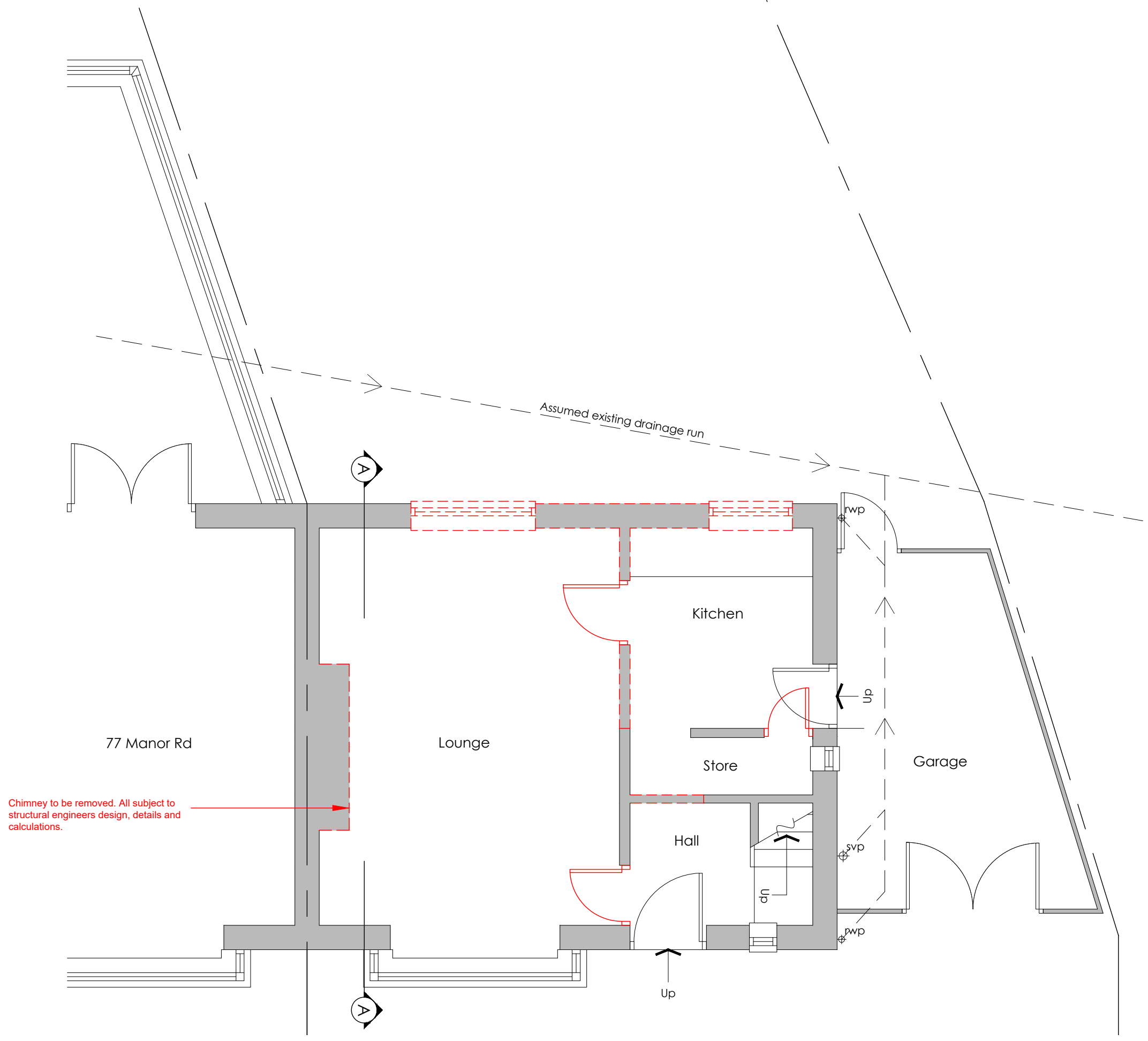


**DEMOLITION NOTE:**  
All elements indicated in red dash lines to be demolished and make good surrounding areas ready to receive new construction



# 02. Existing Ground Floor Plan

24011

1:50 @A3

## Dwelling Extension

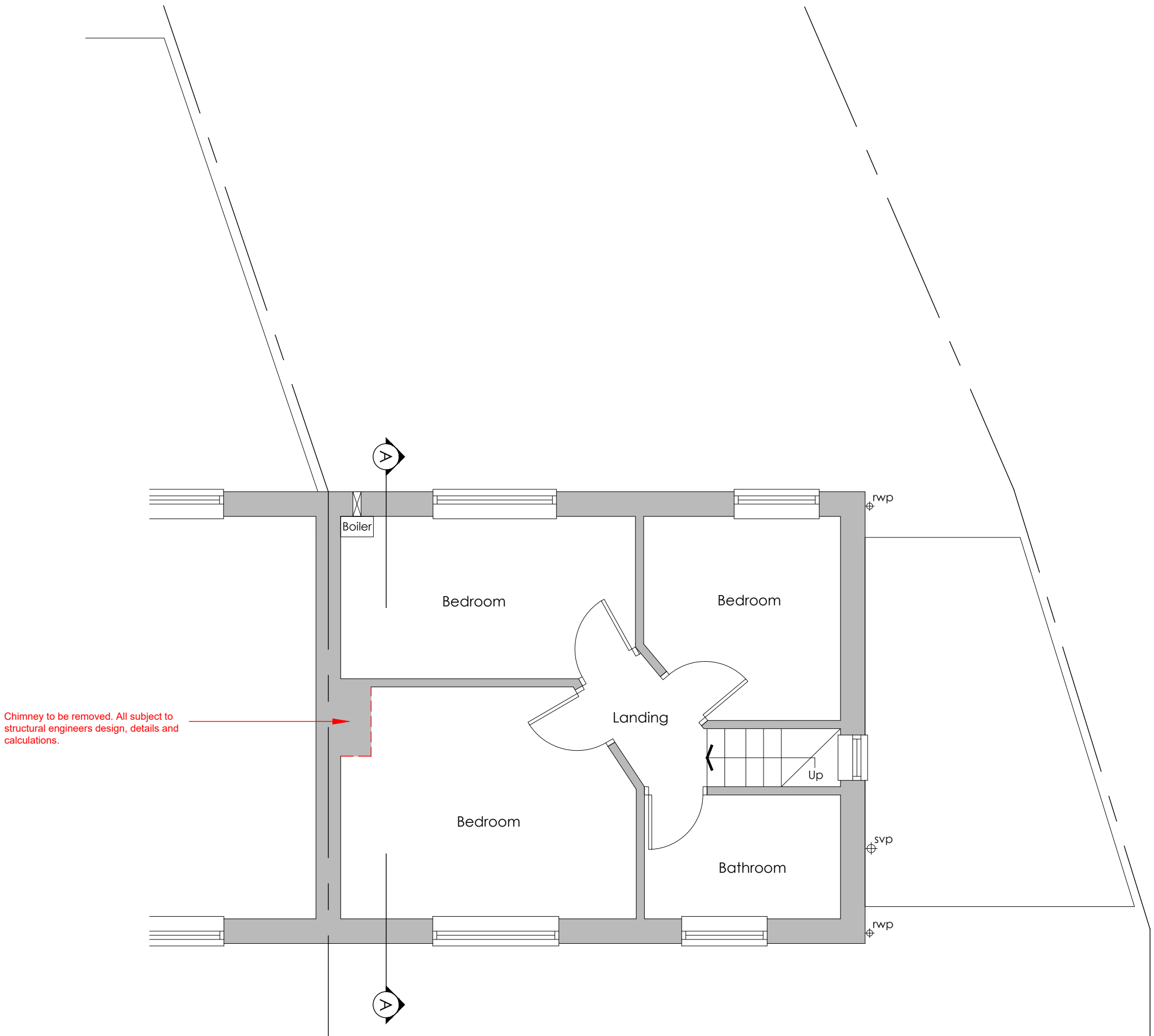
79 Manor Road Droylsden Manchester M43 6QD



P4B EXTEND  
P4B-EXTEND.CO.UK  
INFO@P4B-EXTEND.CO.UK  
0800 652 6561

15 MEMORIAL ROAD  
WORSLEY  
MANCHESTER  
M28 3AQ

DEMOLITION NOTE:  
All elements indicated in red dash lines to be demolished and make good surrounding areas ready to receive new construction



Chimney to be removed. All subject to structural engineers design, details and calculations.

# 03. Existing First Floor Plan

24011

1:50 @A3

## Dwelling Extension

79 Manor Road Droylsden Manchester M43 6QD



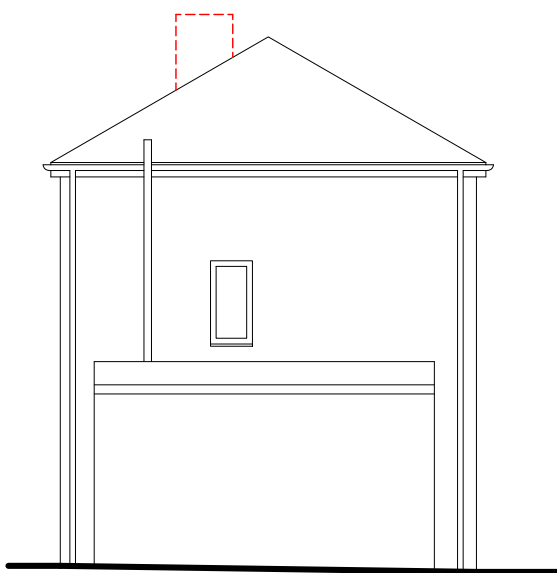
P4B EXTEND  
P4B-EXTEND.CO.UK  
INFO@P4B-EXTEND.CO.UK  
0800 652 6561

15 MEMORIAL ROAD  
WORSLEY  
MANCHESTER  
M28 3AQ

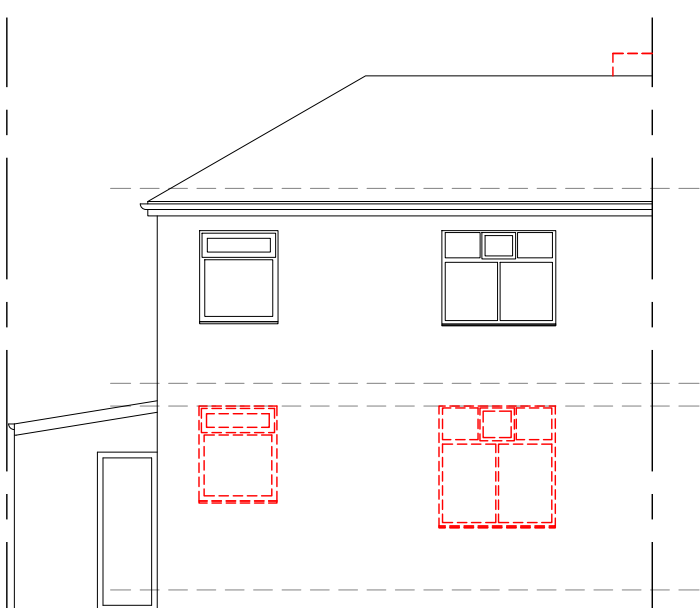
NOTE:  
All elements indicated in red dash lines to be demolished and make good surrounding areas ready to receive new construction



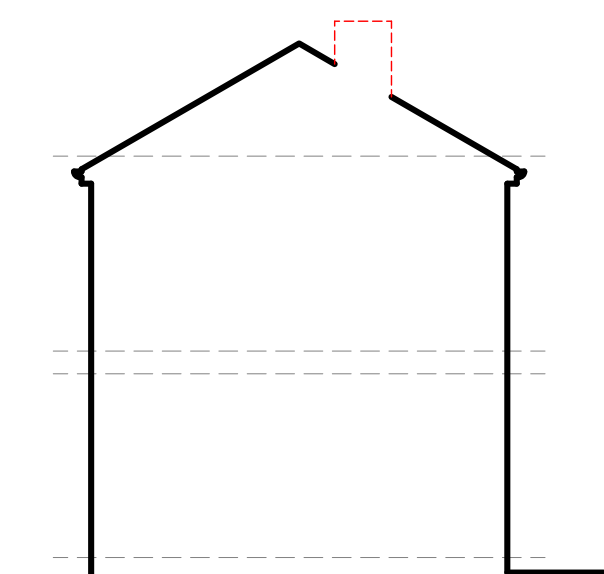
Front Elevation



Side Elevation

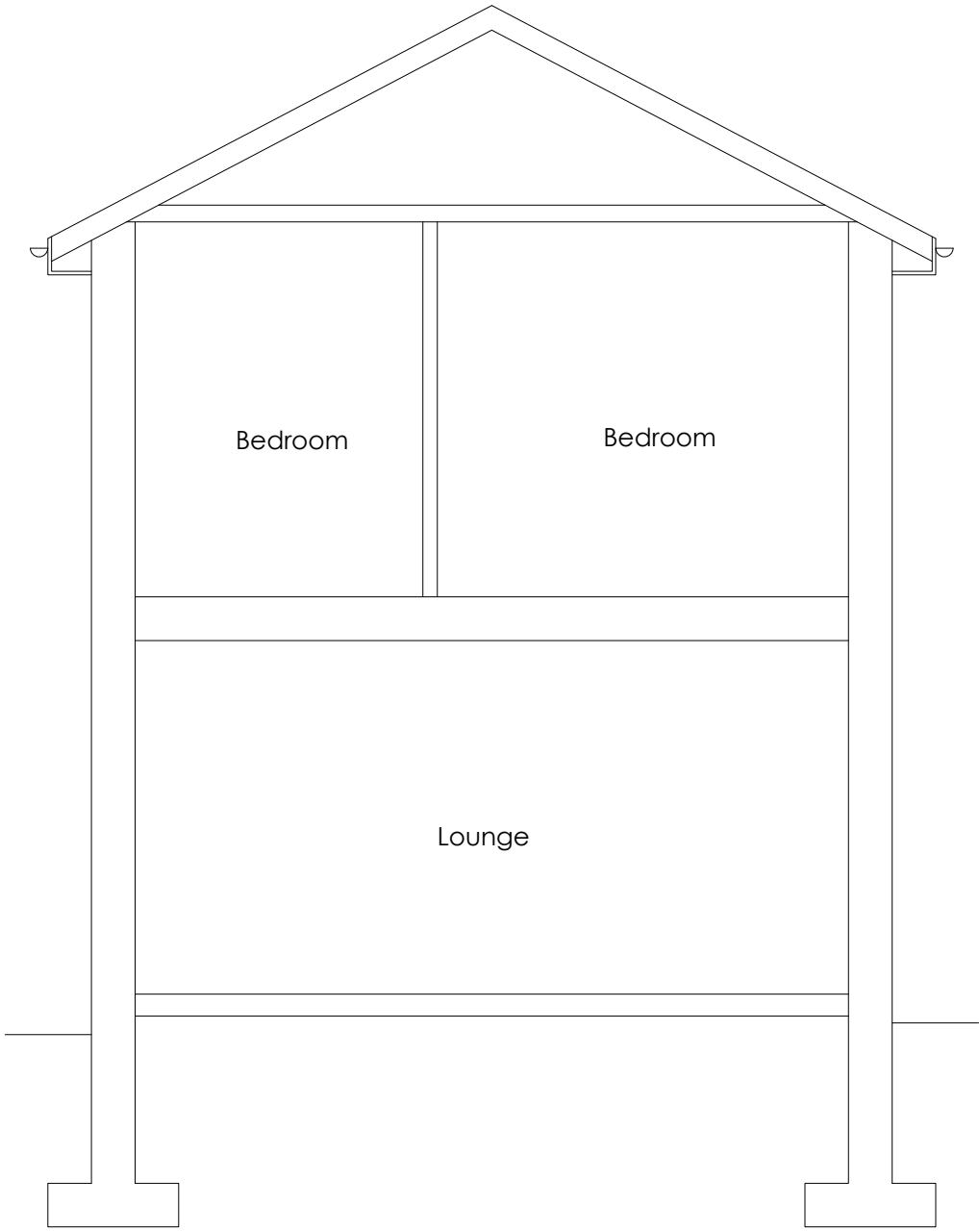


Rear Elevation



Side Elevation

NOTE:  
All elements indicated in red dash lines to be demolished and make good surrounding areas ready to receive new construction



# 05. Existing Section A-A

24011

1:50 @A3

## Dwelling Extension

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**DESIGN DRAWING NOTE:**  
All elements indicated in RED colour are proposed construction to be read in conjunction with the details and specification to the rear of this document.

All structure shown on P4B-Extend drawings is indicative only, it is the structural engineer's responsibility to identify all structural works required.

KEY	DESCRIPTION
	MECHANICAL EXTRACT FAN AND SWITCH
	CEILING MOUNTED SMOKE DETECTOR WITH SOUNDER
	CEILING MOUNTED HEAT DETECTOR WITH SOUNDER
	CONSUMER UNIT
	ELECTRIC METER BOX / CUPBOARD
	GAS METER BOX / CUPBOARD
	WATER METER
	INTERNAL DRAINAGE RUN
	EXTERNAL DRAINAGE RUN
	STEEL BEAM ABOVE
	SOIL VENT PIPE
	RAIN WATER PIPE
	STUB STACK WITH AIR ADMITTANCE VALVE
	BOILER
	30 MINUTE FIRE RESISTING DOOR
	20 MINUTE FIRE RESISTING DOOR
	JOIST DIRECTION
	EXTERNAL CAVITY WALL
	STUD WALL
	SVP WITHIN PLASTERBOARD ENCASUREMENT

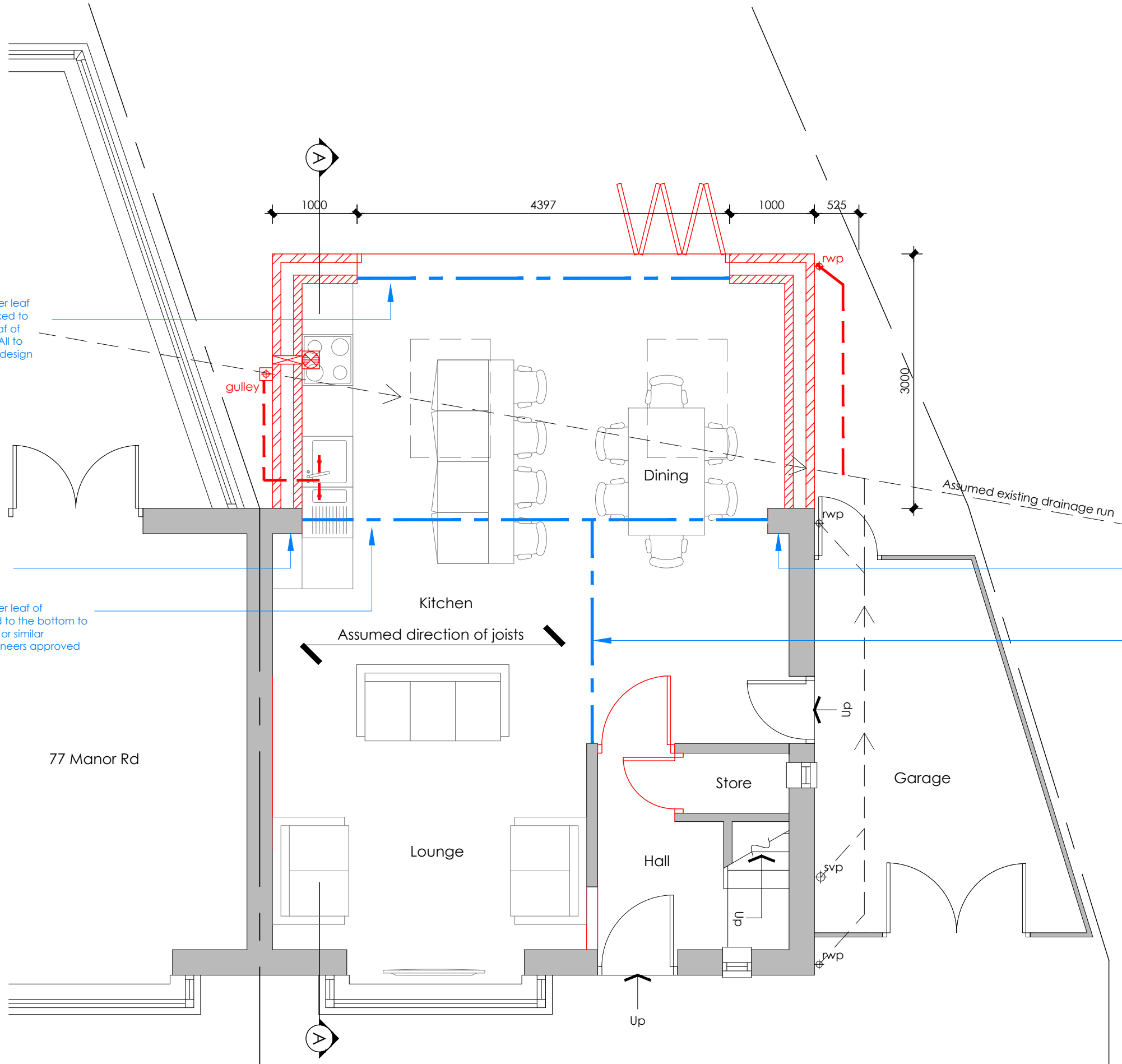
1no. Steel beam to support inner leaf of blockwork with steel plate fixed to the bottom to support outer leaf of brickwork or similar approved. All to structural engineers approved design and calculations.

Exact size and construction of pier to structural engineers design and calculations.

1no. Steel beam to support inner leaf of blockwork with steel plate fixed to the bottom to support outer leaf of brickwork or similar approved. All to structural engineers approved design and calculations.

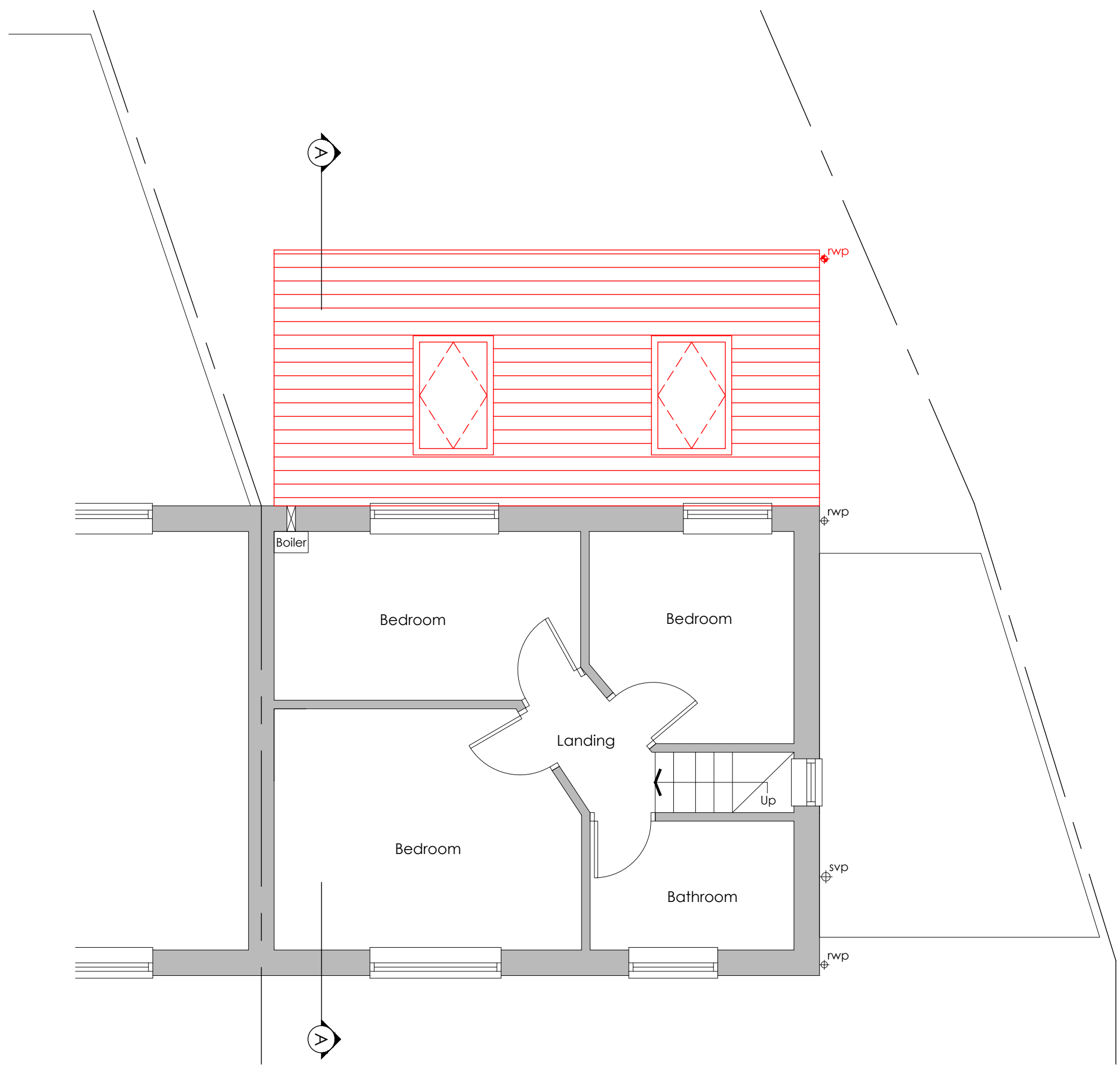
Exact size and construction of pier to structural engineers design and calculations.

1no. Steel beam to support first floor joists and masonry wall above all to structural engineers approved design and calculations.



**DESIGN DRAWING NOTE:**  
All elements indicated in RED colour are proposed construction to be read in conjunction with the details and specification to the rear of this document.

All structure shown on P4B-Extend drawings is indicative only, it is the structural engineer's responsibility to identify all structural works required.



KEY	DESCRIPTION
	MECHANICAL EXTRACT FAN AND SWITCH
	CEILING MOUNTED SMOKE DETECTOR WITH SOUNDER
	CEILING MOUNTED HEAT DETECTOR WITH SOUNDER
	CONSUMER UNIT
	ELECTRIC METER BOX / CUPBOARD
	GAS METER BOX / CUPBOARD
	WATER METER
	INTERNAL DRAINAGE RUN
	EXTERNAL DRAINAGE RUN
	STEEL BEAM ABOVE
	SOIL VENT PIPE
	RAIN WATER PIPE
	STUB STACK WITH AIR ADMITTANCE VALVE
	BOILER
	30 MINUTE FIRE RESISTING DOOR
	20 MINUTE FIRE RESISTING DOOR
	JOIST DIRECTION
	EXTERNAL CAVITY WALL
	STUD WALL
	SVP WITHIN PLASTERBOARD ENCASEMENT

# 07. Proposed First Floor Plan

24011

## Dwelling Extension

1:50 @A3 79 Manor Road Droylsden Manchester M43 6QD



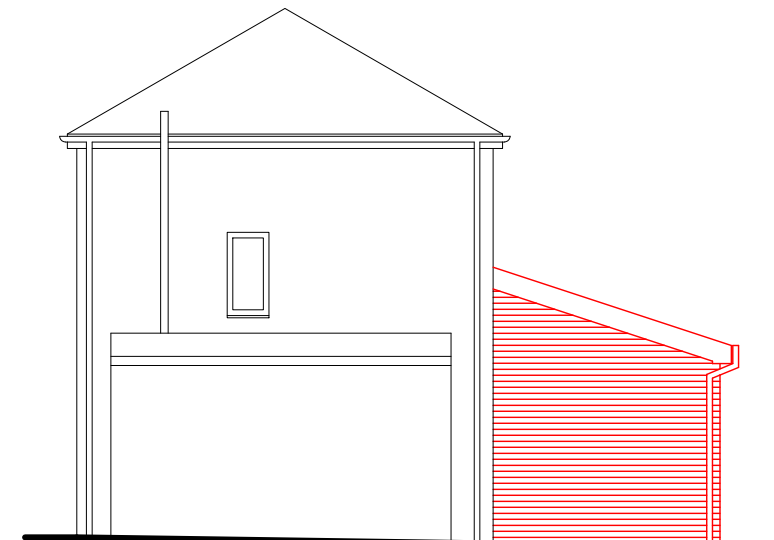
P4B-EXTEND  
P4B-EXTEND.CO.UK  
INFO@P4B-EXTEND.CO.UK  
0800 652 6561

15 MEMORIAL ROAD  
WORSLEY  
MANCHESTER  
M28 3AQ

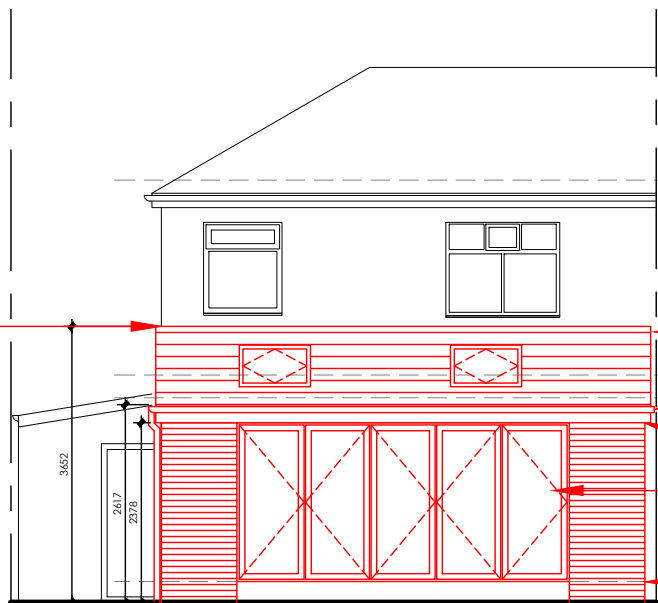
**DESIGN DRAWING NOTE:**  
 All elements indicated in RED colour are proposed construction to be read in conjunction with the details and specification to the rear of this document.



Front Elevation



Side Elevation

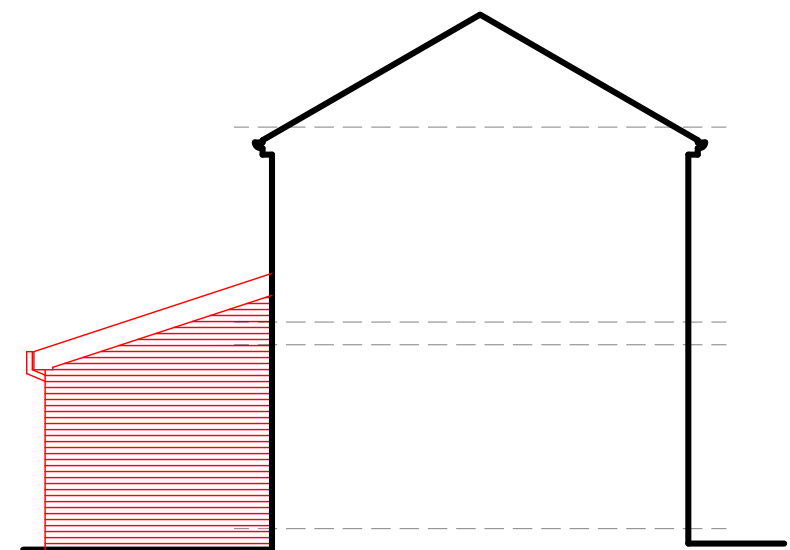


Rear Elevation

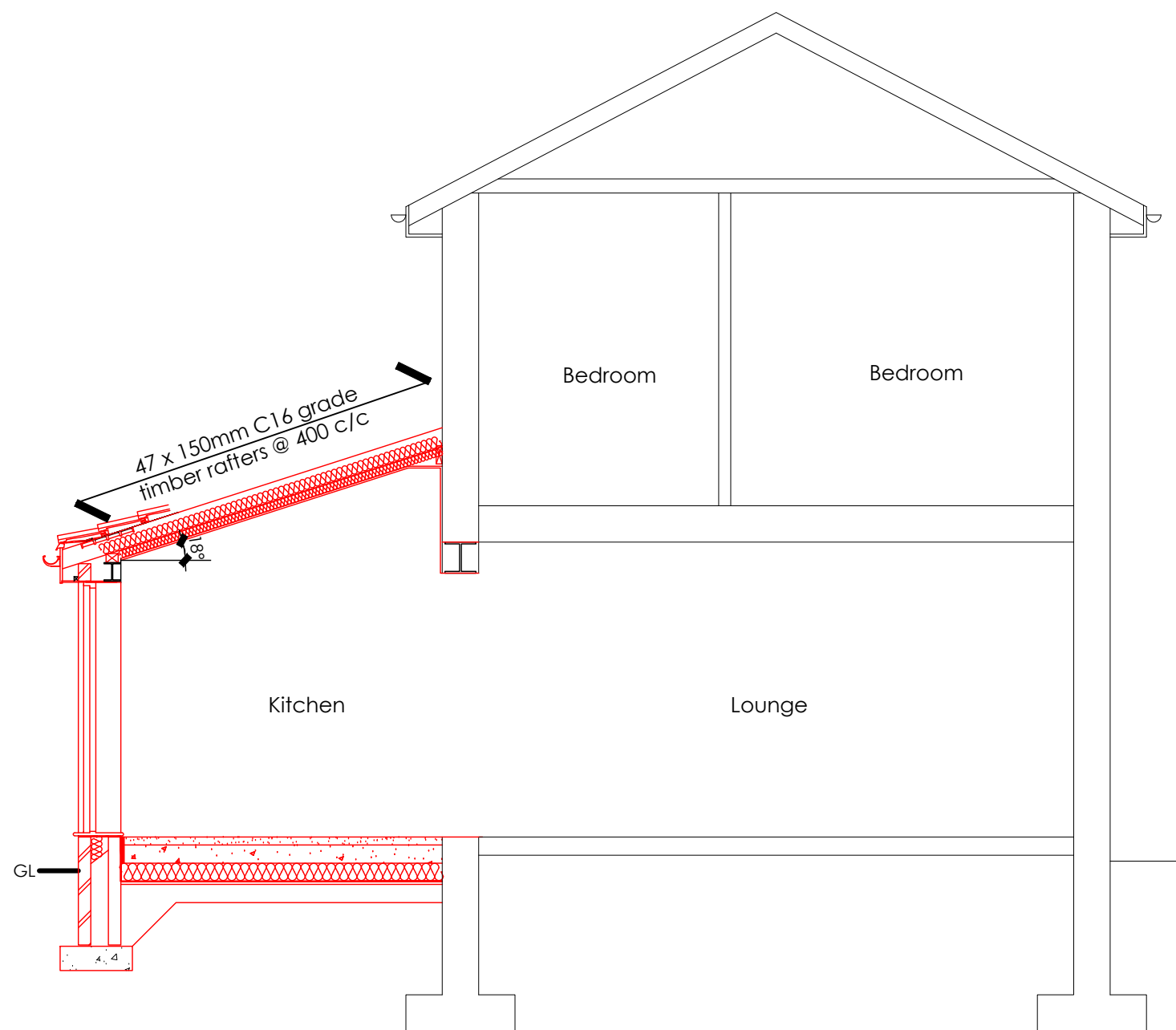
The overall height of the proposed extension must not exceed 4 meters in height to comply with class A.

3662  
2617  
2278

- Roof tiles to match existing or of a similar visual appearance to those used on the existing house.
- Upvc barge / fascia boards to match existing.
- To comply with class A the eaves height of the proposed rear extension has been set at 2.3 meters.
- New external white upvc bi-fold doors. To comply with class A, materials used for bi fold doors must have a similar visual appearance to those used on the existing window styles.
- Facing brickwork to match existing to comply with class A permitted development rights.



Side Elevation



09. | Proposed Section A-A

24011 | 0m 1 2 3m

1:50 @A3

Dwelling Extension

79 Manor Road Droylsden Manchester M43 6QD



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