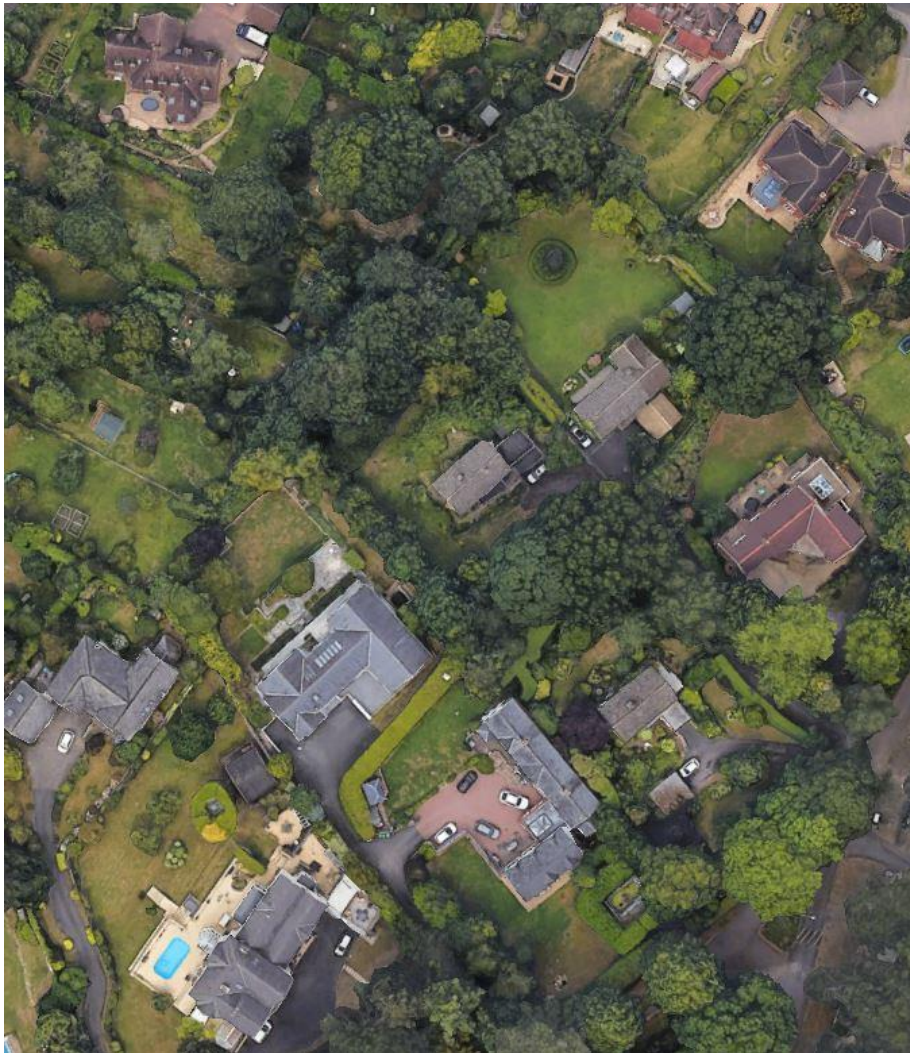


Design and Access Statement

Proposed residential development at
Beggars Roost, Stanley Road, Battledown
Cheltenham



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1.0 Introduction

- i. Coombes Everitt Architects have been appointed by our client M D Construction, to prepare proposals for the development of a replacement dwelling at Beggars Roost, Stanley Road, Cheltenham.
- ii. The current proposal is for the replacement of the existing property on the site with a single contemporary new dwelling.
- iii. The site is located at the end of a shared to the northwest of Stanley Road. It is within the Principal Urban Area and is within the Battledown Estate.
- iv. The existing building on the site is a circa 1970s detached dwelling house. The property is predominantly two storeys with a single storey garage to the side and a single storey porch to the front elevation.



View of the existing property viewed from access drive

- v. The existing property sits centrally on the site and broadly aligns with the properties on adjacent plots.
- vi. The property to the southwest has been extended and remodelled extensively and is now a predominantly rendered structure.
- vii. The property to the northeast is largely unaltered from the time of its initial construction and comprises element of artificial stone work and render with an interlocking concrete tile clad roof. These materials are very similar to those of the existing property at Beggars Roost.
- viii. The site is accessed from the southeast. The drive slopes down from the point where it leaves Stanley Road down to the dwelling. The site continues to slope further down towards the northwest boundary.
- ix. There are a number of mature trees on the southwest and northwest boundaries. The northwest and northeast boundaries are also lined by a hedgerow.
- x. The site measures approximately 2035sqm. It is roughly rectangular in shape.

2.0 Development Overview

- i. The site is located on Battledown Estate to the east of Cheltenham. The Site slopes down from south to the north and is rectangular in shape. The access to the site is from the southeast corner of the rectangle.
- ii. The site is set back from the Stanley Road and sits behind a dwelling that addresses Stanley Road directly. It is within a row of properties that sit in this position behind the dwellings directly addressing Stanley Road.
- iii. The properties in this secondary row of dwellings are all on a similar building line.
- iv. The existing dwelling sits approximately centrally on the plot albeit there is slightly more space to the northwest of the site than there is to the southeast.
- v. The site is on the upper levels of Harp Hill and as such has an elevated position with views looking over Cheltenham towards the race course and beyond to the Malvern Hills.
- vi. There are a number of mature trees within the boundary hedges that enclose the site.
- vii. The site has an area of 2035sqm.
- viii. The existing property is two storeys with a pitched roof. It has an internal area of 163sqm including the garage.
- ix. There has been a long history of replacement dwellings being developed within the Battledown Estate. Many of these have adopted a contemporary approach to their design.

3.0 Site Analysis

General

- i. The site is at the northern end of Stanley Road and sits on the downward slope looking out over Cheltenham.
- ii. The site level drops from the southeast boundary to the northwest boundary by approximately nine meters. The existing house sits six meters above the ground level along the northwest boundary.
- iii. Because the property is set behind the dwelling to the southeast, all of the associated amenity space is private. The existing driveway and turning is to the southeast of the dwelling and the most attractive outlook is from the west around to the northeast.
- iv. Due to the topography and orientation of the site the elevated views from the site are fantastic and there is little risk of overlooking any neighbouring properties amenity space.

- v. The existing property is located roughly centrally on the plot and that would appear to be the most appropriate position for the further replacement dwelling. There is adequate space to the southeast to allow for vehicles to park and turn.
- vi. There are several mature trees within the hedgerow to the northwest boundary but due to the orientation of the plot these don't excessively overshadow the amenity space that wraps around the property from the west to the northeast.
- vii. The house sits on a plateau that was probably formed at the time it was built to provide a level site for the dwelling. As a result the ground level drops away steeply from the rear elevation of the house to the northwest boundary of the plot.

Local Building Types

- i. The surrounding buildings are a mix of sizes and ages ranging from large detached two/three storey dwellings to bungalows.
- ii. There is no coherent building style along Stanley Road although the dwellings are predominantly large and detached.
- iii. Many of the older properties on the estate have been redeveloped predominantly in a contemporary style. Using a range of materials including stone, brick, render, cladding as well as a variety of built forms including pitched and flat roofs.

Site Access

- iv. The access to the site is off Stanley Road via a shared drive. There is adequate space for vehicles to park and turn within the site.

Flooding

- v. The site is not located within a flood zone.

Surrounding Trees

- vi. The site boundaries on the southeast, southwest and northwest are largely defined by hedgerows which include mature trees of varying density.
- vii. In preparing this application we have ensured that the proposed scheme doesn't require the removal of any of the existing trees which form the site boundary.

4.0 Design Objectives

- i. The design objectives have been based on our assessment of the site and its characteristics and the opportunities and challenges that they present.
- ii. We therefore believe the design should achieve the following outcomes:
 1. The building currently on the site has no outstanding architectural merit and its demolition is therefore acceptable.
 2. The proposed scheme should have no adverse impact on the surrounding properties or their amenity space.
 3. The proposed dwelling should work with the topography of the site to ensure that the proposal has a minimal impact on the site.
 4. The materials selected for the development should be of a high quality and complement the aesthetic of the proposed design.
 5. The proposed dwelling should be orientated to make the most of the views that are available from the site without the need to reduce the number of trees that currently form the site boundaries.
 6. Sustainable construction methods should be used to promote the development of an energy efficient building that has the potential to enhance the bio-diversity of the property.
 7. The existing site boundary planting will be maintained and re-enforced where necessary.
 8. The form of the new dwelling will allow for natural ventilation and adequate natural light to enter the property to reduce the amount of electrical lighting and mechanical ventilation that is required.
 9. The proposed dwelling will relate well to the amenity space around the property
 10. The scheme will confirm to the 40ft set back from the verge as defined in the 'Battledown Estate' covenant.

5.0 Proposed Development

Scale

- i. It is our clients wish to develop a dwelling that is larger than the existing property on the site. Several of the replacement dwelling scheme within the estate have increased the size of the dwellings on the plot considerably.

- ii. The plot at Beggars Roost is a generous one compared to some within the estate however we do not wish to over develop it and as such we are proposing that the new dwelling will adhere to the existing building lines in the locality.
- iii. By keeping the replacement dwelling in a similar location and orientation to the existing dwelling we will be building along the contour line rather than across it.
- iv. We are proposing the replacement dwelling will be a two storey dwelling like the existing property on the site however the proposed dwelling will have a flat roof as such the ridge level will not be any higher than the ridge of the existing property.

Form

- v. We are seeking to replace the existing property with a single dwelling.
- vi. The design of the proposed dwelling is contemporary in nature. The practice has completed many projects within the Battledown Estate and whilst all of them have been very different in form, materials and scale they have all adopted a contemporary approach.
- vii. There is a building line established by the properties on either side of the plot. As such we are not proposing to change the position of the dwelling on the site compared to that of the existing property.
- viii. We are proposing to make the property wider than the existing footprint and a two storey wing that projects to the southeast has been added to house a garage and some additional bedroom accommodation at 1st floor.
- ix. The site benefits from fantastic views from the west around to the northeast. Due to its elevated position these views look over the neighbouring properties to the northwest of the site. As such we have configured the living accommodation and the majority of the bedrooms to take advantage of this outlook.
- x. The property is entered in the corner of the 'L' shaped plan form and the staircase sits in front of a double height glazed screen which addresses the view.
- xi. The kitchen and family room is positioned to the left of the entrance and has large sliding doors that provide access to the terrace that runs across the northwest elevation of the property.
- xii. The sitting room sits to the right of the entrance lobby and also have large sliding doors that provide access to the terrace.
- xiii. A northwest facing first floor terrace sits above the end of the family room and sitting room. This terrace can be accessed from two of the bedrooms and the galleried landing. To ensure the privacy of the property to the east of the plot the chimney stack for the fire in the sitting room screens the outlook in this direction.

- xiv. We are also mindful of the potential for overheating in the afternoon due to the amount of glazing on the west elevation as well as the potential for glare and light spill. To help mitigate these issues we are proposing to screen some of the glazing with vertical louvres.

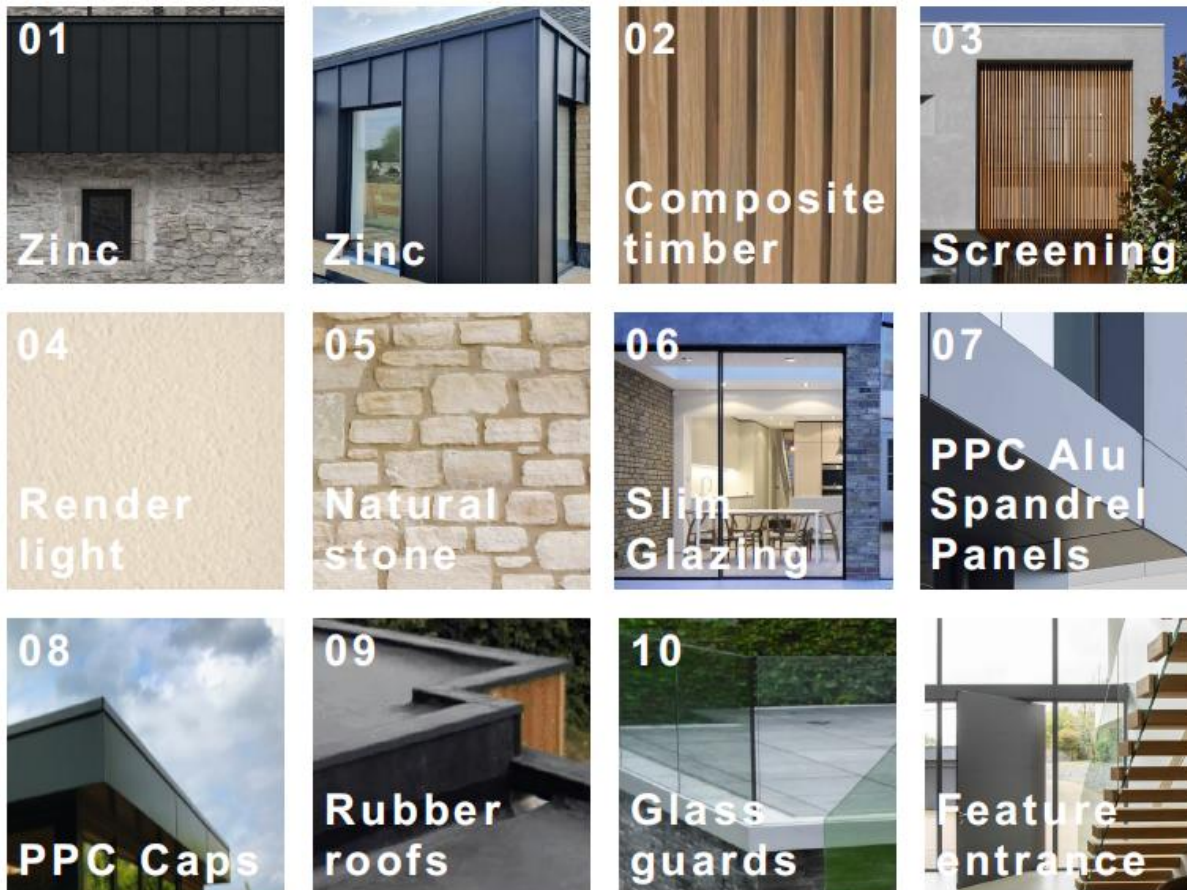


Northwest elevation

- xv. The first floor window to the master bedroom ensuite which is closest to the eastern boundary is similarly screened to prevent overlooking and to provide privacy.
- xvi. All of the first floor windows meet the required separation distances from the boundaries to ensure they are not impinging on the private amenity space of the adjoining properties.

6.0 Appearance, Materials

- i. The existing house on the site is constructed from reconstituted stone with an interlocking concrete tile roof and UPVC windows. It is fair to say that it is of little architectural merit.
- ii. In developing the proposed replacement dwelling we have sought to design a contemporary dwelling.
- iii. The dwelling will be two storeys in height with a flat roof.
- iv. With regards the materials a combination of natural Cotswold stone, render and composite timber cladding will be used on the elevations.



Materials pallet

- v. Due to the topography of the site the ground level falls away on the southwest, northwest and northeast elevations. The under build will be finished in natural Cotswold stone to provide the dwelling with a solid grounding to the site.
- vi. The ground floor will predominantly be finished in render.
- vii. The composite timber cladding will be used at the first floor as well as some feature panels at ground floor in between the floor to ceiling glazing.

7.0 Highways

- i. The proposal will use the same access to and from the property to access the highway. The scheme includes a garage along with sufficient hard standing for three vehicles to park and turn around.

8.0 Drainage

- i. The foul water will connect to the main sewer via the existing connection and surface water drainage will connect to a soakaway. As the scheme represents a one for one replacement it is not

anticipated that the scheme will generate any greater amount of foul or surface water drainage than the current dwelling occupying the site.

9.0 Access

- i. The existing property on the site is currently served by a shared vehicular access from Stanley Road. The existing access will be retained and used to access the proposed dwelling. New gates will be installed at the access to the drive of the replacement dwelling where the shared drives end and the two properties boundaries begin.
- ii. The hard standing at the front of the property allows for three vehicles to be parked and to turn around within the site.
- iii. The property is to be provided with an electric vehicle charging point. For convenience this is to be located to the front of the garage.
- iv. The site is in a sustainable location being approximately a 20-25 minute walk to Cheltenham town centre; it is well served by public transport in addition to being readily accessible by emergency and refuse collection vehicles.
- v. The garage has been adequately sized to provide three parking spaces as well as space for cycle storage.
- vi. The house will comply with the requirements of the Building Regulations in respect of AD Part M, with level accessible thresholds and entry level WC facilities.
- vii. The home is to be fully compliant with the Nationally Described Space Standards.
- viii. The homes benefits from a dedicated Study / Home Office to encourage home working or flexible working, and a reduction in commuting.

10.0 Flooding

- i. The site is located in an area defined as being 'Very Low Risk', and is not subject to flooding.

11.0 Summary

- i. The proposed new dwelling constitutes a good example of sustainable development by making more efficient use of a currently under-utilised site.
- ii. The proposal provides a new dwelling within the Battledown Estate that is comparable in size to many of the adjacent properties that have been redeveloped or extended and refurbished.
- iii. The proposed new dwelling is of a high quality contemporary design that will enhance the appearance and character of the area.
- iv. We believe the proposal represents an appropriate form of development in this location. The proposal is of an appropriate scale and mass, is of a high-quality aesthetic, and respects the residential amenity of existing neighbours.

- v. During the development of this dwelling we have engaged with the Battledown Trustees and they have approved the proposal as such we now submitting the application to the Local Authority for approval.

- vi. We trust that Local Planning Authority is able to support this application.