

DESIGN AND ACCESS STATEMENT

Rev: P01

Date: 18/02/2024

This design and access statement has been completed in support of a householder planning application for the small internal extension to the lower ground floor space to facilitate direct access to the lower ground floor within the footprint of the existing house.

The other than the replacement of two existing doors with windows, the exterior of the property remains unaltered.

Existing

The host dwelling for the proposed works is located at 2 Alma Road, Carshalton SM5 2PF. The existing house is semi-detached late 1920s to mid 1930s house located on a residential street. The house has three habitable stories as a result of the topography of the site with a dual-pitched roof used for storage. The house has a mixture of red brick and rough-textured render front elevation and a rendered rear elevation.

The rear portion of the dwelling has a flat rear elevation with a small lower ground floor / basement extension. Under the front of the house is a half-height “crawl” space, accessed from the rear lower ground floor via a small hatch.

The house and its small extension are in good condition.



Front & Side Elevation



Existing Rear Elevation

Proposed

Currently, the lower ground floor is only accessible by exiting the main the house, and entering via one of the doors to the lower ground space. The proposed works seek to introduce some internal stairs to provide direct access to the lower ground floor space from within the footprint of the main house.

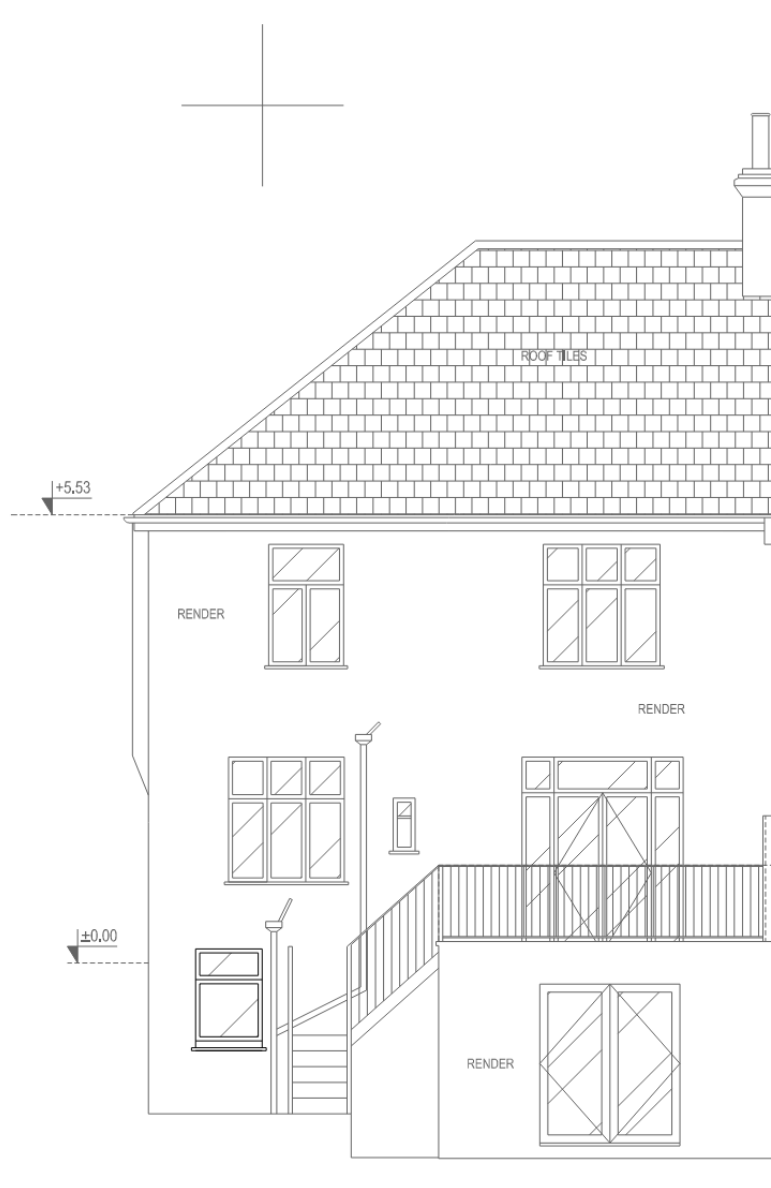
The new stairs for direct access are proposed below the existing stairs connecting ground floor to first floor. To provide a space for the new stairs, partial excavation of the remaining earth within the half-height “crawl” space is required. This creates a new hallway area at the base of the stairs, allowing the existing lower ground floor spaces to be connected to the main house.

Two of existing doors located at lower ground floor will be replaced with windows. The external door to the currently boiler and storeroom will no longer be required as this space will be repurposed as toilet and shower room. The other door, to the side of the lower ground floor extension is no longer needed as a double door is also present providing direct access to the garden. All new windows use proportions

taken from original windows in the house and the windows will be specified to visually match the existing windows.

Further internal works are proposed, comprising the partial removal of the dividing walls between the sitting room, dining room and kitchen, to create an open space.

At lower ground floor level, the existing toilet and shower room serving the habitable space to the rear of the lower ground floor, will be removed. This toilet and shower room will be relocated, at a more generous size, to the current boiler and storeroom space.



Proposed Rear Elevation

The new window replacing the existing the door is located to the lower left of the elevation.



Proposed Side Elevation

The new window replacing the existing the door is located to the lower right of the elevation.