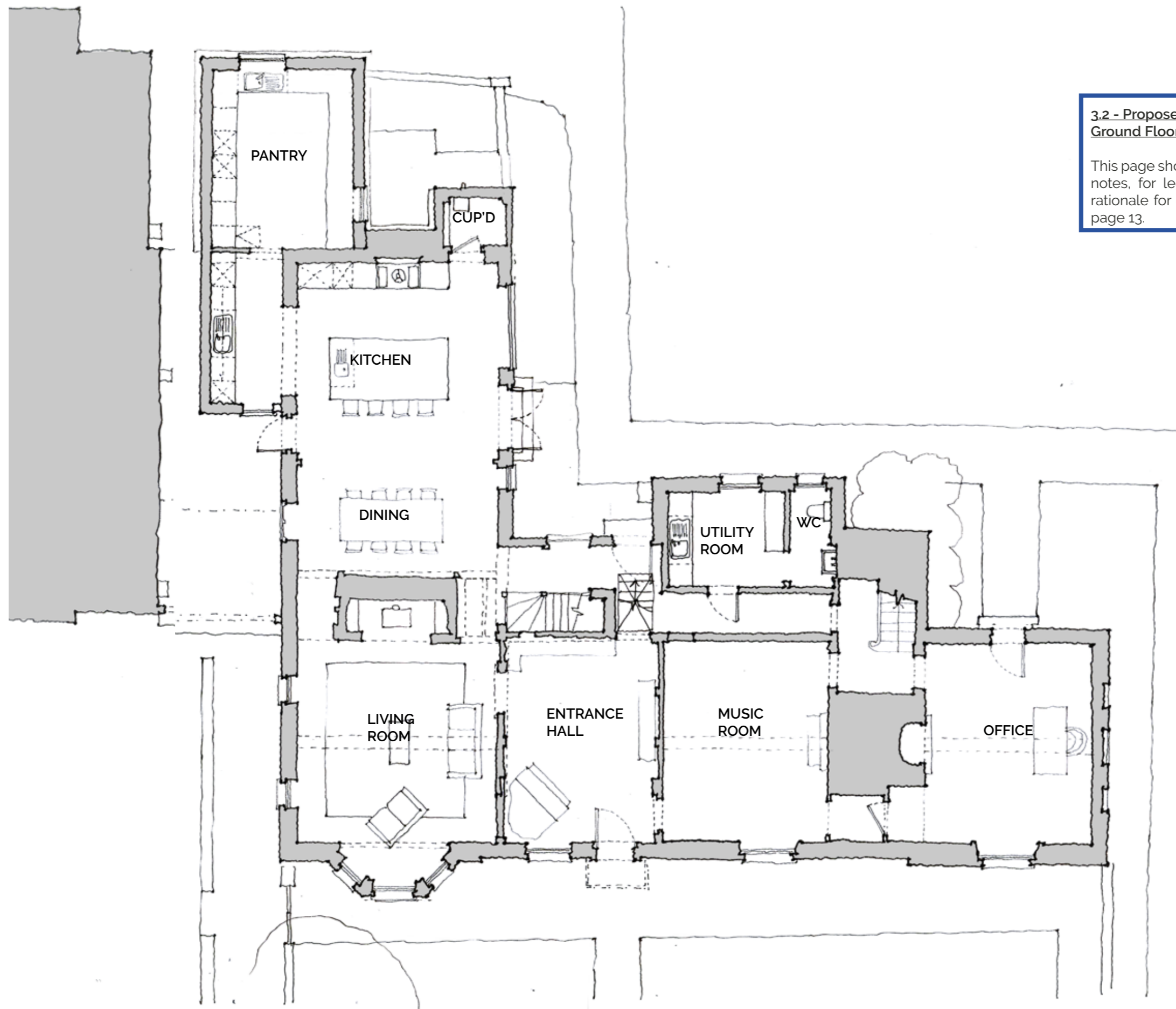


Fig 30: Proposed Ground Floor sketch plan
1:100 @ A3

3.2 - Proposed Plan Submitted for Pre-App
First Floor

This page shows the conceptual first floor plan, clear of explanatory notes, for legibility which was submitted for pre-app advice. The rationale for elements of the layout shown is expanded upon on the page 14.

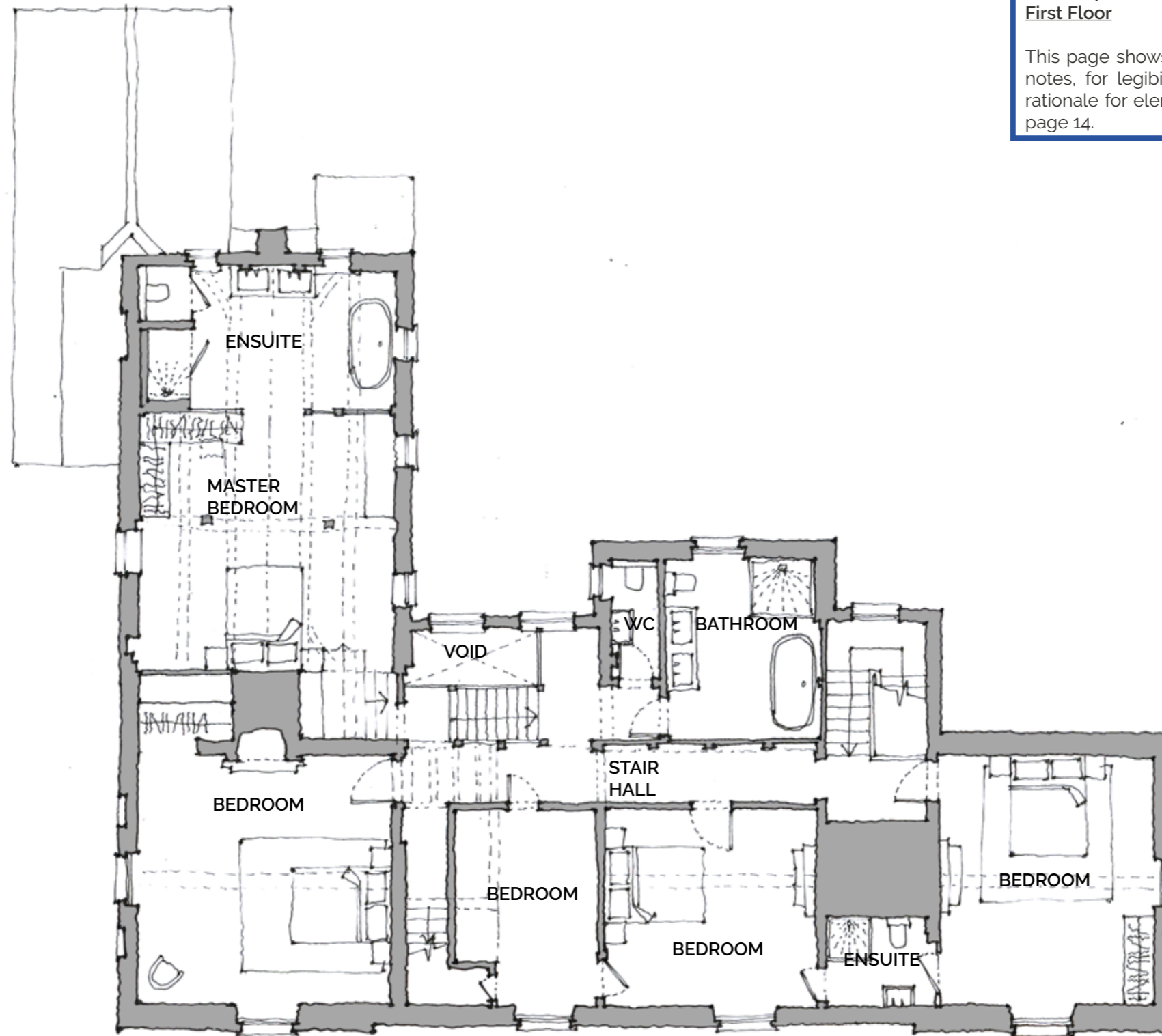


Fig 35: Proposed First Floor sketch plan
1:100 @ A3

3.3 Pre-Application Feedback

The pre-application advice letter received from Woking Borough Council in March 2022 is set out in full in Appendix II. The summary of that letter noted:

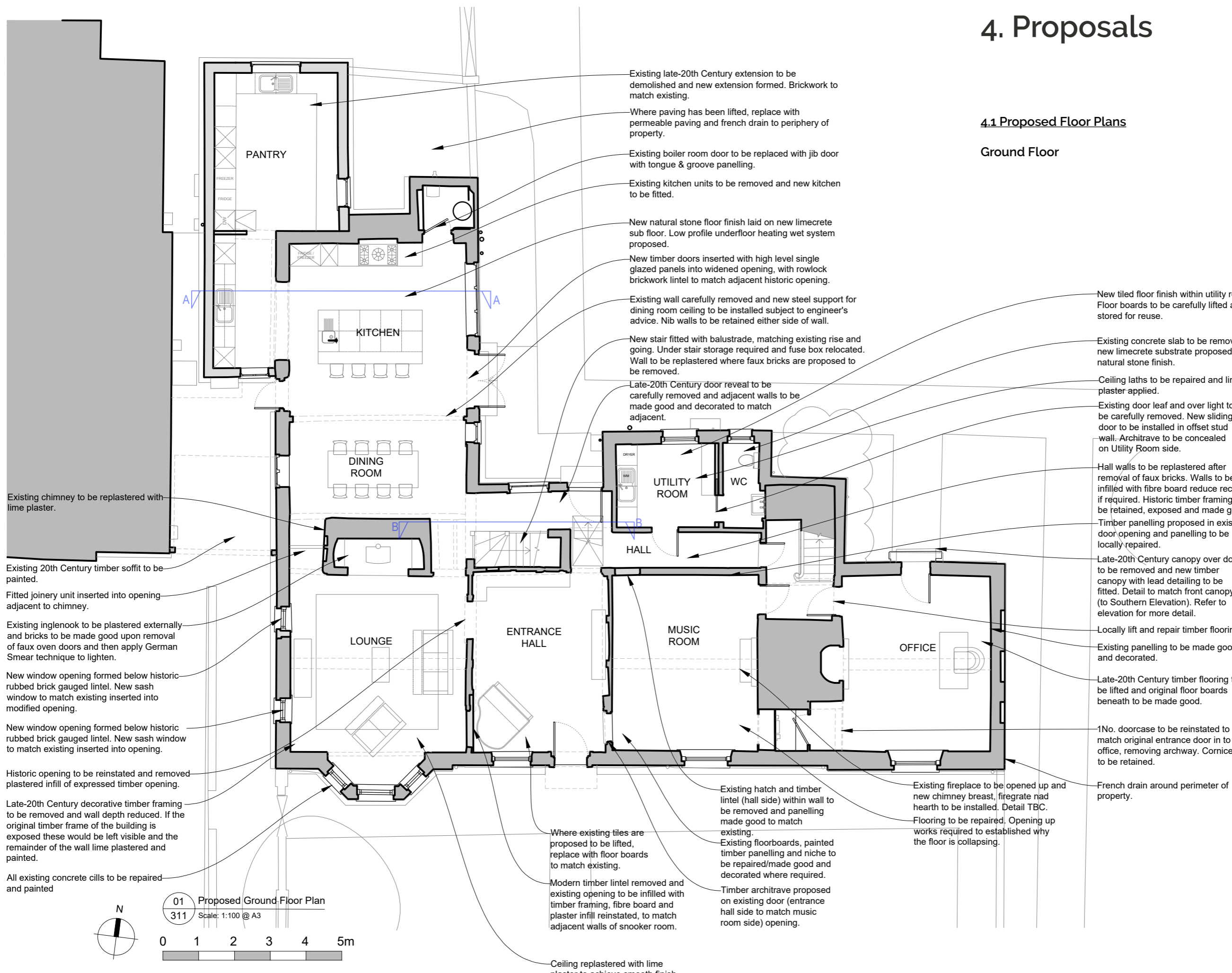
- Woking Borough Council are satisfied with the principle of the various repairs proposed. It was agreed that a specification and details in addition to the general approach outlined on the drawings submitted for pre-application advice is required for items such as rainwater goods and windows. This information will be submitted as part of a Planning and Listed Building Consent Application.
- The extension and alteration proposals shown at pre-application stage were considered to comply with all relevant planning policy outlined in the pre-application response from the Council. Additional information on volume is required to address the green belt policy, however, whilst on site it was felt the proposed additional volume would align with the Green Belt Policy.
- It was acknowledged that the information outlined for pre-application advice was to a high standard and fully annotated therefore very few amendments will be required in forming the proposed Planning and Listed Building Consent Application.

We found the pre-app application process to be incredibly useful in reassuring ourselves of the design direction of the proposals, as well as clarifying the level of information necessary for the Planning and Listed Building Consent Application to which this Design, Access & Heritage Statement relates.

4. Proposals

4.1 Proposed Floor Plans

Ground Floor



KEY:

- Existing Walls
- Proposed Walls

- GENERAL NOTE:**
- Entire property proposed to be rewired and surface mounted cables to be removed. Recessed fitting will be carefully located to minimise damage to historic fabric.
 - New light fittings will utilise existing connection points or be carefully located to minimise damage to historic fabric.
 - New entry system and fire detection to be installed.
 - All windows retained are to be refurbished, repainted and secondary glazing proposed internally.
 - Decoration required throughout
 - Timbers stained dark brown to be lightened (Subject to samples of suitable potlice)
 - All 20th Century sanitaryware to be removed
 - Drainage to be reviewed and consolidated.
 - All artex ceilings to be carefully removed and replaced with lime plaster.
 - All radiators to be replaced with reclaimed radiators and relocated under windows.
 - Timber skirting to reinstated where missing to match existing.
 - Ventilation required for bathrooms and kitchens. Extraction through existing chimneys or vertically through the roof space and terminate at vent tile.

01 Proposed Ground Floor Plan
311 Scale: 1:100 @ A3

0 1 2 3 4 5m

Existing chimney to be replastered with lime plaster.

Existing 20th Century timber soffit to be painted.

Fitted joinery unit inserted into opening adjacent to chimney.

Existing inglenook to be plastered externally and bricks to be made good upon removal of faux oven doors and then apply German Smear technique to lighten.

New window opening formed below historic rubbed brick gauged lintel. New sash window to match existing inserted into modified opening.

New window opening formed below historic rubbed brick gauged lintel. New sash window to match existing inserted into opening.

Historic opening to be reinstated and removed plastered infill of expressed timber opening.

Late-20th Century decorative timber framing to be removed and wall depth reduced. If the original timber frame of the building is exposed these would be left visible and the remainder of the wall lime plastered and painted.

All existing concrete cills to be repaired and painted

Existing late-20th Century extension to be demolished and new extension formed. Brickwork to match existing.

Where paving has been lifted, replace with permeable paving and french drain to periphery of property.

Existing boiler room door to be replaced with jib door with tongue & groove panelling.

Existing kitchen units to be removed and new kitchen to be fitted.

New natural stone floor finish laid on new limecrete sub floor. Low profile underfloor heating wet system proposed.

New timber doors inserted with high level single glazed panels into widened opening, with rowlock brickwork lintel to match adjacent historic opening.

Existing wall carefully removed and new steel support for dining room ceiling to be installed subject to engineer's advice. Nib walls to be retained either side of wall.

New stair fitted with balustrade, matching existing rise and going. Under stair storage required and fuse box relocated. Wall to be replastered where faux bricks are proposed to be removed.

Late-20th Century door reveal to be carefully removed and adjacent walls to be made good and decorated to match adjacent.

New tiled floor finish within utility room. Floor boards to be carefully lifted and stored for reuse.

Existing concrete slab to be removed and new limecrete substrate proposed with natural stone finish.

Ceiling laths to be repaired and lime plaster applied.

Existing door leaf and over light to be carefully removed. New sliding door to be installed in offset stud wall. Architrave to be concealed on Utility Room side.

Hall walls to be replastered after removal of faux bricks. Walls to be infilled with fibre board reduce recess if required. Historic timber framing to be retained, exposed and made good.

Timber panelling proposed in existing door opening and panelling to be locally repaired.

Late-20th Century canopy over door to be removed and new timber canopy with lead detailing to be fitted. Detail to match front canopy (to Southern Elevation). Refer to elevation for more detail.

Locally lift and repair timber flooring.

Existing panelling to be made good and decorated.

Late-20th Century timber flooring to be lifted and original floor boards beneath to be made good.

1No. doorcase to be reinstated to match original entrance door in to office, removing archway. Cornice to be retained.

French drain around perimeter of property.

Where existing tiles are proposed to be lifted, replace with floor boards to match existing.

Modern timber lintel removed and existing opening to be infilled with timber framing, fibre board and plaster infill reinstated, to match adjacent walls of snooker room.

Ceiling replastered with lime plaster to achieve smooth finish.

Existing hatch and timber lintel (hall side) within wall to be removed and panelling made good to match existing.

Existing floorboards, painted timber panelling and niche to be repaired/made good and decorated where required.

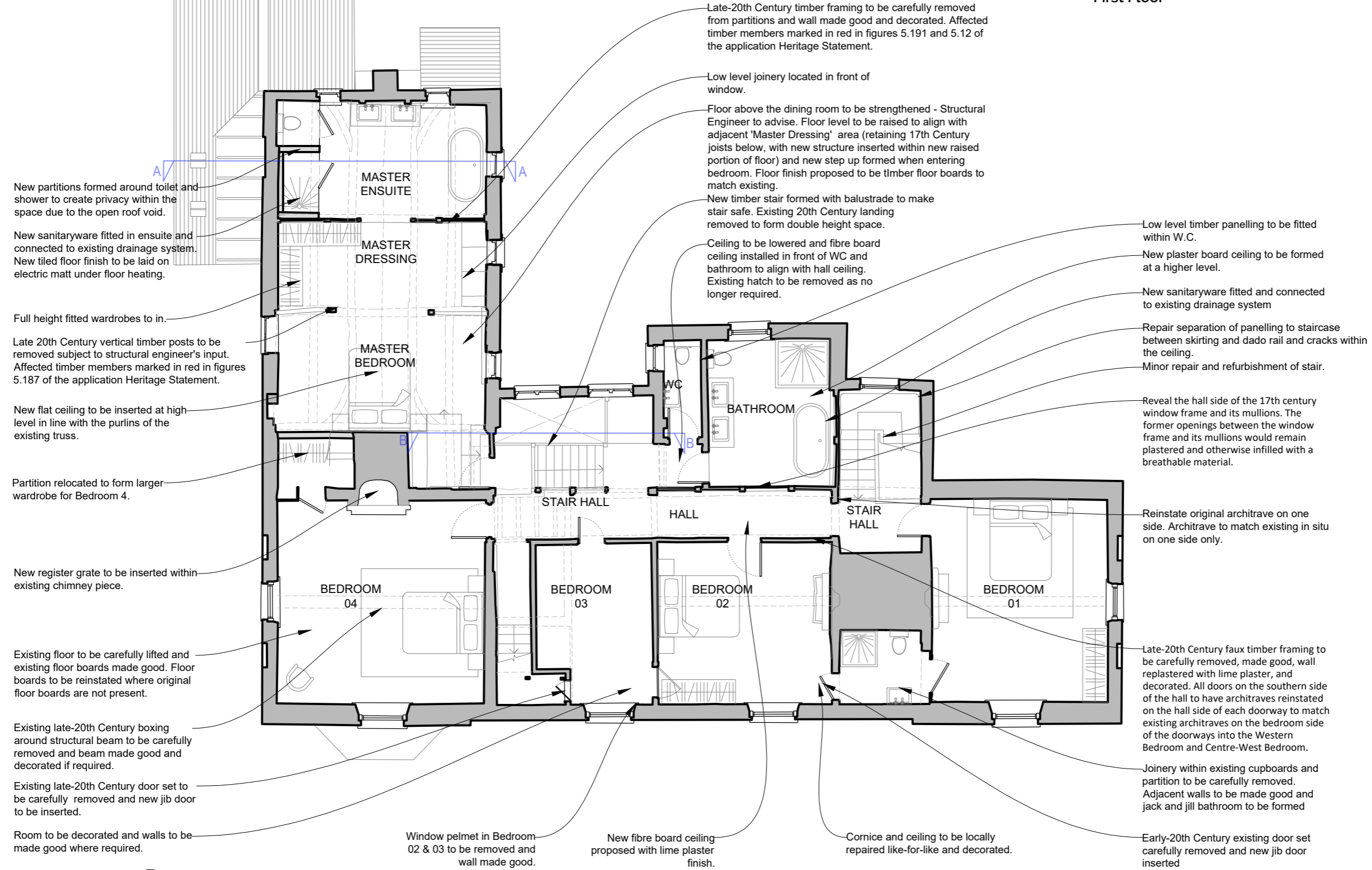
Timber architrave proposed on existing door (entrance hall side to music room side) opening.

Existing fireplace to be opened up and new chimney breast, firegrate and hearth to be installed. Detail TBC.

Flooring to be repaired. Opening up works required to established why the floor is collapsing.

4.1 Proposed Floor Plans

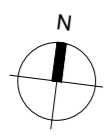
First Floor



KEY:

- Existing Walls
- Proposed Walls

- GENERAL NOTE:**
- Entire property proposed to be rewired and surface mounted cables to be removed. Recessed fitting will be carefully located to minimise damage to historic fabric.
 - New light fittings will utilise existing connection points or be carefully located to minimise damage to historic fabric.
 - New entry system and fire detection to be installed.
 - All windows retained are to be refurbished, repainted and secondary glazing proposed internally.
 - Decoration required throughout
 - Timbers stained dark brown to be lightened (Subject to samples of suitable pottice)
 - All 20th Century sanitaryware to be removed
 - Drainage to be reviewed and consolidated.
 - All artex ceilings to be carefully removed and replaced with lime plaster.
 - All radiators to be replaced with reclaimed radiators and relocated under windows.
 - Timber skirting to be reinstated where missing to match existing.
 - Ventilation required for bathrooms and kitchens. Extraction through existing chimneys or vertically through the roof space and terminate at vent tile.



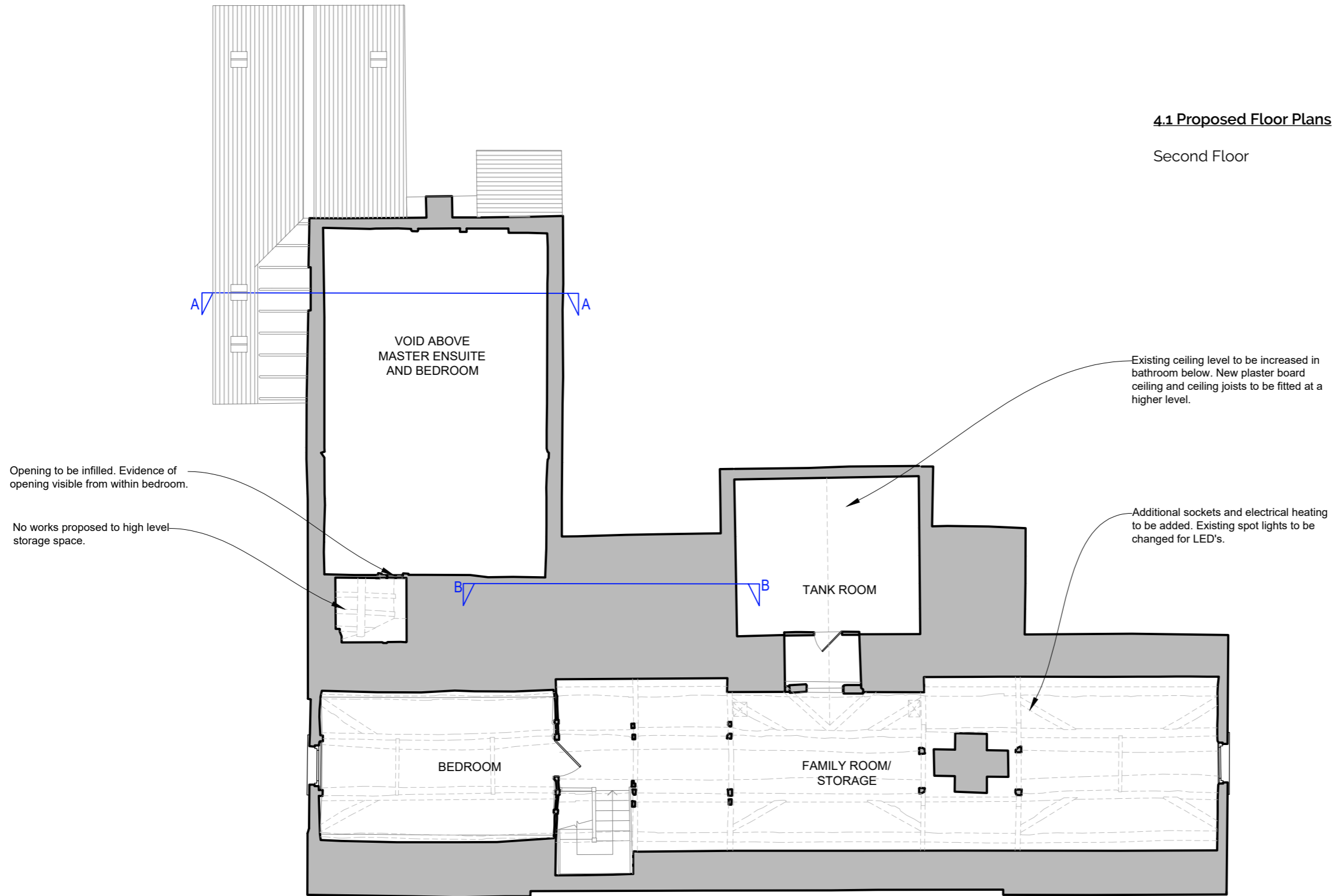
01 Proposed First Floor Plan
312 Scale: 1:100 @ A3

4.1 Proposed Floor Plans

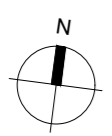
Second Floor

KEY:

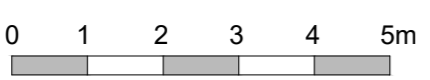
	Existing Walls
	Proposed Walls

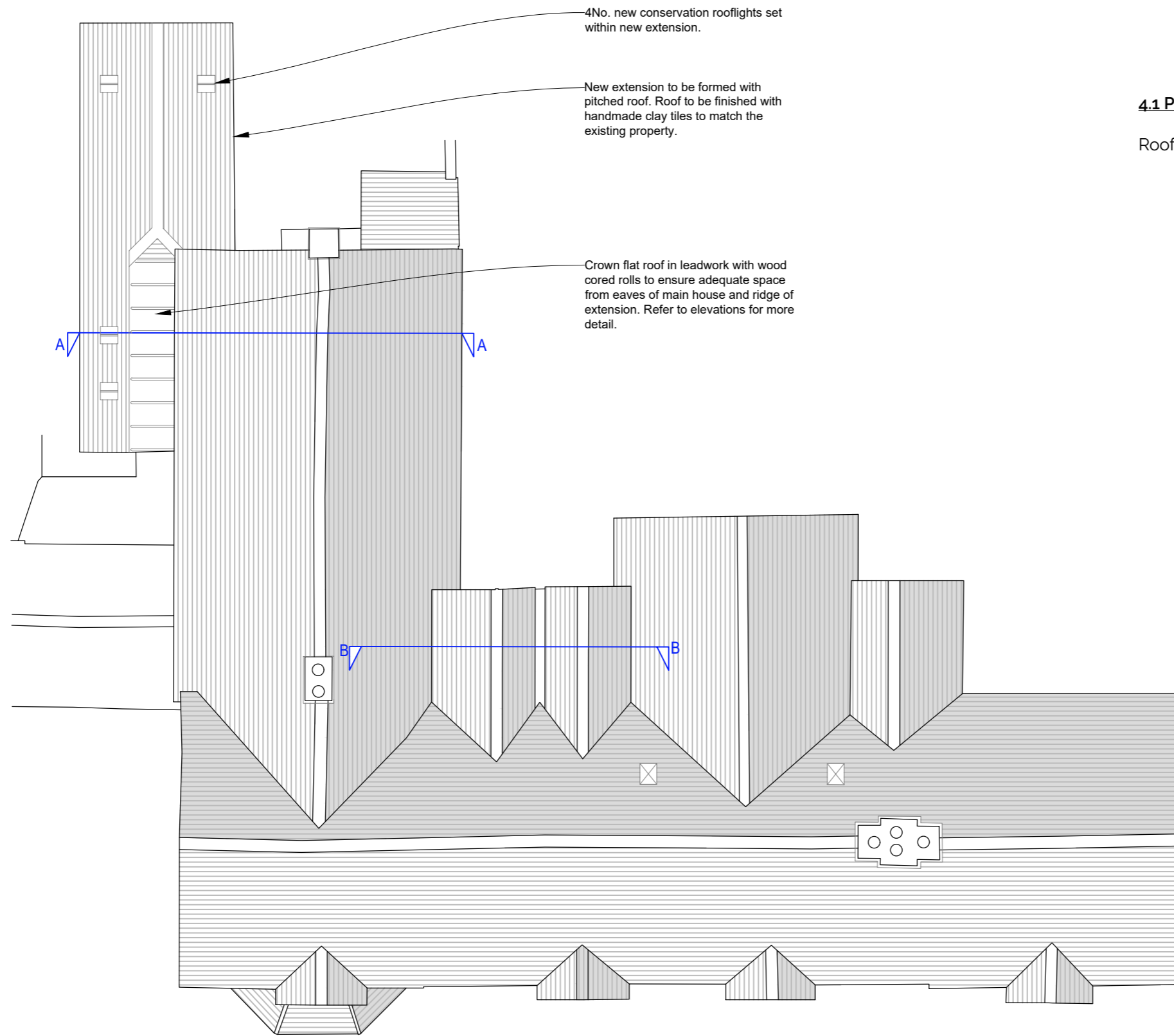


- GENERAL NOTE:**
- Entire property proposed to be rewired and surface mounted cables to be removed. Recessed fitting will be carefully located to minimise damage to historic fabric.
 - New light fittings will utilise existing connection points or be carefully located to minimise damage to historic fabric.
 - New entry system and fire detection to be installed.
 - All windows retained are to be refurbished, repainted and secondary glazing proposed internally.
 - Decoration required throughout
 - Timbers stained dark brown to be lightened (Subject to samples of suitable pottice)
 - All 20th Century sanitaryware to be removed
 - Drainage to be reviewed and consolidated.
 - All artex ceilings to be carefully removed and replaced with lime plaster.
 - All radiators to be replaced with reclaimed radiators and relocated under windows.
 - Timber skirting to reinstated where missing to match existing.
 - Ventilation required for bathrooms and kitchens. Extraction through existing chimneys or vertically through the roof space and terminate at vent tile.



01 Proposed Second Floor Plan
313 Scale: 1:100 @ A3





4No. new conservation rooflights set within new extension.

New extension to be formed with pitched roof. Roof to be finished with handmade clay tiles to match the existing property.

Crown flat roof in leadwork with wood cored rolls to ensure adequate space from eaves of main house and ridge of extension. Refer to elevations for more detail.

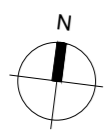
4.1 Proposed Floor Plans

Roof Plan

KEY:

- Existing Walls
- Proposed Walls

- GENERAL NOTE:**
- Entire property proposed to be rewired and surface mounted cables to be removed. Recessed fitting will be carefully located to minimise damage to historic fabric.
 - New light fittings will utilise existing connection points or be carefully located to minimise damage to historic fabric.
 - New entry system and fire detection to be installed.
 - All windows retained are to be refurbished, repainted and secondary glazing proposed internally.
 - Decoration required throughout
 - Timbers stained dark brown to be lightened (Subject to samples of suitable pottice)
 - All 20th Century sanitaryware to be removed
 - Drainage to be reviewed and consolidated.
 - All artex ceilings to be carefully removed and replaced with lime plaster.
 - All radiators to be replaced with reclaimed radiators and relocated under windows.
 - Timber skirting to reinstated where missing to match existing.
 - Ventilation required for bathrooms and kitchens. Extraction through existing chimneys or vertically through the roof space and terminate at vent tile.



01 Proposed Roof Plan
314 Scale: 1:100 @ A3



4.2 - Proposed Elevations

External Works

The proposed external works are focused on repair and reinstatement of original details. A full scope of the proposed works are outlined on the CAD elevations on the following pages. The most sensitive parts of the proposals are outlined in more detail on this page.

1. Rainwater Goods

After inspection of all rainwater goods the proposal includes the replacement of all rainwater goods and SVP pipes with black cast aluminium. Refer to Appendix IV for the full specification. Positions of down pipes are to be optimised in order to minimise impact on the overall appearance of the elevations.

2. External Services

All electrical cables are to be rationalised externally and remain internal where possible. In addition to this all soil stacks are to be removed and repositioned to suit revised internal layout and minimise their visual impact on the rear elevation.

3. Door Canopies

The front door canopy is to be retained and new lead work applied. The flashing detail is proposed to match existing. The rear door canopy is to be carefully removed and a new canopy is to be formed to match the existing canopy on the front door.

4. Cill Details Rationalised

All existing sash windows with concrete cills are to be repaired and redecorated. Sash windows with no concrete cills are to have new cills formed and decorated to match front elevation. All existing timber casement windows are to have brick cills. Detail evident on rear elevation.

5. Concrete Paving

The external finished floor level is to be lowered where possible to 150mm below external door openings. A French drain is proposed around the entire property to reduce the likelihood of water ingress. The concrete paving is to be lifted and is proposed to be replaced with permeable paving to prevent surface water being held in close proximity to the existing building.



Fig 32: Roof junction between flat roof canopy and late-20th Century extension.



Fig 33: Concrete external paving.



Fig 34: External rainwater goods and soil stacks proposed to be modified and rationalised

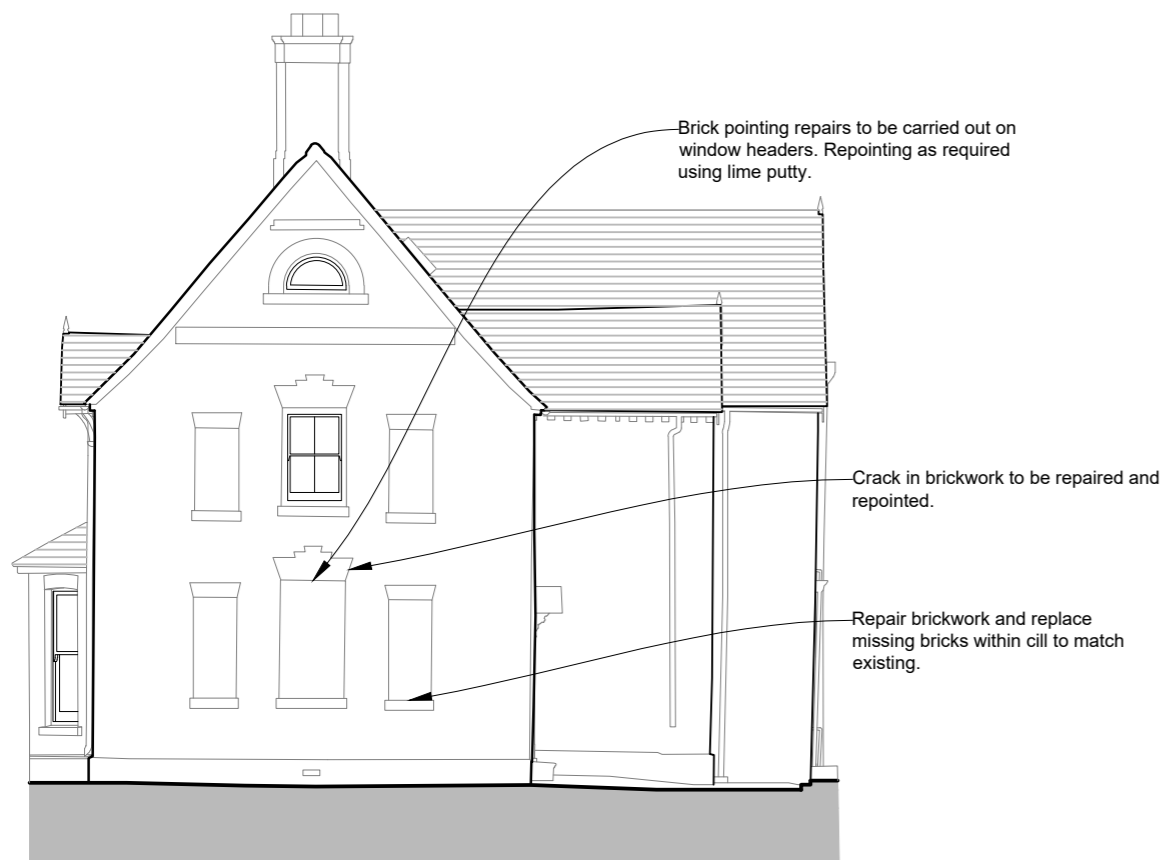


4.2 - Proposed Elevations
The proposed elevations on the following pages outline the full scope of works proposed on the external elevations.

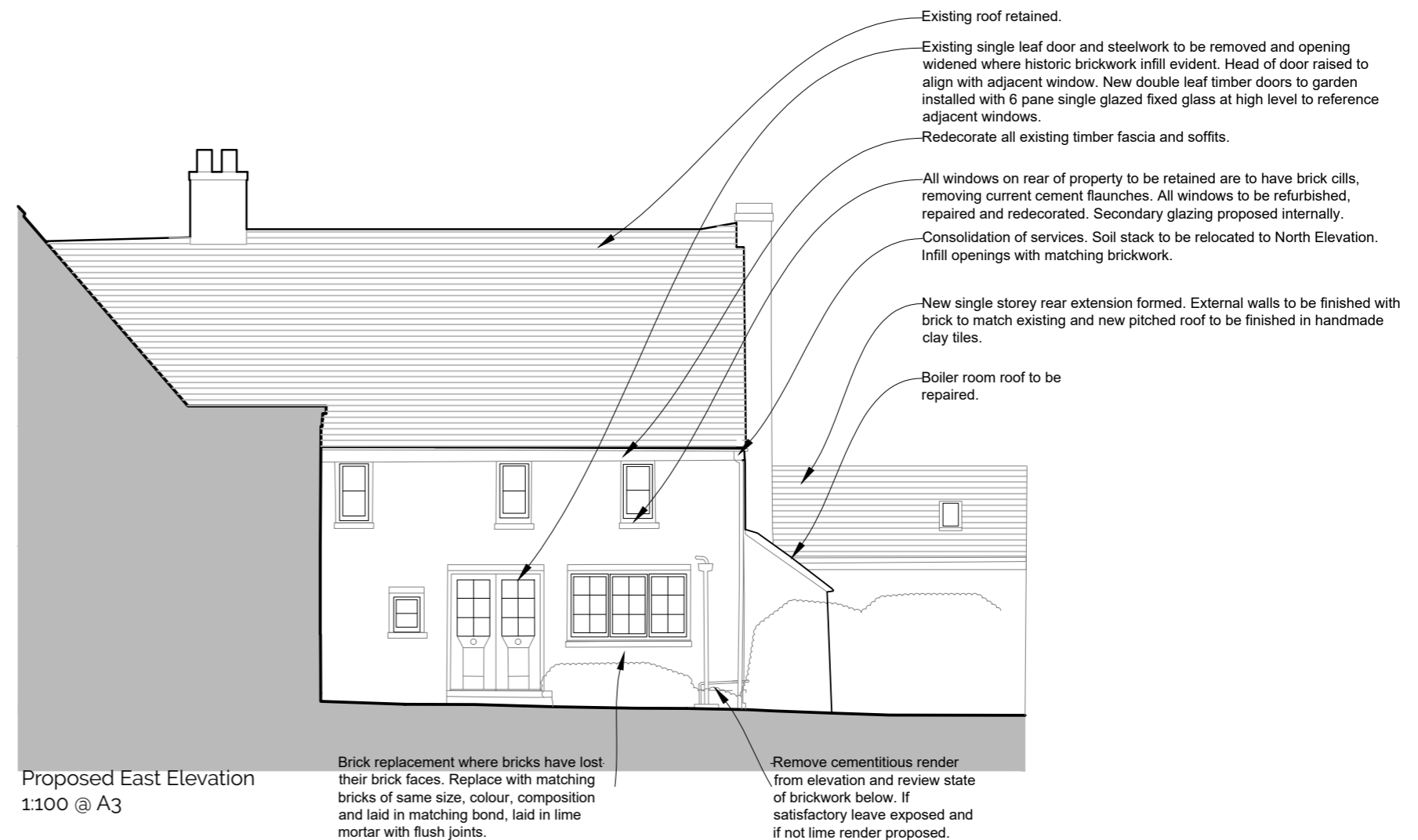
Cast iron down pipes on front elevation to be refurbished and retained if possible. All other rainwater goods to be carefully removed and replaced with black cast aluminium as per specification.

Localised lime mortar repairs (tinted with brick dust to the brickwork).

Proposed South Elevation
1:100 @ A3



Proposed East Elevation
1:100 @ A3



Proposed East Elevation
1:100 @ A3

4.2 - Proposed Elevations
The proposed elevations on the following pages outline the full scope of works proposed on the external elevations.

Remove hard cementitious paving abutting building, where it is causing damp issues at the base of adjacent walls. New paving to be laid on sand at a lower level with French drain.

Late-20th century extension removed and new single storey rear extension constructed with pitched roof. Small flat roof area required where new roof meets existing building. Flat roof to have lead finish, traditionally detailed.

Extension to be extended to align with adjacent building with a gable end on the North elevation.



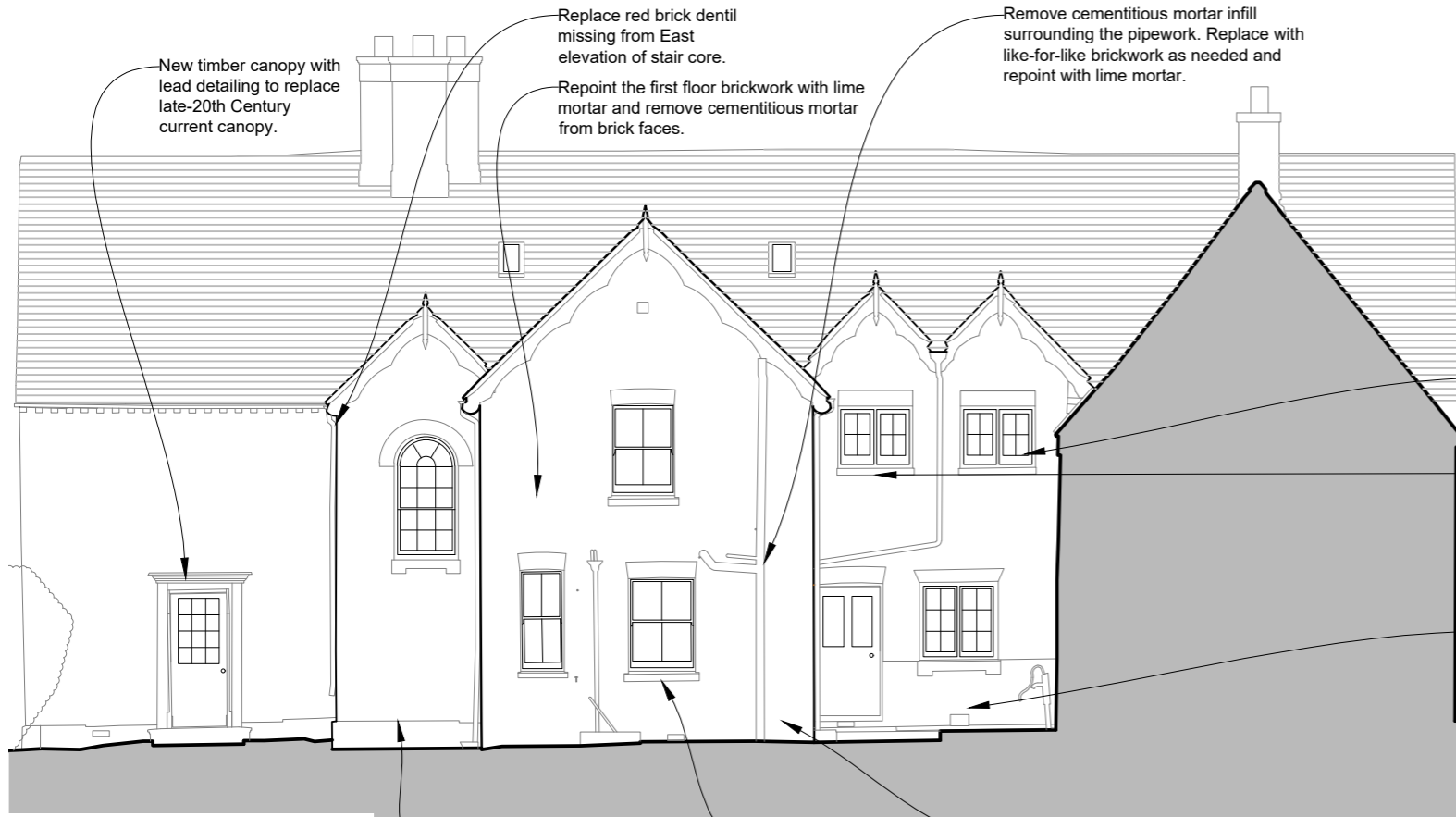
Proposed West Elevation
1:100 @ A3

Soffit on underside of canopy to be retained and painted.

Reinstate former window opening below surviving flat brick arch head. A '2 over 2' timber single glazed sash window proposed.

Existing window opening to be made taller to extend to former flat arched head. Window opening also to be made narrower using matching reclaimed brick removed from above current window and added to infill the gap, laid in lime mortar (flush joint). Proposed infill brickwork to match existing bonding pattern. A '2 over 2' timber single glazed sash window is proposed.

Repair brick below window with like-for-like replacements where needed.



Proposed North Elevation
1:100 @ A3

New timber canopy with lead detailing to replace late-20th Century current canopy.

Replace red brick dentil missing from East elevation of stair core.

Repoint the first floor brickwork with lime mortar and remove cementitious mortar from brick faces.

Remove cementitious mortar infill surrounding the pipework. Replace with like-for-like brickwork as needed and repoint with lime mortar.

Replace missing bricks within plinth with like-for-like replacement.

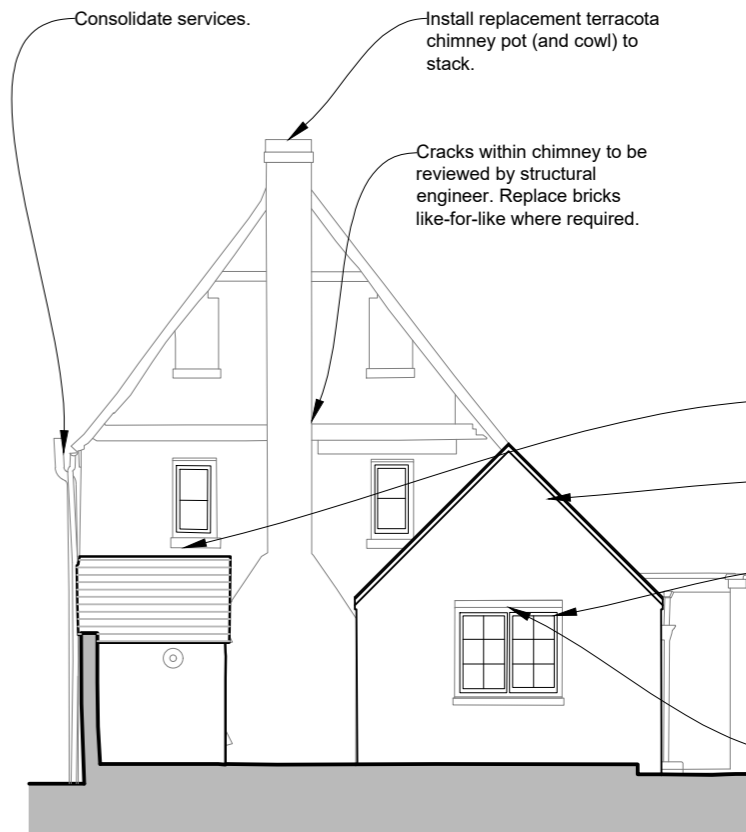
Rebuild bottom row of brickwork to window. Head is beginning to collapse.

Where bricks have lost their brick face bricks to be replaced like-for-like.

All existing windows to be refurbished, repaired and decorated. Secondary glazing proposed internally.

All windows on rear of property to be retained. Removing current cement flashings and repair and repoint brick cills to match existing. All windows to be refurbished, repaired and redecorated. Secondary glazing proposed internally.

Existing cement render to be removed and brick work repaired.



Proposed North Elevation
1:100 @ A3

Consolidate services.

Install replacement terracota chimney pot (and cowl) to stack.

Cracks within chimney to be reviewed by structural engineer. Replace bricks like-for-like where required.

Brickwork to be repaired under existing window.

New single storey rear extension with gable end.

New white painted timber casement window with brick cill inserted into new extension. Window to be single glazed with secondary glazing to match existing.

Rowlock brick lintel, to reference historic detailing of adjacent eastern elevation of kitchen.

43 - Proposed Extension Detail

The key area of the proposed works at Whitfield Court is focused around the existing late-20th Century rear extension which currently contains the existing kitchen. The space is currently very dark and does not provide an adequate kitchen space. The proposal allows for a new extension which is proposed to be finished in brickwork to match the existing property. The new extension aligns with the existing adjacent buildings and has been widened to meet the existing chimney removing a dark North facing crevice. This provides an opportunity to

add rooflights which will bring in more natural light into the space. The main kitchen area can be utilised for cooking and dining, moving the key storage requirements to the rear pantry.

The overall scale, form, mass and proportions of the extension are intended to be simple, using high quality materials and similar detailing to the house to appear as contextual as possible.

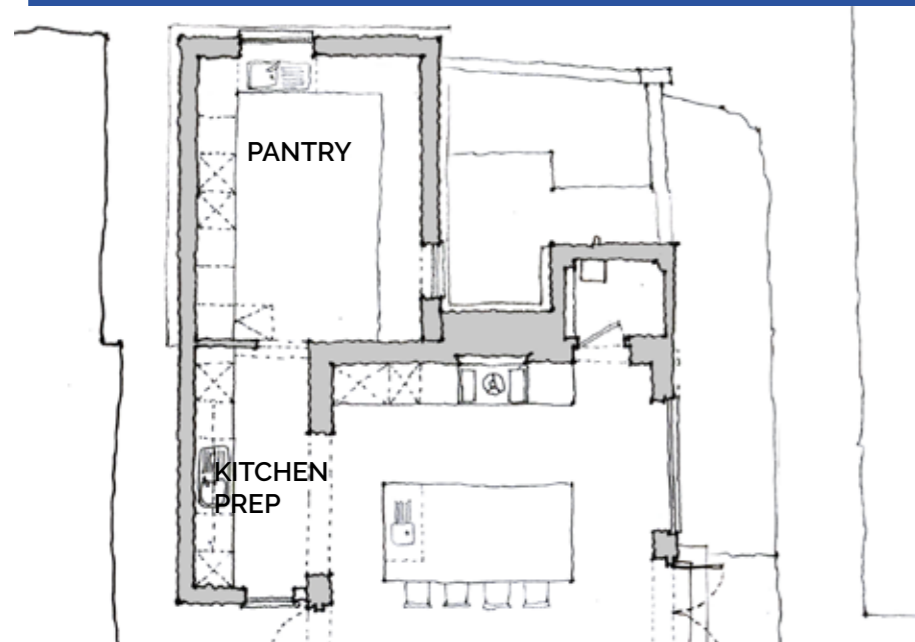


Fig 35: Proposed sketch floor plan
Not to Scale



Fig 36: Proposed sketch perspective of new extension.

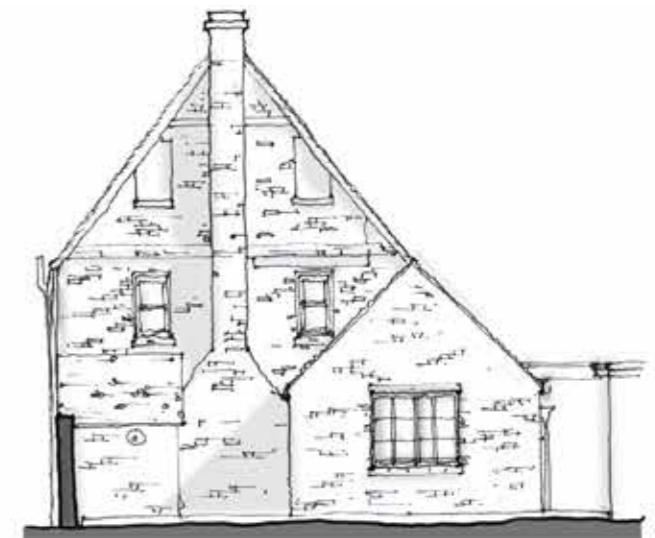


Fig 37: Proposed sketch elevation of extension
Not to scale



Fig 38: Photo of the existing late-20th Century flat roofed rear extension, with stretcher course brickwork.



Fig 39: Photo of existing breakfast room with late 20th-Century alterations to the chimney.



Fig 40: View down late-20th Century extension.

5. Access and Sustainability

5.1 Access Statement

The existing house has vehicle and pedestrian access from Littlewick Road. There is an open form timber gate located on the vehicle access. In addition to this there is a metal gate for pedestrians providing access to the front door on the South elevation of the site boundary.

There are no proposed changes to the external access arrangements. The internal arrangements reinstate the entrance hall to create a more formal front door entrance which is currently not clear.

5.2 Sustainability Statement

The majority of the existing built fabric of Whitfield Court is not proposed to be thermally improved as part of these proposals. The building is however generally historic and therefore has a very low embodied energy compared to modern buildings.

The proposal includes refurbishing all of the existing windows and installing secondary glazing. The secondary glazing proposed is Cosy Glazing supplied by Mitchell & Dickinson. Refer to Appendix V for their brochure. The secondary glazing is plexiglass (light weight equivalent to glass) which is fixed using magnetic strips which are bonded to the window. The secondary glazing is very discreet as it matches the existing window frame as can be seen in the photos opposite. The secondary glazing frame work can be painted in a colour to match the windows.

Where Whitfield Court is proposed to be extended, the new construction will comply with Part L1B of the Building Regulations.

New electric car charging points will be installed at the side of the property where vehicles can park.



Fig 41. Example image of secondary glazing on existing sash window. Supplied by Mitchell & Dickinson



Fig 42. Example image of secondary glazing on existing sash window. Supplied by Mitchell & Dickinson

6. Summary

6.1 Analysis of Proposals

The proposals set out in this document, the associated drawing package, and the appendices prepared by others, are intended to support a once in a generation scheme of works to Whitfield Court.

In essence, those works are:

- Repairing the historic fabric of the building internally and externally.
- Rationalising the existing interior of the house where appropriate, though being mindful of ensuring the historically significant cellular form is retained where present.
- Replace the existing 1980's rear single storey extension with a new single storey extension which provides a more usable space internally and is more inkeeping with the existing character of the property.
- Remove unsympathetic repairs and alterations carried out in the late 20th Century.

The proposals have been carefully considered and developed by Cowan Architects and the applicants with the intention of allowing Whitfield Court to continue to act as a single family dwelling, its optimum viable use, well into the future.

6.2 - Conclusion

We are very appreciative of the collaborative approach taken by Woking Borough Council in the development of the concept design for Whitfield Court. Following the positive response during the pre-app process the team have added additional specifications for the repair and refurbishment work. Fundamentally the scope of work proposed at the pre-app has remained unchanged.

It is hoped that this document gives an adequate level of detail for the reader to understand the needs of the building and the aspirations of the owners of Whitfield Court. The design has been developed to address the needs and the impact of the proposals on the Grade II* listed building.

It is the assertion of the authors that 'conservation is the management of change'. This change should be proportionate and appropriate, and should not be entered into lightly.

It is hoped that Woking Borough Council feel able to support the proposals, as they were supported at Pre-Application stage.

Appendix I - Statutory List Description

Whitfield Court, Littlewick Road, Knaphill, GU21 2JU

Listing: Grade II*

List Entry Number: 1236585

Description

External:

House. C16, remodelled in C18 and extended in late C19. Timber frame core, brick exterior, C19 plain tiled roofs with ridge stacks and end stack to rear. 3 framed bays and lobby entrance to original house, rear service range and staircase addition forming L shape plan. 2 storeys, dentilled eaves, sash windows to street front, 4 across the first floor under gabled hoods on brackets; ground floor window to left in angle bay. Wooden doorcase with panelled pilasters and flat hood on console brackets to left of centre; 6 panel door with transom light. Gable ends have large central window on each floor flanked by smaller, narrower windows, now blocked; all under gauged heads, with arched brick lunettes in gables. Round arched sash window with glazing bars to staircase extension at rear; casement windows to the service range.

Interior:

Panelled room with enriched C18 chimney piece in east ground floor room; timber construction, Queen post trusses exposed in west end. Dog leg staircase with open string, twisted balusters and swept hand rail.

Appendix II - Heritage Impact Assessment

Please find appended the 'Heritage Impact Assessment' in relation to Whitfield Court, prepared by Built Heritage Consultancy.

Appendix III - Whitfield Court Pre-App Response

The Pre-App Letter dated 9th March 2022 contains the advice of the Council's Conservation Officer Andrew Hill and Planning Officer Benjamin Bailey.

Reference: PREAPH/2021/0056

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Louise Fisher
Cowan Architects Ltd
9-10 Old Stone Link
Ship Street
East Grinstead
West Sussex
RH19 4EF

Reference: PREAPH/2021/0056
Contact: Benjamin Bailey
Phone: 01483 743423
Email: benjamin.bailey@woking.gov.uk

BY EMAIL ONLY

9 March 2022

Dear Ms Fisher,

Reference: PREAPH/2021/0056

Application Type: Pre-application advice - Householder

Proposal: Pre-application advice for removal of an existing late-20th Century flat roofed single storey rear extension and its replacement with a new dual-pitched single storey rear extension and internal and external works to listed building largely focused on repair and reinstatement of original details.

Location: Whitfield Court, Littlewick Road, Knaphill, Woking, Surrey, GU21 2JU

Thank you for your pre-application submission. I write further to the site visit which was attended (for the LPA) by myself and the Historic Buildings Advisor to the LPA (Mr Andrew Hill) between approximately 9:30am – 11:00am on Wednesday 2 March 2022. Mr Hill and I are both grateful for the time afforded by yourself, your colleague Jonathan Cerowski and the applicant (Mr Sohl) during the accompanied exterior and interior site visit, which was considered necessary in this case in order to provide a properly informed pre-application response. Apologies for the delay in my written response following the site visit.

The proposed works are fully described within the pre-application submission although can be briefly summarised as removal of an existing late-20th Century flat roofed single storey rear extension and its replacement with a new dual-pitched single storey rear extension and internal and external works to listed building largely focused on repair and reinstatement of original details.

The comments within this letter are made with reference to the following planning policies, Supplementary Planning Documents, Supplementary Planning Guidance and other material considerations. Any future planning and Listed Building Consent (LBC) applications would be assessed against the policies, SPDs, SPGs and other material considerations listed as follows:

National Planning Policy Framework (NPPF) 2021:

- Section 2 - Achieving sustainable development
- Section 4 - Decision-making
- Section 12 - Achieving well-designed places
- Section 13 - Protecting Green Belt land
- Section 14 - Meeting the challenge of climate change, flooding and coastal change
- Section 16 - Conserving and enhancing the historic environment

Woking Core Strategy 2012:

- CS6 - Green Belt
- CS9 - Flooding and water management
- CS20 - Heritage and conservation
- CS21 - Design
- CS24 - Woking's landscape and townscape

Development Management Policies DPD 2016:

- DM13 - Buildings in and adjacent to the Green Belt

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- DM20 - Heritage assets and their settings

Supplementary Planning Documents (SPDs):

- Outlook, Amenity, Privacy and Daylight (2022)
- Design (2015)

Supplementary Planning Guidance (SPG):

- Heritage of Woking (2000)

Other Relevant Guidance & Legislation:

- Planning (Listed Buildings and Conservation Areas) Act 1990
- Planning Practice Guidance (PPG) (online resource)
- Woking Borough Council Strategic Flood Risk Assessment (November 2015) (SFRA)
- Community Infrastructure Levy (CIL) Charging Schedule (2015)

The above documents published by the Local Planning Authority (LPA) are available on the Council's Planning Policy website at the following address: <http://www.woking2027.info/>

The key planning and Listed Building Consent considerations will be addressed in turn:

Statutory Listed Building, the Lower Knaphill Conservation Area and the character of the area:

Whitfield Court itself is Statutory Listed at Grade II*, with the barn to the west separately Statutory Listed at Grade II. Whitfield Court is well described within the pre-application submission, and thus that description does not require repeating here. Whitfield Court also falls within the Lower Knaphill Conservation Area, which encompasses the remnants of the much smaller and older settlement at Lower Knaphill where Anchor Hill joins Barrs Lane. This area has a strong character with several Statutory Listed Buildings from the 16th and 17th Centuries, together with a number of 18th Century properties on the Local List, all situated in a tight knit group.

Sections 16(2) and 66(1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 (the Planning (LBCA) Act 1990) require special regard to be had to the desirability of preserving listed buildings or their settings or any features of special architectural or historic interest which they possess. Section 72(1) of the Act requires special attention to be paid to the desirability of preserving or enhancing the character or appearance of the Conservation Area. Paragraphs 199 - 208 (incl.) of the NPPF set out the framework for decision making where proposals affect heritage assets; designated heritage assets in this case are the subject listed Grade II* building, the adjacent Grade II listed barn to the west and the Lower Knaphill Conservation Area.

Whilst there is no requirement in section 16(2) of the Planning (LBCA) Act 1990 to have regard to the Development Plan when determining applications for Listed Building Consent (LBC) if the Development Plan contains provisions relevant to Listed Building control, then these are a material consideration in the determination of a LBC application. The Development Plan is clearly the primary material consideration in the determination of a planning application. In this case Policy CS20 of the Woking Core Strategy 2012, Policy DM20 of the DM Policies DPD 2016 and SPG Heritage of Woking (2000), in addition to other policies and material considerations, would constitute material considerations in the determination of both planning and LBC applications. The main issues would be whether the works preserve the subject listed building or any features of special architectural and historic interest it possesses, the impact on the setting of the adjacent Grade II listed barn to the west, whether the character or appearance of the Lower Knaphill Conservation Area would be preserved or enhanced and whether any harm would be caused to the significance of these designated heritage assets.

Section 16 of the NPPF (at para 195) sets out that the LPA should identify and assess the particular significance of any heritage asset and should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal. Paragraphs 199-208 (incl.) of the NPPF set out the framework for decision making in relating to heritage assets. The NPPF (at para 199) states that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation (and the more important the asset, the greater the weight should be). Policy CS21 of the Woking Core Strategy 2012 states that "proposals for new development should...respect and make a positive contribution to the street scene and character of the area in which they are situated, paying due regard to the scale, height, proportions, building lines, layout, materials and other characteristics of adjoining buildings and land".

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It was very beneficial to have the opportunity to examine both the exterior and interior of Whitfield Court during the site visit on 2 March. It was also clear that the appointed architectural team are highly experienced and sensitive to the needs of complex listed buildings and that the applicant appears willing to make a financial investment to take the subject building back to a much more authentic condition, as befits a building listed at Grade II*. It was clear during the site visit that the existing building has something of a 'plethora' of additions which add character but are 'fake' and hide some of the very fine original features of this unique building. Whilst the existing floor space is to be enlarged slightly at ground floor level in doing so the existing rather incongruous late C20 single storey flat roofed rear extension is to be removed and replaced by a dual-pitched single storey rear extension which will be much more sympathetic in form and appearance to the north of the building, whilst remaining readily subordinate in scale and proportionate in built footprint.

The pre-application drawings are of a very high standard and are fully annotated, so there will be a need for very few amendments in forming the proposed planning and LBC applications. The Historic Buildings Advisor to the LPA has commented that they saw nothing which would in any way harm the subject building as most of the proposed work will be to reverse the worst of the cumulative changes which have happened over the last forty years to the positive benefit of the building. The proposed works also include a rather extensive program of prudent 'repairs' and general improvements, such as lowering the external ground area to reduce low level damp, repairing cracks, cutting out and replacing perished bricks, replacing plastic rainwater goods with metal, localised repairs to windows, and removing unsightly external wiring. Attending to these slightly neglected repairs will further add to the long term preservation of this unique building, and be beneficial to its significance and special interest, to the setting of the adjacent Grade II listed barn and the character and appearance of the Conservation Area. Due to the Grade II* status of the subject building Historic England would be a statutory consultee at application stage although, on the basis of the information available, the LPA would hope/anticipate that Historic England would not raise any objections to the proposed works. We look forwards to receiving the planning and LBC applications in due course.

Overall, it is considered that the proposed works would have a positive impact upon the significance and special interest of the subject Grade II* listed building, a positive effect on the setting of the adjacent Grade II listed barn to the west and would enhance the character and appearance of the Lower Knaphill Conservation Area. The proposed works would cause no harm to the significance of the foregoing as designated heritage assets. As such, it is considered that the proposed works would be in accordance with the Planning (LBCA) Act 1990, Policies CS20, CS21 and CS24 of the Woking Core Strategy 2012, Policy DM20 of the DM Policies DPD 2016, SPD Design (2015), SPG Heritage of Woking (2000) and Sections 12 and 16 of the NPPF. The foregoing Development Plan policies, amongst other things, set out a presumption against any development that will be harmful to a listed building and that alterations and extensions to listed buildings must respect the host building in terms of scale, design, use of materials, retention of the structure and any features of special historic or architectural importance.

Green Belt:

Whitfield Court falls within the Green Belt, as defined by the Council's Proposals Map. Paragraph 149 of the NPPF sets out that "a local planning authority should regard the construction of new buildings as inappropriate in the Green Belt", subject to several exceptions including, relevant in this instance, "c) the extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building". The Glossary (Annex 2) to the NPPF defines the 'original building' as "a building as it existed on 1 July 1948 or, if constructed after 1 July 1948, as it was built originally" (emphasis added).

The national policy advice within the NPPF must be read together with the relevant Development Plan, Policy CS6 of the Woking Core Strategy 2012 indicates that strict control will apply over inappropriate development in the Green Belt as defined in the NPPF. Policy DM13 of the DM Policies DPD 2016 states that, subject to other Development Plan policies, the Council will permit "the extension and alteration of buildings within the Green Belt where the proposal does not result in disproportionate additions over and above the size of the original building as it existed at 1 July 1948 or if it was constructed after the relevant date, as it was first built".

The reasoned justification text to Policy DM13 states (at para 5.40) that:

"the NPPF does not provide any guidance as to what may be regarded as 'proportionate' or 'disproportionate' addition in the context of a building extension or alteration. The Council considers that different locations and

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forms of development present different site specific characteristics. In this regard, the details of any application will be judged on its own individual merits. Nevertheless, based on the Council's past experience, and in line with standards commonly applied to similar development in Surrey and the South East, the expectation is that to be acceptable, proposals will be within the range of 20-40% above the original volume of the building. This does not imply that where a satisfactory case can be made for a higher or lower percentage addition that the Council will resist. Equally, in some instances proposals to extend the volume of the building by less than 20% may still be disproportionate, for example those in open and prominent locations within the Green Belt where significant impacts are more likely to occur". (emphasis added)

The reasoned justification text to Policy DM13 states (at para 5.41) that:

"the starting point for consideration of proposals for extensions to existing buildings in the Green Belt will be the footprint of the 'original' building. This means the building (and garages and ancillary buildings within 5 metres) that existed on 1 July 1948 or, if constructed after 1 July 1948, as it was originally built. Any extensions built subsequently will not be considered part of the original building. The Council will calculate volume using the basic formula of area multiplied by height. This being as a measurement of external structure, inclusive of roof voids".

The reasoned justification text to Policy DM13 states (at para 5.42) that:

"When assessing whether the proposed extension represents a disproportionate addition, the Council will compare the size of the 'original' building with the proposed extension, taking account of siting, floorspace, bulk and height"

Policies CS6 of the Woking Core Strategy 2012 and DM13 of the DM Policies DPD 2016 are consistent with national Green Belt policy contained within the NPPF. This has been confirmed by recent appeal decisions.

Whitfield Court has been subject to several previously implemented extensions and alterations (since 1 July 1948) which must be figured cumulatively with the (replacement) single storey rear extension proposed. Those permissions which appear on the Council's planning register are:

- PLAN/2004/1048 - Alteration to single storey rear elevation by extending in height with 2 symmetrical gables & centralised windows.
Permitted subject to conditions (21.10.2004)
- PLAN/2004/0974 - Alteration to existing smallest rear gable & windows by extending the rear wall to first floor gable height.
Permitted subject to conditions (21.10.2004)
- PLAN/2004/0894 - Replacement of roof and renovation of attic requiring (1) installation of stairs from first floor to attic, and (2) installation of two rooflights in centre of attic on rear elevation only. (Amended plans).
Permitted subject to conditions (04.11.2004)

It is also apparent from the Council's Building Control records (which are not in the public domain) that the existing flat roofed single storey rear extension proposed to be removed (i.e., that forming the rear section of the existing kitchen) was constructed, at least initially, in the late 1960s. This element, together with those elements resulting from the permissions listed above, are therefore not part of the 'original' building for Green Belt purposes. Whilst no volume, gross floorspace or building footprint calculations have been submitted as part of the pre-application submission on the basis of the information available it seems very likely that the proposed, cumulative, uplift above the 'original' (i.e., 1 July 1948) volume, gross floorspace and building footprint would fall within the acceptable range of 20%-40%. Subject to that being the case the proposed works would not result in a disproportionate addition over and above the size of the original building and would therefore constitute appropriate development in the Green Belt in accordance with Policy CS6 of the Woking Core Strategy 2012, Policy DM13 of the DM Policies DPD 2016 and Section 13 of the NPPF.

It should be noted that original (i.e., as of 1 July 1948) and proposed volume, gross floorspace and building footprint calculations would be a validation requirement for any planning application.

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Trees:

Policy CS21 of the Woking Core Strategy 2012 requires, inter alia, proposals for new development to incorporate landscaping to enhance the setting of the development, including the retention of any trees of amenity value. Policy DM2 of the DM Policies DPD 2016 relates to trees and landscaping and requires, inter alia, trees which are to be retained to be adequately protected to avoid damage during construction. There are x2 Birch trees within the frontage of the site which are protected by Tree Preservation Order (TPO ref: 626/0244/1978), trees within the site being otherwise protected by the Conservation Area status. Whilst the proposed works would not be anticipated to have any direct adverse implications for trees within the site the Councils' Senior Arboricultural Officer would be consulted on the planning application and may require the provision of tree protection fencing (and/or ground protection measures) to ensure that trees, and their rooting environments, are not damaged through the inappropriate storage of materials and or the inappropriate parking/movement of vehicles/machinery during the course of site works.

The Council's TPO and Conservation Area map is available to view online (and also contains the formal TPO documentation) at the following address (under 'Search Tree Preservation Orders (TPO) and conservation areas'):
<https://woking.gov.uk/planning-and-building-control/trees-and-hedges>

Flooding and water management:

Policy CS9 of the Woking Core Strategy 2012 states, inter alia, that "*the Council expects development to be in Flood Zone 1 as defined in the SFRA*". Paragraphs 159-169 (incl.) of the NPPF relate to planning and flood risk. The site falls wholly within Flood Zone 1 (low risk), as identified on the Flood map for planning, and a significant distance away from Flood Zone 2/3 areas, and therefore no fluvial flood issues would arise. Whilst the Council's Strategic Flood Risk Assessment (SFRA) identifies a small area of the site (circa 14m to the north-east of the house) to be at 'Medium' risk of surface water flooding given that the existing building footprint would increase by a modest circa 11 sq.m (i.e., from c.222 sq.m to c.233 sq.m) it would not be deemed necessary to require the submission of a flood risk assessment (in respect of surface water) nor would it be deemed necessary to potentially attach any planning conditions in respect of surface water, this being addressed under other regulatory measures (i.e., such as Building Control).

Neighbouring amenity:

Policy CS21 of the Woking Core Strategy 2012 advises that proposals for new development should achieve a satisfactory relationship to adjoining properties avoiding significant harmful impact in terms of loss of privacy, daylight or sunlight, or an overbearing effect due to bulk, proximity or loss of outlook. More detailed neighbouring amenity guidance is provided within SPDs Outlook, Amenity, Privacy and Daylight (2022) and Design (2015). Adjoining residential properties are sufficiently distant from the proposed works so as to not be materially impacted, as such no neighbouring amenity concerns would be raised.

Community Infrastructure Levy (CIL):

Woking Borough Council implemented CIL on 1 April 2015. The gross floorspace of the proposed (replacement) single storey rear extension would fall well below 100 sq.m (i.e., circa 22 sq.m) and therefore the proposed works would not be CIL liable.

Opening Up Works:

The Historic Building Advisor to the LPA and I have reviewed the opening up works details which have been submitted as part of the pre-application submission. The submitted specification for opening up limited areas of fabric is highly detailed and what would be expected prior to a listed building being refurbished and made fit for a long term future. It is appreciated that the subject building, like many other buildings of this complexity, has undergone many layers of evolution throughout its lifetime, and therefore such investigations are essential in formulating effective methods of repair and restoration. Following liaison with the Historic Buildings Advisor there are no adverse comments on the opening up works proposals and as such there is no objection to these opening up works being undertaken, albeit only in accordance with the details listed below, ahead of the planning and LBC applications being submitted/registered as it is acknowledged that these investigations may well inform the details of the final planning and LBC applications:

- Specification for Opening Up Works, dated 23 November 2021, prepared by Tully De'Ath Consultants (4pp); and
- Tully De'Ath sketches numbered 14474 SK01, SK02, SK03 & SK04, dated November 2021 (4pp).

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Summary:

In summary, it is considered that the proposed works would have a positive impact upon the significance and special interest of the subject Grade II* listed building, a positive effect on the setting of the adjacent Grade II listed barn to the west and would enhance the character and appearance of the Lower Knaphill Conservation Area. The proposed works would cause no harm to the significance of the foregoing as designated heritage assets. Whilst no volume, gross floorspace or building footprint calculations have been submitted as part of the pre-application submission on the basis of the information available it seems very likely that the proposed, cumulative, uplift above the 'original' (i.e., 1 July 1948) volume, gross floorspace and building footprint would fall within the acceptable range of 20%-40%. Subject to that being the case the proposed works would not result in a disproportionate addition over and above the size of the original building and would therefore constitute appropriate development in the Green Belt. Following liaison with the Historic Buildings Advisor to the LPA there are no adverse comments on the opening up works proposals and as such there is no objection to these opening up works being undertaken, albeit only in accordance with the details listed above, ahead of the planning and LBC applications being submitted/registered as it is acknowledged that these investigations may well inform the details of the final planning and LBC applications. We look forwards to receiving the planning and LBC applications in due course.

Please note that the advice given represents an Officer's informal opinion based upon the information you have supplied and is not intended to bind the Local Planning Authority's decision-making powers on any formally submitted application(s). All submitted application(s) will be the subject of publicity and consultation in accordance with statutory requirements and the Council's adopted procedures. These, and any other matters which may subsequently come to light, may result in additional issues being raised that are pertinent to the determination of the application(s). It should also be noted that subsequent alterations to local and national planning policies may affect the advice given.

Yours sincerely,

BBa

Benjamin Bailey
Senior Planning Officer

Information considered in providing this pre-application response (in addition to site visit observations):

Concept Design Document, dated December 2021, prepared by Cowan Architects Ltd (24pp)
2359-CAL-XX-XX-DR-A-100-S4 Rev P1 (Location Plan), dated 22/12/21
2359-CAL-XX-XX-DR-A-101-S4 Rev P1 (Existing Block Plan), dated 22/12/21
2359-CAL-XX-XX-DR-A-301-S4 Rev P1 (Proposed Block Plan), dated 22/12/21
2359-CAL-XX-B1-DR-A-110-S4 Rev P1 (Existing Basement Plan), dated 22/12/21
2359-CAL-XX-00-DR-A-111-S4 Rev P1 (Existing Ground Floor Plan), dated 22/12/21
2359-CAL-XX-01-DR-A-112-S4 Rev P1 (Existing First Floor Plan), dated 22/12/21
2359-CAL-XX-02-DR-A-113-S4 Rev P1 (Existing Second Floor Plan), dated 22/12/21
2359-CAL-XX-03-DR-A-114-S4 Rev P1 (Existing Roof Plan), dated 22/12/21
2359-CAL-XX-B1-DR-A-210-S4 Rev P1 (Demolition Basement Plan), dated 22/12/21
2359-CAL-XX-00-DR-A-211-S4 Rev P1 (Demolition Ground Floor Plan), dated 22/12/21
2359-CAL-XX-01-DR-A-212-S4 Rev P1 (Demolition First Floor Plan), dated 22/12/21
2359-CAL-XX-02-DR-A-213-S4 Rev P1 (Demolition Second Floor Plan), dated 22/12/21
2359-CAL-XX-03-DR-A-214-S4 Rev P1 (Demolition Roof Plan), dated 22/12/21
2359-CAL-XX-XX-DR-A-120-S4 Rev P1 (Existing Elevations South & East), dated 22/12/21
2359-CAL-XX-XX-DR-A-121-S4 Rev P1 (Existing Elevations North & West), dated 22/12/21
2359-CAL-XX-XX-DR-A-130-S4 Rev P1 (Existing Sections), dated 22/12/21
2359-CAL-XX-B1-DR-A-310-S4 Rev P1 (Proposed Basement Plan), dated 22/12/21
2359-CAL-XX-00-DR-A-311-S4 Rev P1 (Proposed Ground Floor Plan), dated 22/12/21
2359-CAL-XX-01-DR-A-312-S4 Rev P1 (Proposed First Floor Plan), dated 22/12/21
2359-CAL-XX-02-DR-A-313-S4 Rev P1 (Proposed Second Floor Plan), dated 22/12/21
2359-CAL-XX-03-DR-A-314-S4 Rev P1 (Proposed Roof Plan), dated 22/12/21
2359-CAL-XX-XX-DR-A-320-S4 Rev P1 (Proposed Elevations South & East), dated 22/12/21
2359-CAL-XX-XX-DR-A-321-S4 Rev P1 (Proposed Elevations North & West), dated 22/12/21
2359-CAL-XX-XX-DR-A-330-S4 Rev P1 (Proposed Sections), dated 22/12/21

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Heritage Statement, dated April 2021 (Draft Report), prepared by Built Heritage Consultancy (91pp)

Structural Engineering Report, dated 18 October 2021, prepared by Tully De'Ath Consultants (34pp)

Site Investigation Specification, dated 23 November 2021, prepared by Tully De'Ath Consultants (3pp)

Specification for Opening Up Works, dated 23 November 2021, prepared by Tully De'Ath Consultants (4pp)

Tully De'Ath sketches numbered 14474 SK01, SK02, SK03 & SK04, dated November 2021 (4pp)

COWAN
ARCHITECTS

Appendix IV - Rainwater Goods Specification

Please find appended the specification and method statement for the replacement of late 20th Century plastic rainwater goods with cast aluminium for Whitfield Court prepared by Cowan Architects Ltd.

Appendix V - Mitchell & Dickinson Brochure

Please find appended the Mitchell & Dickinson window brochure which explains the refurbishment process and secondary glazing proposed in more detail.

Appendix VI - Structural Survey

Please find appended the structural survey completed by Tully De'Ath.